

AGENDA
PLANNING COMMISSION PUBLIC HEARING/REGULAR MEETING
CITY OF FARMINGTON HILLS
DECEMBER 18, 2025 @ 7:30 P.M.
FARMINGTON HILLS CITY HALL – CITY COUNCIL CHAMBER
31555 W. ELEVEN MILE ROAD, FARMINGTON HILLS, MICHIGAN 48336
Cable TV: Spectrum – Channel 203; AT&T – Channel 99
YouTube Channel: <https://www.youtube.com/user/FHChannel8>
www.fhgov.com (248) 871-2540

1. Call Meeting to Order

2. Roll Call

3. Approval of Agenda

4. Public Hearing

A. SPECIAL APPROVAL 66-10-2025

LOCATION:	36336 Eight Mile Rd
PARCEL I.D.:	22-23-32-326-057
PROPOSAL:	Construct new utility building and pump station within the RA-1: One Family Residential District
ACTION REQUESTED:	Special Approval Use
APPLICANT:	Brown and Caldwell
OWNER:	Great Lakes Water Authority (GLWA)

B. SPECIAL APPROVAL 67-10-2025

LOCATION:	27900 Orchard Lake Rd
PARCEL I.D.:	22-23-11-351-013
PROPOSAL:	Construct new fast food restaurant with drive-through within the B-3: General Business District.
ACTION REQUESTED:	Special Approval Use
APPLICANT:	Brewtopia Michigan, LLC
OWNER:	Farmington Hills Beef Company

5. Regular Meeting

A. SITE PLAN APPROVAL 68-11-2025

LOCATION:	24535 Hallwood Rd
PARCEL I.D.:	22-23-19-426-035
PROPOSAL:	Addition to an existing granite and cabinet shop within the LI- Light Industrial District.
ACTION REQUESTED:	Site Plan Approval
APPLICANT:	A R Samona Construction
OWNER:	Allow Investment, LLC

6. Approval of Minutes

[November 20, 2025, Regular Meeting](#)

7. Public Comment

8. Commissioner/Staff Comments

9. Adjournment

Respectfully Submitted,

Kristen Aspinall, Planning Commission Secretary

Staff Contact:

Diane Mulville-Friel

City Planner

Planning and Community Development Department

(248) 871-2540

dmulville-friel@fhgov.com

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at (248) 871-2410 at least two (2) business days prior to the meeting, wherein arrangements/accommodations will be made. Thank you.

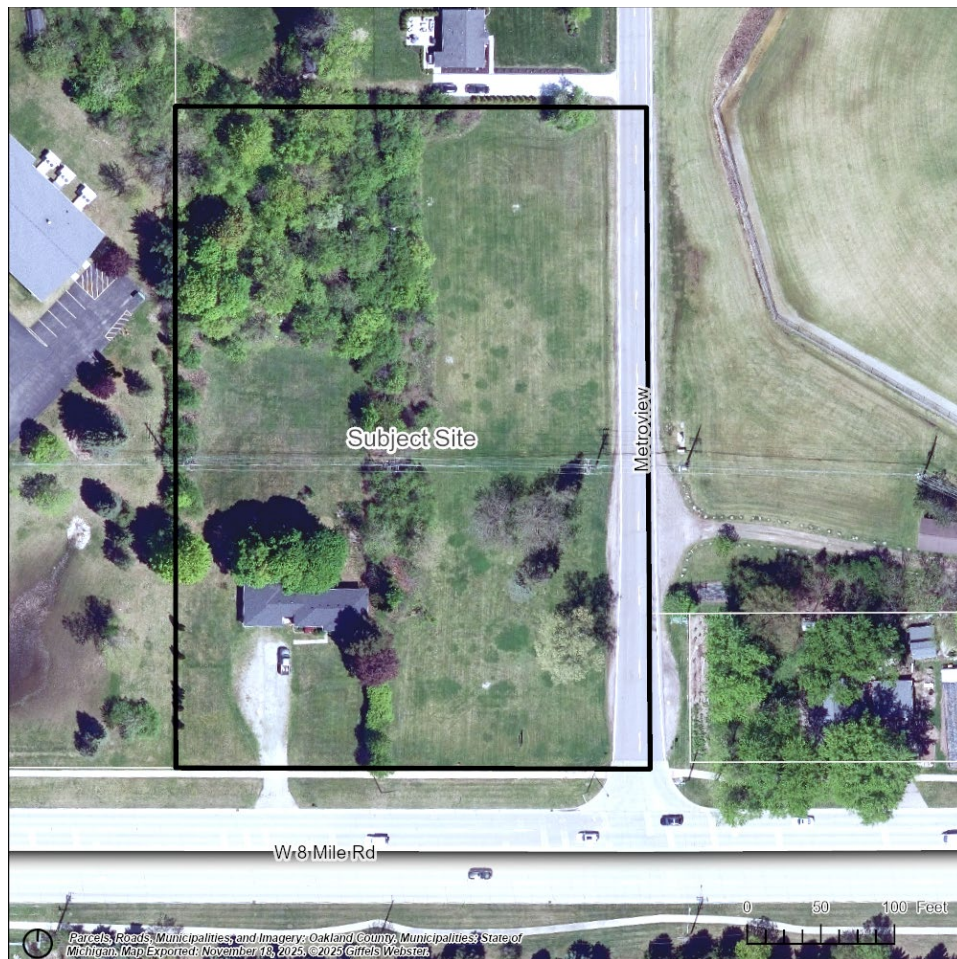
Review	Date
1st	11/19/2025

Farmington Hills Planning Commission
31555 W 11 Mile Rd
Farmington Hills, MI 48336

Special Land Use Review

Case: SA 66-10-2025
Site: 36336 W 8 Mile Road (22-23-32-326-057)
Applicant: Brown and Caldwell
Plan Date: 9/20/2025
Zoning: RA-1 One Family residential (20,000 sq ft)

We have completed a review of the application for site plan and special land use approval and a summary of our findings is below. Items in **bold** require specific action. Items in *italics* can be addressed administratively.



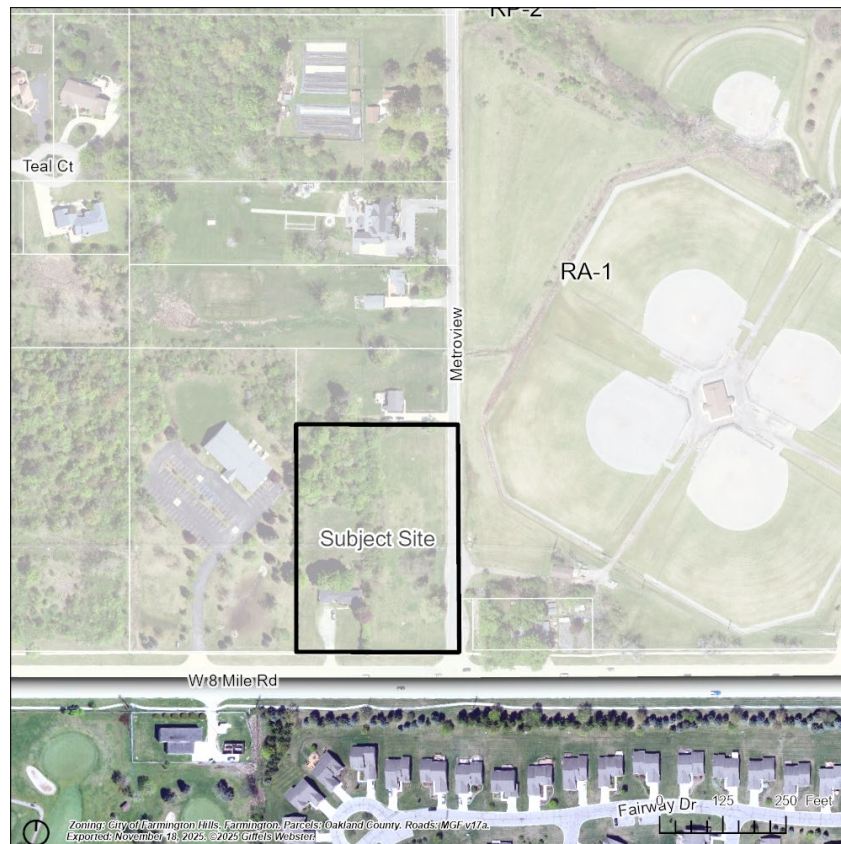
SUMMARY OF FINDINGS

Summary of Proposal. The applicant proposes to demolish an existing home to construct a public water pump station. This is an upgrade to the existing Newburgh Pump Station facility, which is located on the Livonia side of 8 Mile Road; that existing facility will also be upgraded as part of this project, though this falls outside Farmington Hills jurisdiction. Public utility buildings are permitted as a special land use in the RA-1 district.

Existing Conditions

1. **Zoning.** The site is 3.32 acres and zoned RA-1 Single Family.
2. **Existing site.** The site is at the northwest corner of 8 Mile Road and Metroview Road. It is currently developed with a house.
3. **Adjacent properties.**

Direction	Zoning	Land Use
North	RA-1	Single Family Home
South	Single Family (Livonia)	Single Family Homes
West	RA-1	Church
East	RA-1	Athletic Complex



4. **Site configuration and access.** The site has primary access from 8 Mile Road, with an additional drive to Metroview.

Site Plan & Use:

1. **Use.** Public utility buildings are permitted as a special land use in the RA-1 district.
2. **Dimensional Standards (RA-1 district).** See footnotes after the table for remarks on compliance issues.

Item	Required	Proposed/Comments
Standards of Sec. 34-3.1.25.E		
Min. lot size	20,000 sq ft	3.32 acres
Min. lot width	100 ft	322 ft
Front Setback- South	40 ft for utilities	> greater than 40 ft*
Side Setback- East	40 ft for utilities	> greater than 40 ft*
Side Setback- West	40 ft for utilities	> greater than 40 ft*
Rear Setback- North	40 ft for utilities	> greater than 40 ft*
Building Height	30 feet	34.5 ft**
Front Yard Open Space	N/A	N/A
Other dimensional standards		
Yard landscaping (34-3.5.2.A)	For all uses except one-family detached residential units, landscaping of all yards abutting a street shall be provided	See landscaping comments below.
Minimum parking setback (34-3.5.2.J)	10 feet	Compliant
Loading space (34-3.5.2.N)	10 feet of loading space per front foot of building = 157 sq ft	See review of off-street loading below
Rooftop equipment (34-3.5.2.U.)	Rooftop equipment shall be screened in accordance with Section 34-5.17.	Rooftop equipment is not proposed. Exterior equipment on the plan is surrounded by walls and fences.
Landscape area abutting street or freeway (34-3.5.2.V.)	A landscaped area not less than ten (10) feet deep	Compliant.

*Actual setbacks were not provided, though all setbacks exceed 40 ft.

**Height was not provided; the number above is the average taken from the elevation of the peak of the upper roof and the eave of the upper roof.

3. **Utility Buildings (34-4.8).** The following standards apply to utility buildings:
 - Building setbacks shall not be less than 40 ft. *All setbacks exceed 40 feet.*
 - A landscaping plan shall be submitted in accordance with Section 5.14. *See comments below.*
4. **Dumpster (34-5.1.2.D).** The plans show a dumpster location on a pad in the interior side yard, with protective bollards. However, there appears to be no enclosure proposed.

Item	Required	Proposed/Comments
Location	Rear yard or interior side yard	Compliant
Screening	Permanent building wall or earth mound not less than 6 feet or 1 foot above the enclosed dumpster whichever is greater	None proposed

Setback	20 feet from any residential property and far as practicable from adjoining residential district	Compliant.
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5. **Mechanical Equipment (34-5.1.4.D).** Ground-mounted equipment is contained within walls.
6. **Minimum parking (34-5.2).** Section 34-5.1 does not include a parking requirement for this use. The facility will not have permanent on-site staff. 14 spaces are provided on the plans. A barrier-free space is provided. **As this is not a permanently staffed facility, the Planning Commission should discuss with the applicant how many spaces are actually necessary.**
7. **Off-street parking dimensions (34-5.3.3.A & B.).** **Parking spaces are not dimensioned on the plans.**

Item	Required	Proposed/Comments
Maneuvering lane width	15 ft.	No information
Parking space width	8 ft 6 in	No information
Parking space length	20 ft. for minimum required (May include a maximum two-foot unobstructed vehicle overhang area at the front of the parking space.) 17 ft. for additional parking (May include a maximum one-foot unobstructed vehicle overhang area at the front of the parking space)	No information

8. **Off-street loading.** (34-5.4). Though loading space is not labeled, there is ample space for any loading and unloading activity that may need to occur on this site.
9. **Acceleration-Deceleration-Passing Lanes (34-5.6.2.)** Driveways providing ingress and egress to all three-lane paved major or secondary thoroughfares shall be provided with paved acceleration and deceleration lanes. If in the opinion of the director of public services no useful purpose would be served or if unusual difficulty would be encountered by reason of grade changes, intersections, bridges, or other land restrictions, the director may waive or modify the requirements of this section. **We defer to engineering to address this issue.**
10. **Circulation.** The applicant proposes primary access from 8 Mile Road, and also provides a driveway onto Metroview.
11. **Landscape Development (34-5.14).** **The applicant has provided a plan that identifies the location of existing trees, but an inventory has not been provided, nor has a tree replacement plan. It appears that all trees on the site will be removed.**

Item	Required			Proposed/Comments
Minimum parking lot island area	Minimum of 180 square feet; 3 feet minimum radius at the trunk of the tree			N/A
Cost estimate	Not required			--
Minimum size and spacing requirements at planting (34-5.14.F)	Size	Center to center distance (max)		
	(Height/width)	groupings	rows	

Item	Required			Proposed/Comments
• Evergreen Trees	8 ft. height	20 ft.	12 ft.	N/A
• Narrow Evergreen Trees	5 ft. height	10 ft.	5 ft.	Standard is met
• Large Shrubs	30 in. height	10 ft.	5 ft.	<i>Plans state 24"-36". 30" min required.</i>
• Small Shrubs	24 in. width	4 ft.	4 ft.	Standard is met
• Large Deciduous	3 in. caliper	30 ft.	-	Standard is exceeded (6 in)
• Small deciduous trees	2 in. caliper	15 ft.	-	N/A
• Hedge shrubs	24 in. height	3 ft.	3 ft.	Standard is met
Distance between plant materials	Spacing shall be provided in accordance with 34-5.14.3.g			Standard is met
Canopy Trees	Shall be large deciduous and distributed evenly throughout the paved area			Only three trees were provided around the perimeter of the lot.
Minimum number of parking lot trees (34-5.14.4.C)	1 per every 2,800 square feet of paved surface area 21,564 sf of paved area/ 2,800= 8 trees required			A tree requirement for the parking lot was not provided.
Parking lot screening from public thoroughfare (34-5.14.5)	A planted hedge of small shrubs, or A masonry wall or berm of 2 feet high			Provided. <i>There are two berms and significant landscaping meeting the standards of Section 34-5.15.6.A. in the front and west side yards.</i>
Wall or Berm (34-5.15)	Required when abutting a residential district. (See 34-5.15)			Site is in the RA-1 district, but does abut other RA-1 sites. Extensive landscaping is proposed on the west property line. However, no screening landscaping is proposed along the north property line, which is where the property abuts a residential property. A wall would typically be required in this location, but the PC may approval a greenbelt in lieu of a wall. The eastern yard is not landscaped; there is a detention basin in that yard.
Tree replacement (34-5.18)	All trees proposed for removal shall be replaced in accordance with this section			Tree removal plan needed.

12. **Fence (Section 34-5.15).** The applicant proposes a full perimeter security fence with gates at both driveways. Materials were not labeled, but the fence is 8 feet tall and designed in the style of a wrought iron fence. Fences are prohibited within a required yard facing a street. The fence on the south side of the property meets this standard. **However, the fence on the east side of the property encroaches into the required 40-foot setback.**

13. **Lighting (Section 34-5.16).**

Operation hours (34-5.16.3.B.v.). *The following notes must be added to or addressed on the plan; it is unclear from the existing plans whether these standards are met. The applicant should clarify as to how these standards are met.*

- i. Exterior lighting shall not operate during daylight hours.
 - ii. Building façade and landscape lighting shall be turned off between midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
 - iii. All other exterior lighting shall be reduced to no greater than 70% of maximum from midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
 - iv. Use of occupancy sensors to turn off or reduce lighting within 15 minutes of zero occupancy is recommended.
- a. **Illumination Levels. No photometric plan was submitted.** The two exterior fixtures shown on the lighting cut sheet meet the cutoff standards, but **a photometric plan is required to determine compliance with the standards below.**

Item	Required	Proposed/Comments
Maximum height (34-5.16.3.A.)	30 feet maximum	<i>Not provided</i>
Building Lighting (34-5.16.3.A. iii.)	Specifications for all existing and proposed lighting, elevation drawings showing fixtures and portions of wall to be illuminated	<i>Height of fixtures and hours of operation not provided. Building elevation photometrics not shown.</i>
Average to minimum illumination ratio (34-5.16.3.C)	4:1	<i>Lighting details, including minimum, maximum, and lumen calculations for each fixture type were not provided.</i>
Maximum illumination at the property line	0.3 fc	<i>Not provided</i>
Illumination Levels- Hardscape areas (e.g., parking areas, sidewalks)	2.5 lumens per sq ft of hardscape area maximum	<i>Not provided</i>
Illumination Levels Building Entrances – within 20 ft of door	2,000 lumens per door maximum	<i>Insufficient information provided</i>

14. **Design Standards (34-5.20).** The design standards apply to all walls facing a right-of-way.

Building Materials. The building is primarily masonry, which meets the standards of this section.

Architectural scaling requirements are met.

Roof/parapet standards are met.

Buildings facing a major thoroughfare are required to have 60% window coverage on the ground floor. This standard is not met. However, the planning commission may grant relief from fenestration requirements when it finds that the materials are consistent with surrounding development and the waiver will achieve a specific architectural objective, which in this case is related to the purpose of the building for housing utility equipment.

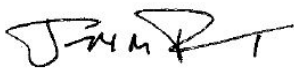
Entranceway standards are met.

15. **Pedestrian Connection (Sec. 34-5.19).** A pedestrian connection to is not provided. Metroview does not have a sidewalk to connect to, though 8 Mile Road does. Given that this is not a permanently staffed facility, and there is a full perimeter security fence proposed, a connection to the 8 Mile sidewalk may not serve a practical purpose.
16. **Summary of Issues.** The plan requires additional information, and we note that several standards are not met.
 - a. **Informational Items.** The following information must be provided:
 - i. Tree removal plan.
 - ii. Photometric plan.
 - iii. Precise setbacks.
 - iv. Parking space dimensions.
 - b. **Discretionary Items.** The Planning Commission must discuss and reach a conclusion on the following items:
 - i. Waiver of fenestration requirement.
 - ii. Whether a greenbelt is an acceptable substitute for a wall along the northern property line.
 - c. **Standards Not Met.** The following standards are not met and require either correction or a variance from the Zoning Board of Appeals:
 - i. Dumpster enclosure not provided.
 - ii. Fence encroaches into required yard along Metroview.
 - iii. Building height exceeds 30 feet (34.5 feet).

We are available to answer questions.

Respectfully,

Giffels Webster



Joe Tangari, AICP
Principal Planner



Julia Upfal, AICP
Senior Planner



DEPARTMENT OF PUBLIC SERVICES
JACOB RUSHLOW, P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

DATE: November 6, 2025

TO: Charmaine Kettler-Schmult, Director of Planning and Community Development

FROM: Dayton Emerson, Civil Engineer I

SUBJECT: GLWA Newburgh Road Booster Pumping Station Improvements
36336 Eight Mile Road
PJ #: 32-25-33 SA #: 66-10-2025
Sidwell #: 22-23-32-326-057

This office has performed a preliminary review of the above referenced site plan submitted to the Planning Department on October 24, 2025 and received by the Engineering Division on October 28, 2025. Our preliminary comments are as follows:

1. We note that this site will be subject to outside agency review and approval, such as Wayne County Engineering, Oakland County Water Resource Commissioner's Office (WRC), and Michigan Department of Environment, Great Lakes, and Energy (EGLE). This will be addressed during Engineering review.
2. The topographic plan does not identify an easement on the 8" public water main running along the south side of the site. If it does not exist, a new one must be provided.
3. The plan currently identifies two drive approaches with one on Eight Mile Road and one on Metroview Road. Both appear to be in the neighborhood of 45' wide at the right-of-way/easement line. Section 26-52 of the City Code requires approaches to be no more than 30' in width from back of curb to back of curb at the right-of-way or easement line.
4. Attached with this review are comments from the City's Environmental Engineer Tyler Sonoga. These must be addressed. Please note that he can be reached at 248-871-2533.



DEPARTMENT OF PUBLIC SERVICES
JACOB RUSHLOW, P.E., DIRECTOR

City of Farmington Hills
Environmental Review

Project Name: GLWA Newburgh Road Booster Bumping Station

Address: 36336 Eight Mile Road
SA: 66-10-2025
Plan Dated: 9-12-2025

Plan Received: 10-27-2025
Review #: 1
Review Date: 11-04-2025

As requested, I have conducted a plan review of the above reference engineering plans. I have the following comments:

1. Infiltration practices need to be used to the maximum extent practicable and will count as part of the required water quality volume. Infiltration tests need to be performed and layout should be considered to direct stormwater to infiltration practices. Provide proof of infiltration testing. If infiltration rates are shown to be usable per the standards, then areas should be considered to implement the practice. If tests show the soils are unsuitable, there is an alternative approach detail on pages 29-35 of the standards.
2. Provide stormwater volume and water quality per the Oakland County Water Resources stormwater standards. Bioretention intended for the entire stormwater volume portion for the project will need to be shown to be able to handle 100-year flow into the system without overflowing. Pre-treatment of stormwater is necessary to reduce sediment load into any infiltrating basin.
3. Additional comments may be involved while reviewing for full engineering approval.

Should you have any questions, please do not hesitate to call.

Respectfully submitted,

A handwritten signature in blue ink that reads "Tyler Sonoga".

Tyler Sonoga
Civil/Environmental Engineer
Department of Public Services

cc: City of Farmington Hills, M. Saksewski



INTEROFFICE CORRESPONDENCE

Date: October 30, 2025
To: Planning Commission
From: Jason Baloga, Fire Marshal
Subject: SA 66-10-2025 (36336 Eight Mile)

The Fire Department has no objection to approval contingent upon compliance with the following:

1. Site shall adhere to Section 12-11 of the City Code: Department Site Plan Review and design Standards.
 - a. Site shall accommodate fire apparatus with a 50 foot turning radius.
 - b. Hydrants: all portions of the building shall be 250 feet from a hydrant.
2. Building shall be maintained in accordance with minimum Fire Prevention Code requirements.

A handwritten signature in blue ink, appearing to read "Jason Baloga".

Jason Baloga, Fire Marshal

JB/al



GREAT LAKES WATER AUTHORITY

CONTRACT NO. 20#####

NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS

CONTRACT DRAWINGS
SEPTEMBER 2025
PERMIT SUBMITTAL

PLOT DATE: 9/27/2025 12:53:59 PM

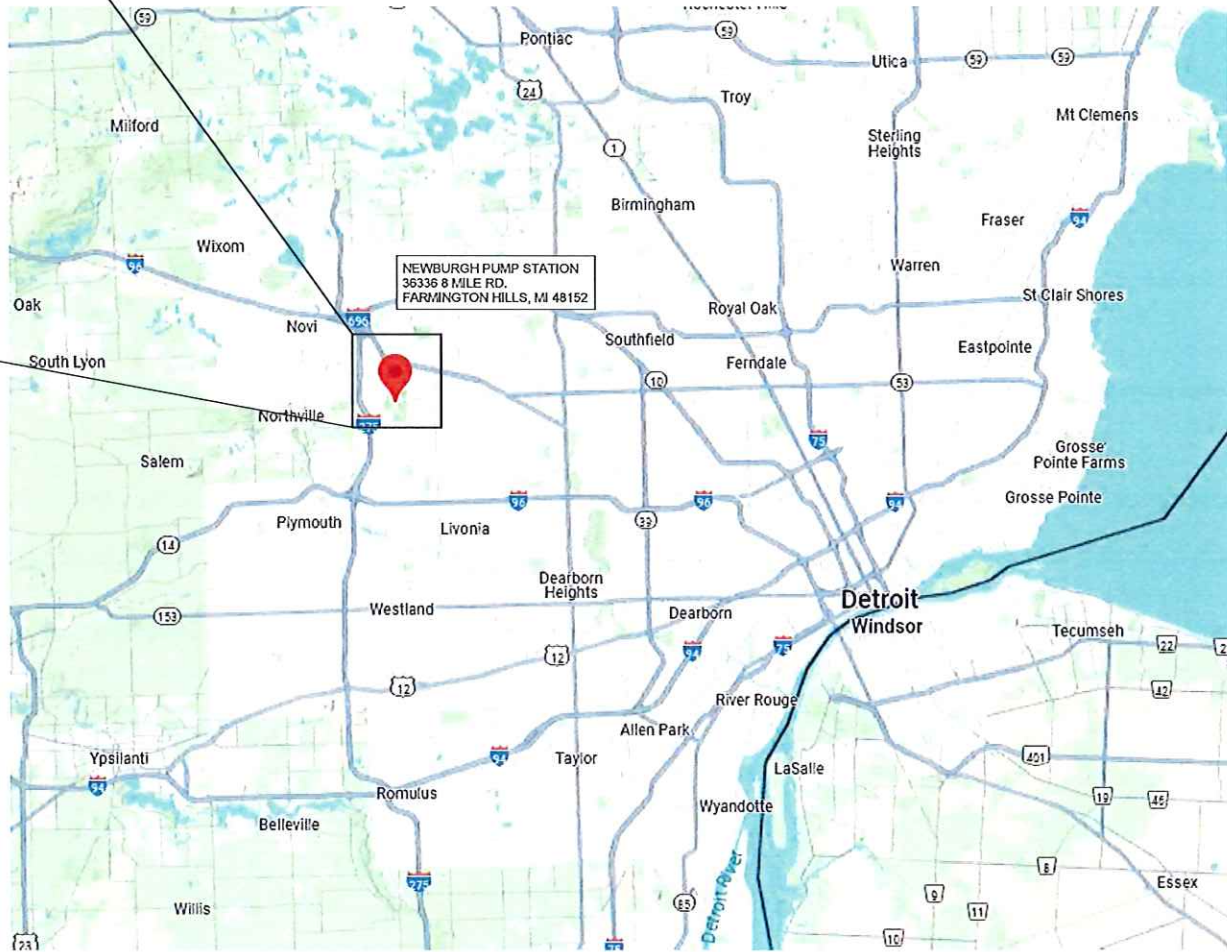
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DRAWING INDEX															
DWG NO.		TITLE		DWG NO.		TITLE		DWG NO.		TITLE					
GENERAL				STRUCTURAL				HVAC				INSTRUMENTATION			
G-00-001 COVER SHEET				S-00-001 GENERAL NOTES 1				M-00-001 SYMBOLS AND GENERAL NOTES				I-00-001 LEGEND AND SYMBOLS 1			
G-00-002 INDEX OF DRAWINGS				S-00-002 GENERAL NOTES 2				M-21-101 LOWER LEVEL PLAN				I-00-002 LEGEND AND SYMBOLS 2			
G-00-003 LOCATION AND VICINITY MAP				S-00-003 SPECIAL INSPECTION NOTES 1				M-21-102 MAIN LEVEL PLAN				I-00-003 LEGEND AND SYMBOLS 3			
G-00-004 LEGENDS AND GENERAL NOTES				S-00-004 SPECIAL INSPECTION NOTES 2				M-21-301 MECHANICAL SECTION PLANS				I-00-501 INSTRUMENT MOUNTING DETAILS - 1			
G-00-005 PUMP STATION FLOW SCHEMATIC				S-00-005 STANDARD DETAILS 1				M-21-401 ENLARGED MECHANICAL PLANS				I-00-502 INSTRUMENT MOUNTING DETAILS - 2			
G-00-006 PUMP STATION BYPASS FLOW SCHEMATIC				S-00-006 STANDARD DETAILS 2				M-21-501 DETAILS 1				I-21-100 SYSTEM NETWORK ARCHITECTURE			
G-00-007 BASIS OF DESIGN PLAN SHEET				S-00-007 STANDARD DETAILS 3				M-21-502 DETAILS 2				I-21-101 PUMP SUCTION, DISCHARGE AND BYPASS P&ID			
G-00-008 PUMP STATION CLOSED LOOP FLOW SCHEMATIC				S-00-008 STANDARD DETAILS 4				M-21-503 DETAILS 3				I-21-102 BOOSTER PUMPS 1 AND 2 P&ID			
G-00-009 SUGGESTED SEQUENCE OF CONSTRUCTION AND COMMISSIONING				S-00-009 STANDARD DETAILS 5				M-21-601 AIRFLOW DIAGRAM				I-21-103 BOOSTER PUMPS 3 AND 4 P&ID			
G-00-010 SUGGESTED SEQUENCE OF CONSTRUCTION AND COMMISSIONING - PHASES 3 AND 4				S-00-010 STANDARD DETAILS 6				M-21-602 CONTROL DIAGRAMS				I-21-104 BOOSTER PUMPS 5 AND 6 P&ID			
G-00-011 GLWA PROJECT IDENTIFICATION SIGN				S-00-011 STANDARD DETAILS 7				M-21-603 CONTROL DIAGRAMS				I-21-105 MISCELLANEOUS P&ID			
				S-00-012 STANDARD DETAILS 8				M-21-604 CONTROL DIAGRAMS				I-21-106 SWITCHGEAR POWER MONITORING P&ID			
				S-00-013 STANDARD DETAILS 9				M-21-701 SCHEDULES				I-21-107 STANDBY GENERATOR P&ID			
				S-00-014 STANDARD DETAILS 10								I-21-108 TELOG POWER PANEL LAYOUT AND POWER DISTRIBUTION			
				S-00-015 STANDARD DETAILS 11								I-21-109 OVATION AND ROS STATION PANEL LAYOUTS			
				S-00-016 STANDARD DETAILS 12											
				S-00-017 STANDARD DETAILS 13											
				S-00-018 STANDARD DETAILS 14											
				S-21-101 FOUNDATION PLAN											
				S-21-102 MAIN LEVEL PLAN											
				S-21-103 LOWER ROOF PLAN											
				S-21-104 UPPER ROOF PLAN											
				S-21-105 PARTIAL PLANS 1											
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				S-21-107 PARTIAL PLANS 3											
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				S-21-509 DETAILS 9											

PLOT DATE: 8/24/2025 3:28:44 PM



1 NEWBURGH PUMP STATION (NEW AND EXISTING) LOCATION PLAN
SCALE: NTS



2 VICINITY MAP
SCALE: NTS

F					DESIGNED BY:	C.JOHNSON
E					DRAWN BY:	B.HODGES
D					CHECKED BY:	B.FARVER
C					APPROVED BY:	B.FARVER
B						
A	ISSUED FOR PERMITTING	CJJ	BTF	9/12/25		
No.	DESCRIPTIONS / REVISIONS	CHK'D	APPR	DATE		



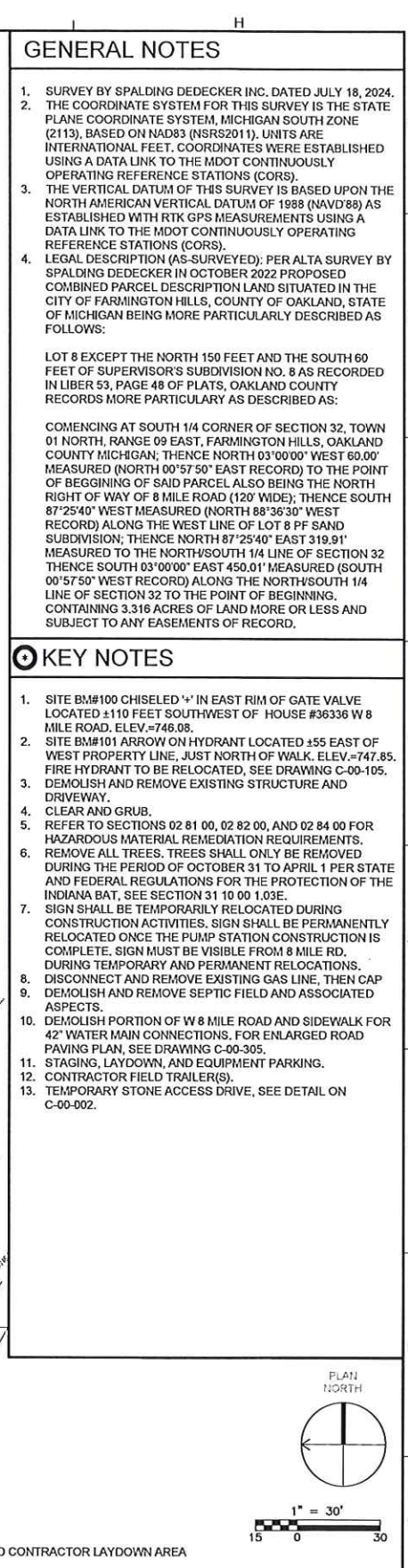
NEWBURGH ROAD BOOSTER PUMPING STATION
IMPROVEMENTS




LOCATION AND VICINITY MAP

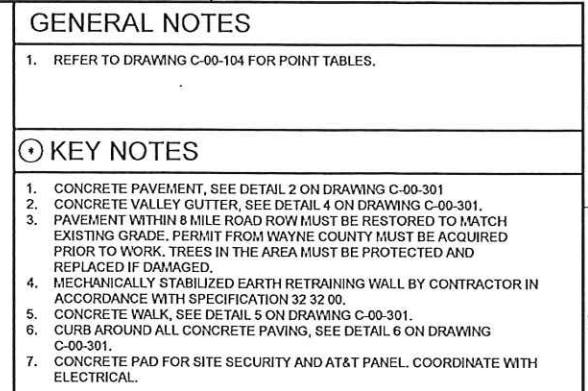


EGLE PERMIT No.	
GLWA CONTRACT No.	20####
GLWA CIP No.	132015
DRAWING No.	G-00-003

SECTION MAP	TOWN	RANGE	SECTION
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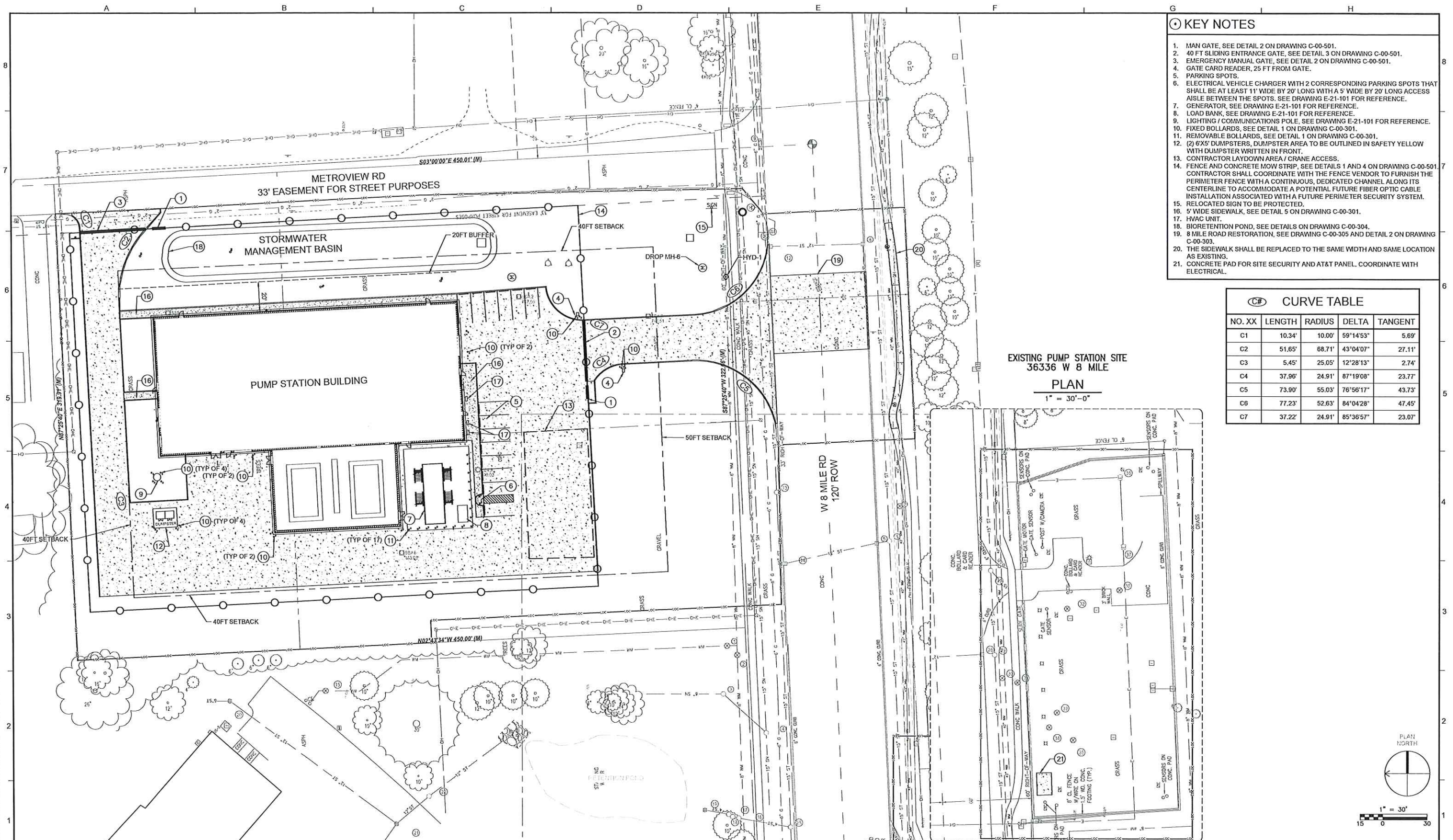
F					DESIGNED BY:		NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS			EGLE PERMIT No.	-
E					C. DANG					DRAWN BY:	GLWA CONTRACT No.
D					T. PETTIS		CHECKED BY:	GLWA CIP No.	132015		
C					J. O'NEILL		APPROVED BY:	DRAWING No.	GD-00-101		
B					J. O'NEILL						
A	ISSUED FOR PERMITTING	CJJ	BTf	9/12/25							
No.	DESCRIPTIONS / REVISIONS	CHK'D	APPR	DATE	J. O'NEILL						


$$1'' = 30'-0''$$

DESIGNED BY:	C. DANG
DRAWN BY:	T. PETTIS
CHECKED BY:	J. O'NEILL
APPROVED BY:	J. O'NEILL



EGLE PERMIT No.	
GLWA CONTRACT No.	20#####
GLWA CIP No.	132015
DRAWING No.	C-00-103



KEY NOTES

1. MAN GATE, SEE DETAIL 2 ON DRAWING C-00-501.
2. 40 FT SLIDING ENTRANCE GATE, SEE DETAIL 3 ON DRAWING C-00-501.
3. EMERGENCY MANUAL GATE, SEE DETAIL 2 ON DRAWING C-00-501.
4. GATE CARD READER, 25 FT FROM GATE.
5. PARKING SPOTS.
6. ELECTRICAL VEHICLE CHARGER WITH 2 CORRESPONDING PARKING SPOTS THAT SHALL BE AT LEAST 11' WIDE BY 20' LONG WITH A 5' WIDE BY 20' LONG ACCESS AISLE BETWEEN THE SPOTS. SEE DRAWING E-21-101 FOR REFERENCE.
7. GENERATOR, SEE DRAWING E-21-101 FOR REFERENCE.
8. LOAD BANK, SEE DRAWING E-21-101 FOR REFERENCE.
9. LIGHTING / COMMUNICATIONS POLE, SEE DRAWING E-21-101 FOR REFERENCE.
10. FIXED BOLLARDS, SEE DETAIL 1 ON DRAWING C-00-301.
11. REMOVABLE BOLLARDS, SEE DETAIL 1 ON DRAWING C-00-301.
12. (2) 6X5' DUMPSTERS, DUMPSTER AREA TO BE OUTLINED IN SAFETY YELLOW WITH DUMPSTER WRITTEN IN FRONT.
13. CONTRACTOR LAYDOWN AREA / CRANE ACCESS.
14. FENCE AND CONCRETE MOW STRIP, SEE DETAILS 1 AND 4 ON DRAWING C-00-501. CONTRACTOR SHALL COORDINATE WITH THE FENCE VENDOR TO FURNISH THE PERIMETER FENCE WITH A CONTINUOUS, DEDICATED CHANNEL ALONG ITS CENTERLINE TO ACCOMMODATE A POTENTIAL FUTURE FIBER OPTIC CABLE INSTALLATION ASSOCIATED WITH A FUTURE PERIMETER SECURITY SYSTEM. RELOCATED SIGN TO BE PROTECTED.
15. 5' WIDE SIDEWALK, SEE DETAIL 5 ON DRAWING C-00-301.
16. HVAC UNIT.
17. BIORETENTION POND, SEE DETAILS ON DRAWING C-00-304.
18. 8 MILE ROAD RESTORATION, SEE DRAWING C-00-305 AND DETAIL 2 ON DRAWING C-00-305.
19. THE SIDEWALK SHALL BE REPLACED TO THE SAME WIDTH AND SAME LOCATION AS EXISTING.
20. CONCRETE PAD FOR SITE SECURITY AND AT&T PANEL. COORDINATE WITH ELECTRICAL.

CURVE TABLE

NO. XX	LENGTH	RADIUS	DELTA	TANGENT
C1	10.34'	10.00'	59°14'53"	5.69'
C2	51.65'	68.71'	43°04'07"	27.11'
C3	5.45'	25.05'	12°28'13"	2.74'
C4	37.96'	24.91'	87°19'08"	23.77'
C5	73.90'	55.03'	76°56'17"	43.73'
C6	77.23'	52.63'	84°04'28"	47.45'
C7	37.22'	24.91'	85°36'57"	23.07'

PLAN NORTH

1" = 30'

F					
E					
D					
C					
B					
A	ISSUED FOR PERMITTING	CJJ	BTf	8/12/25	
No.	DESCRIPTIONS / REVISIONS	CHK'D	APPR	DATE	

DESIGNED BY:
C. DANG
DRAWN BY:
T PETTIS
CHECKED BY:
J. O'NEILL
APPROVED BY:
J. O'NEILL



NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS

SITE PLAN

Brown and Caldwell

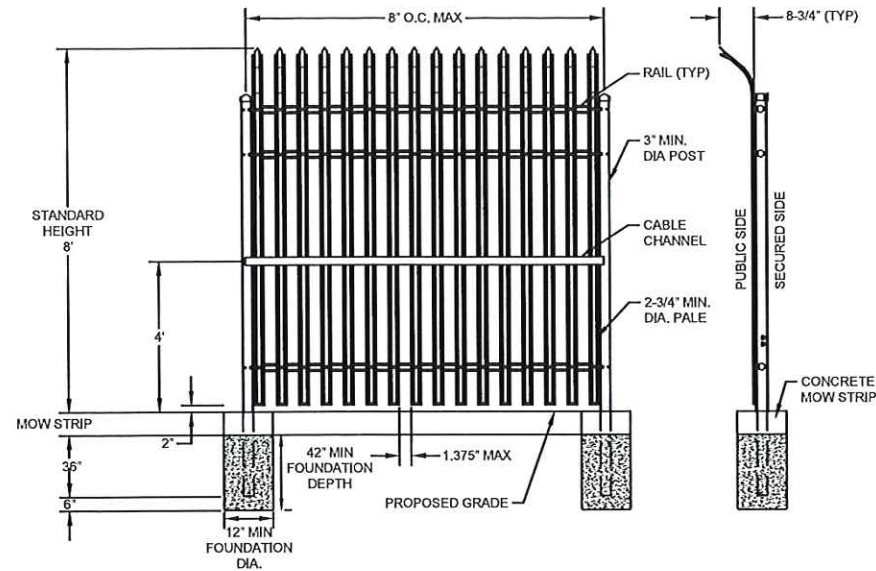


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-
GLWA CONTRACT No.
20####
GLWA CIP No.
132015
DRAWING No.
C-00-106

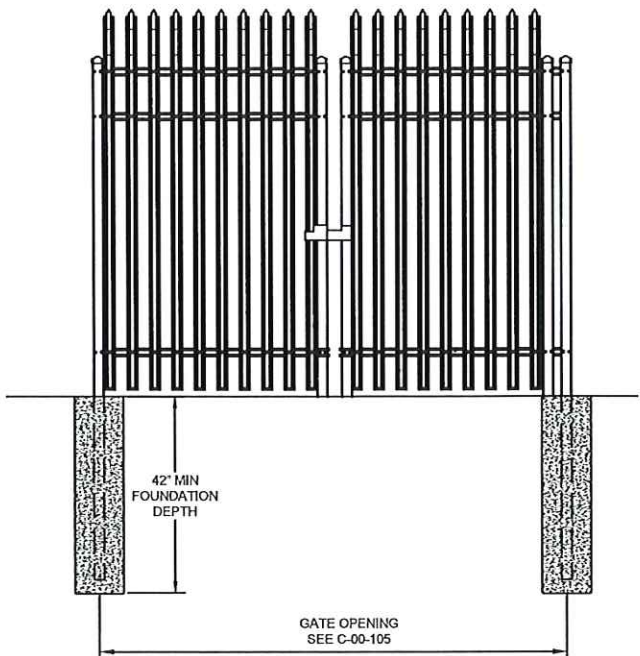
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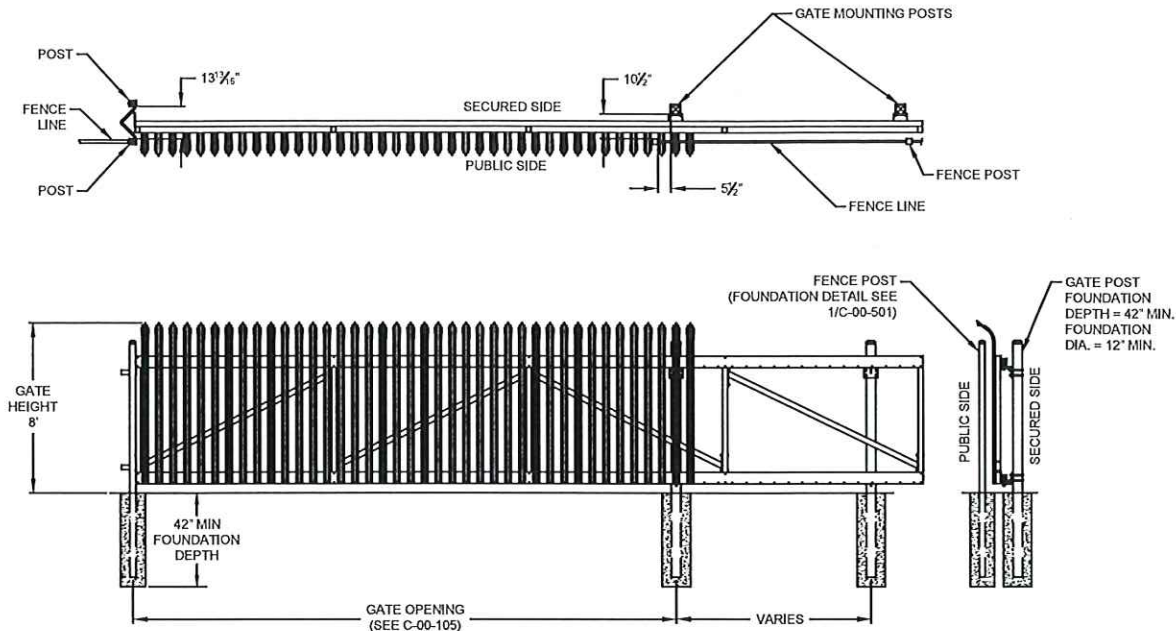
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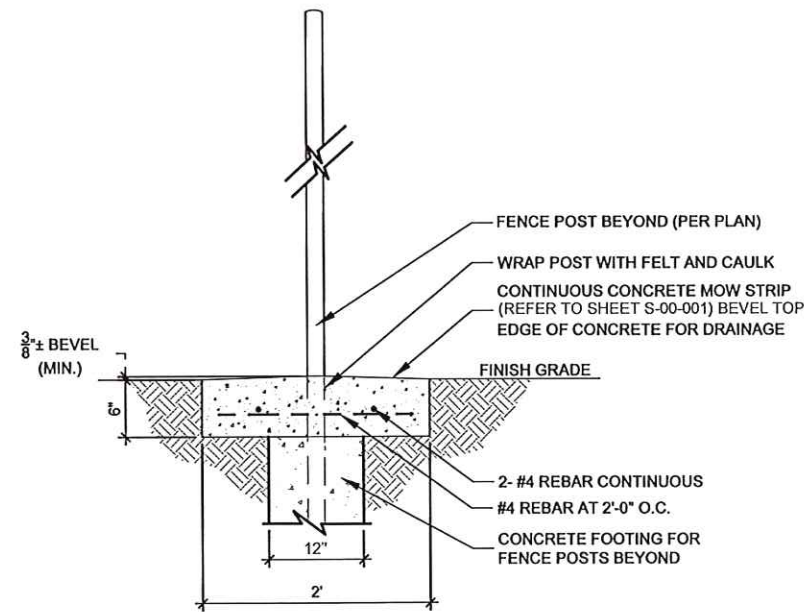
1 TYPICAL SECURITY FENCE
C-00-501



2 TYPICAL SECURITY MANUAL GATE
C-00-501



3 TYPICAL SECURITY SLIDE GATE
C-00-501



4 CONCRETE MOW STRIP
C-00-501

1. ALL CONCRETE USED IN FOOTING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4500 PSI @ 28 DAYS.
2. 1" DEPTH CONTROL JOINTS SHALL BE INSTALLED PERPENDICULARLY AT BETWEEN POSTS UNLESS NOTED OTHERWISE ALONG ENTIRE LENGTH OF MOW STRIP.

F					DESIGNED BY:
E					C. DANG
D					DRAWN BY:
C					T. PETTIS
B					CHECKED BY:
A	ISSUED FOR PERMITTING	CJJ	BTf	9/12/25	J. O'NEILL
No.	DESCRIPTIONS / REVISIONS	CHK'D	APPR	DATE	APPROVED BY:
					J. O'NEILL

DESIGNED BY:	C. DANG
DRAWN BY:	T. PETTIS
CHECKED BY:	J. O'NEILL
APPROVED BY:	J. O'NEILL



NEWBURGH ROAD BOOSTER PUMPING STATION
IMPROVEMENTS

FENCING DETAILS



SECTION MAP	TOWN	RANGE	SECTION
- - -	N 1	E 8	0 2

EGLE PERMIT No.	-
GLWA CONTRACT No.	20####
GLWA CIP No.	132015
DRAWING No.	C-00-501



PLOT DATE: 10/1/2025 9:46 AM

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PLANTING NOTES:

1. THE CONTRACTOR SHALL COORDINATE THIS WORK WITH OTHER CONTRACTORS PERFORMING WORK ON THE SITE.
2. CONTRACTOR SHALL STAKE OUT PLANTING ZONES FOR REVIEW BY OWNER OR ENGINEER PRIOR TO INSTALLING PLANTS.
3. ALL PLANTS SHALL BE HEALTHY, VIGOROUS, FREE OF PESTS AND DISEASE.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE DESIGN PROFESSIONAL BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL PLANTS AND PLANTING AREAS SHALL BE COMPLETELY MULCHED AS SPECIFIED.
6. THE CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HRS MINIMUM PRIOR TO DIGGING FOR FIELD VERIFICATION OF ALL UNDERGROUND UTILITIES, AND OTHER ELEMENTS, AND COORDINATE WITH THE DESIGN PROFESSIONAL PRIOR TO INITIATING OPERATIONS. THE CONTRACTOR SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF WORK.
7. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF LANDSCAPE CONSTRUCTION.
8. REFER TO THE SPECIFICATIONS FOR LANDSCAPE INSTALLATION, MAINTENANCE, WATERING, AND WARRANTY TERMS.
9. CONTRACTOR SHALL PROTECT ALL EXISTING PLANT MATERIALS INDICATED ON PLANS TO REMAIN. ALL PLANT MATERIAL INDICATED TO REMAIN THAT IS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER WITH THE SAME SIZE, QUALITY, AND TYPE OF PLANT MATERIAL OR AS REQUIRED BY THE LOCAL REVIEWING AUTHORITY, WHICHEVER HAS A GREATER RECOMPENSE VALUE.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
11. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE DESIGN PROFESSIONAL PRIOR TO STARTING CONSTRUCTION. FOLLOW THE DESIGN PROFESSIONAL'S INSTRUCTIONS ON RESOLVING ANY DISCREPANCIES.
12. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING.
13. NO PLANT OR CULTIVAR SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT WRITTEN APPROVAL OF THE ENGINEER.
14. OWNER'S REPRESENTATIVE SHALL INSPECT PLANT MATERIAL FOR ACCEPTANCE PRIOR TO PLANTING.
15. REFER TO PLANTING DETAILS AND SPECIFICATIONS FOR INFORMATION RELATING TO PLANTING PIT DIMENSIONS AND COMPOSITION OF PLANTING SOIL MIXTURE.
16. PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. NEVER LIFT OR HANDLE THE TREE BY THE TRUNK.
17. ALL AREAS THAT HAVE BEEN DISTURBED BY PLANTING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION. AREAS WITH BARE SOIL SHALL BE STABILIZED WITH THE APPROPRIATE MEASURE AS SPECIFIED ON THE PLANTING PLAN AND SPECIFICATIONS.
18. MULCHING SHALL BE COMPLETED WITHIN 48 HOURS AFTER PLANTING OF NEW PLANT MATERIAL. MULCH SHALL BE SPREAD TO A MINIMUM DEPTH OF 4" IN ALL LANDSCAPE BEDS AND FOR INDIVIDUALLY PLANTED TREES AND SHRUBS AS SHOWN ON THE LANDSCAPE DETAILS.
19. PLANTS SHALL BE SPACED ACCORDING TO THE LANDSCAPE PLAN.
20. IF POSSIBLE, PLANTS SHOULD BE PURCHASED FROM A SOURCE NEAR THE INSTALLATION SITE FOR THE BEST CHANCE OF SURVIVAL.

PLANT SYMBOLS

-  JUNIPERUS X PFITZERIANA
-  CORNUS SERICEA

TREE SYMBOLS

-  TILIA CORDATA
-  ACER GINNALA
-  PINUS STROBUS 'NANA'
-  QUERCUS ROBUR 'FASTIGIATA'
-  THUJA OCCIDENTALIS
-  CERCIS CANADENSIS
-  CORNUS FLORIDA
-  MALUS X 'SPRING SNOW'
-  MALUS X 'ADIRONDACK'

PLANTING REQUIREMENTS :

PER SECTION 35-5.14.6.A OF FARMINGTON HILLS CLEARZONING

REQUIRED PLANTING FOR 50 FT SETBACK YARD:

- 15 LARGE SHRUBS
- 9 SMALL DECIDUOUS
- 4 EVERGREEN TREES
- 4 LARGE SHRUBS

PROVIDED PLANTING FOR 50 FT SETBACK YARD:

- 15 LARGE SHRUBS
- 9 SMALL DECIDUOUS
- 4 EVERGREEN TREES
- 4 LARGE SHRUBS

REQUIRED PLANTING FOR 40 FT SETBACK YARD:

- 23 LARGE SHRUBS
- 15 SMALL DECIDUOUS
- 8 EVERGREEN TREES
- 8 LARGE SHRUBS

PROVIDED PLANTING FOR 40 FT SETBACK YARD:

- 23 LARGE SHRUBS
- 15 SMALL DECIDUOUS
- 8 EVERGREEN TREES
- 8 LARGE SHRUBS

NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS							
QUANTITY	ABBRV.	SCIENTIFIC NAME	COMMON NAME	HEIGHT	CALIPER	ROOT	SPACING
LARGE DECIDUOUS							
2	AG	ACER GINNALA	AMUR MAPLE	5'-6'	6"	#3 CONT	SEE PLAN
8	UA	QUERCUS ROBUR 'FASTIGIATA'	COLUMNAR ENGLISH OAK	5'-6'	6"	#3 CONT	SEE PLAN
2	TC	TILIA CORDATA	LITTLE LEAF LINDEN	5'-6'	6"	#3 CONT	SEE PLAN
SMALL DECIDUOUS							
6	CC	CERCIS CANADENSIS	EASTERN REDBUD	5'-6'	6"	#3 CONT	SEE PLAN
3	CF	CORNUS FLORIDA	FLOWERING DOGWOOD	5'-6'	6"	#3 CONT	SEE PLAN
6	MA	MALUS 'ADIRONDACK'	ADIRONDACK CRABAPPLE	5'-6'	6"	#3 CONT	SEE PLAN
9	MS	MALUS X 'SPRING SNOW'	SPRING SNOW CRABAPPLE	5'-6'	6"	#3 CONT	SEE PLAN
EVERGREEN							
6	PS	PINUS STROBUS 'NANA'	DWARF WHITE PINE	5'-6'	6"	#3 CONT	SEE PLAN
6	TO	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	5'-6'	6"	#3 CONT	SEE PLAN
SHRUBS							
23	CS	CORNUS SERICEA	RED OSIER DOGWOOD	2'-3'	--	#1 CONT	SEE PLAN
15	SG	JUNIPERUS X PFITZERIANA 'SEA GREEN'	SEA GREEN JUNIPER	2'-3'	--	#1 CONT	SEE PLAN


F					DESIGNED BY:
E					C. DANG
D					DRAWN BY:
C					B STEWART
B					CHECKED BY:
A					J. O'NEILL
No.	DESCRIPTIONS / REVISIONS	CHK'D	APPR	DATE	APPROVED BY:
					J. O'NEILL

DESIGNED BY:
C. DANG

DRAWN BY:
B STEWART


CHECKED BY:
J. O'NEILL

APPROVED BY:
J. O'NEILL



NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS

LANDSCAPE GENERAL NOTES AND LEGEND





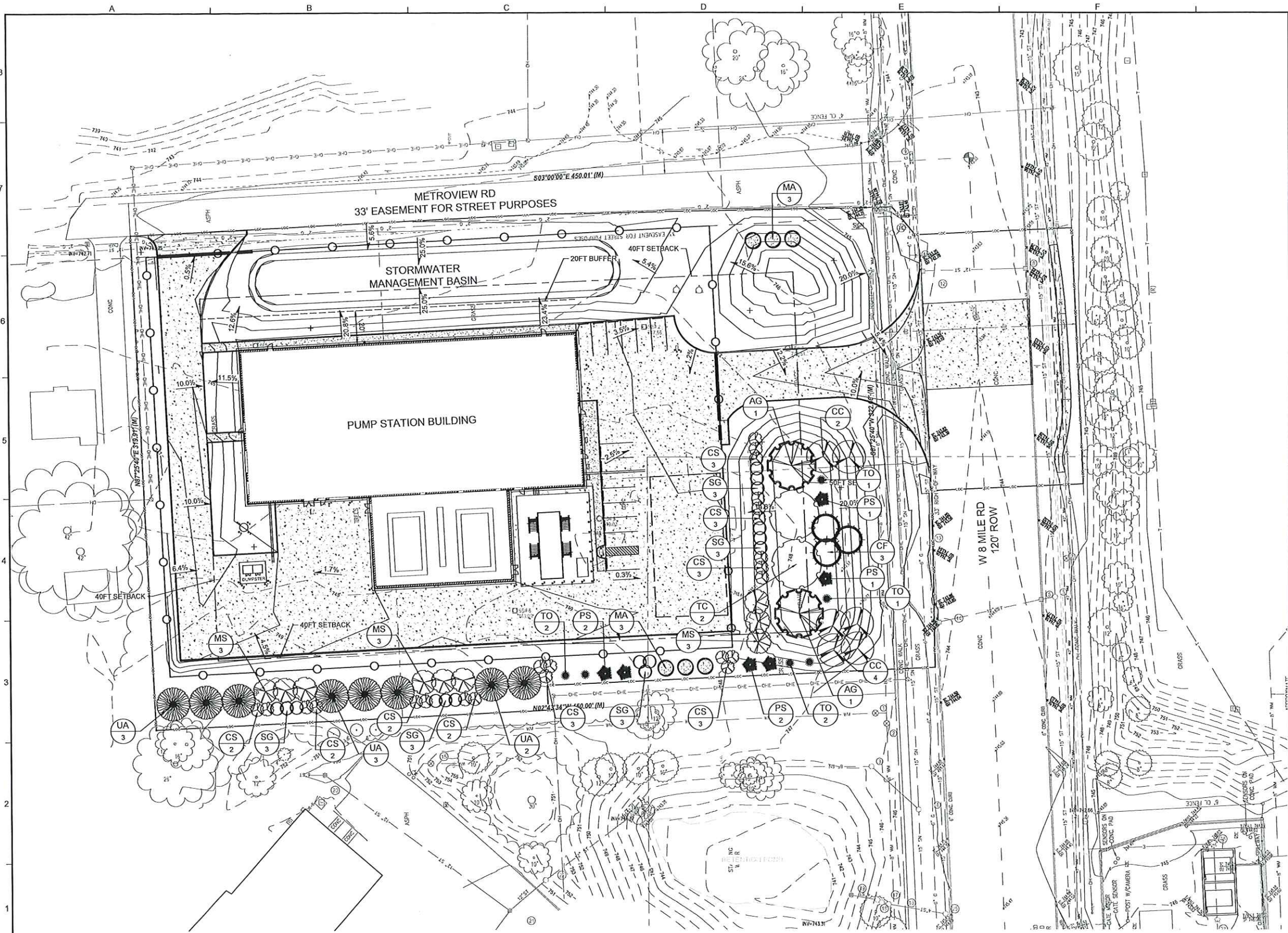
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EGLE PERMIT No. -

GLWA CONTRACT No. 1901767

GLWA CIP No. 132015

DRAWING No. L-00-001



GENERAL NOTES

- SEE DRAWING L-00-001 FOR GENERAL NOTES.
- ALL LANDSCAPING AREAS AROUND BUILDING INCLUDING STORMWATER MANAGEMENT BASIN AREA SHALL HAVE SOD (KENTUCKY BLUE GRASS, PERENNIAL RYE GRASS, CREEPING RED FESCUE) INSTALLED. SEE SPECIFICATION 32 92 19.15
- A TREE PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES SIX INCHES (6") OR MORE DBH IN ACCORDANCE WITH THE CITY OF FARMINGTON HILLS ZONING CHAPTER 34-559.
- TREES MUST BE PLANTED NO CLOSER THAN SIX FEET (6') TO PUBLIC UTILITIES.
- ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON APPROVED PLANS WILL BE REQUIRED THROUGH THE LIFE OF THE PROJECT AND MUST BE REPLACED IF REMOVED OR DEAD.
- 4 FOOT (4') HIGH WOOD SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERECTED AROUND THE DRIP LINE OF ALL TREES TO BE SAVED IN ACCORDANCE WITH THE CITY OF FARMINGTON HILLS ZONING ORDINANCE CHAPTER 34-559.
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN ASSOCIATION OF NURSERYMAN STANDARDS AND BE:
 - NURSERY GROWN.
 - STATE DEPARTMENT OF AGRICULTURE INSPECTED.
 - NO. 1 GRADE WITH STRAIGHT UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM GROWN (PARK GRADE TREES WILL NOT BE ACCEPTED).
 - PLANTED PER CITY OF FARMINGTON HILLS DETAILS AND SPECIFICATIONS AND IN ACCORDANCE WITH CITY OF FARMINGTON HILLS CHAPTER 34-553.
 - GUARANTEED FOR ONE YEAR.
 - REPLACEMENT TREES SHALL HAVE SHADE POTENTIAL AND OTHER CHARACTERISTICS COMPARABLE TO THE TREES PROPOSED FOR REMOVAL.

KEYNOTES:

- GENERAL TREE PLANTING, SEE DETAIL A/L-00-801.
- GENERAL SHRUB PLANTING, SEE DETAIL B/L-00-801.

LOCATION MAP



PLAN



No.	DESCRIPTIONS / REVISIONS	CHK'D	APPR	DATE
F				
E				
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DESIGNED BY:	C. DANG
DRAWN BY:	B STEWART
CHECKED BY:	J. O'NEILL
APPROVED BY:	J. O'NEILL



NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS

LANDSCAPE PLAN

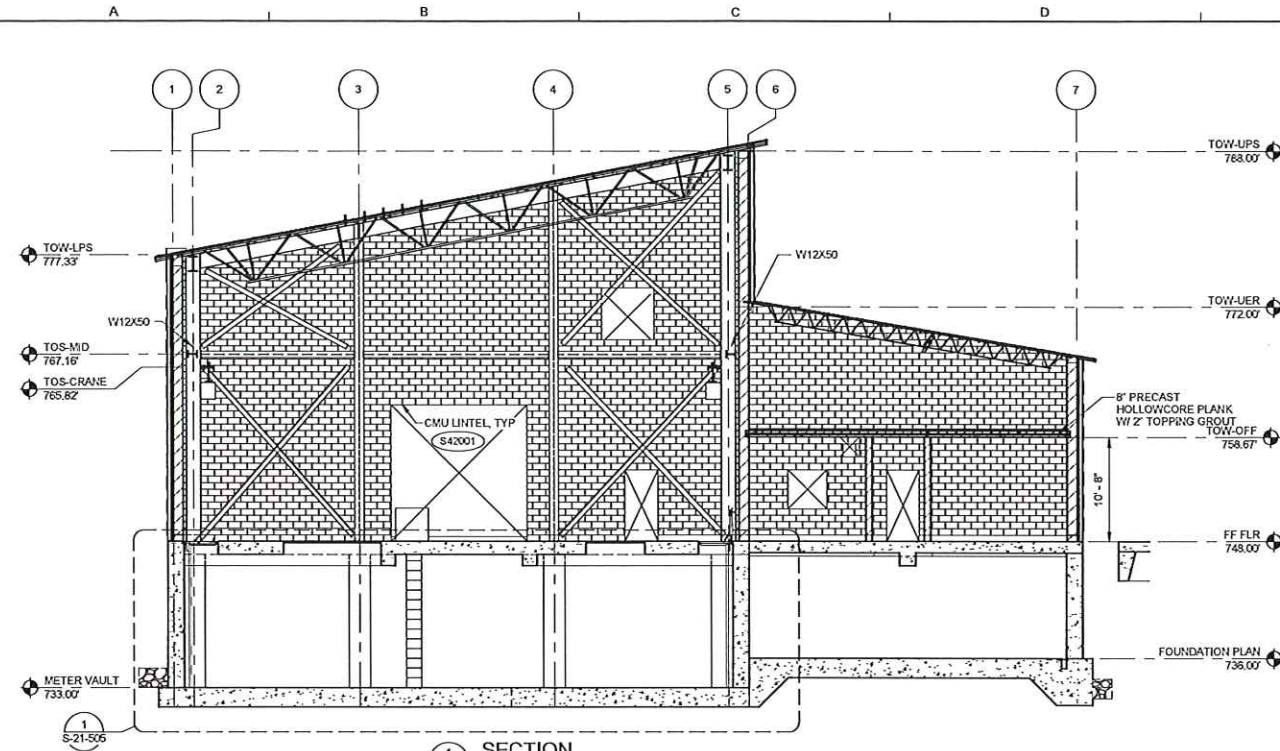
Brown and Caldwell



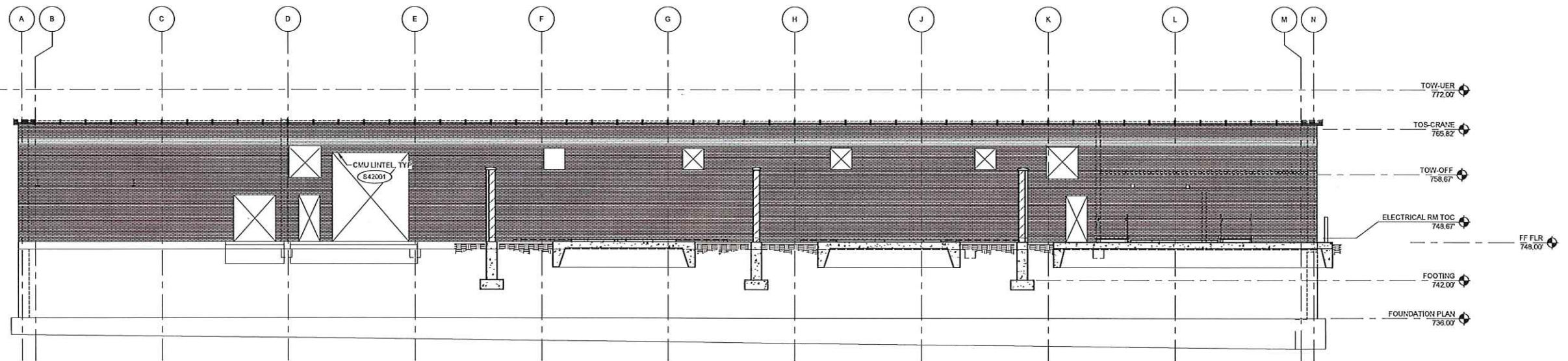
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EGLE PERMIT No.	-
GLWA CONTRACT No.	1901767
GLWA CIP No.	132015
DRAWING No.	L-00-101

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1 SECTION
S-21-101 SCALE: 1/8" = 1'-0"



2 SECTION
S-21-102

PATH: Autodesa Docu/154283 - GLWA CIP 132015 Newburgh Rd Booster/154283-S-001V2.dwg

F					DESIGNED BY:	A.AL-AQEELI
E					DRAWN BY:	R.BLUMENSHINE
D					CHECKED BY:	K.PARK
C					APPROVED BY:	K.PARK
B						
A	ISSUED FOR PERMITTING	CJJ	BTF	9/12/25		
No.	DESCRIPTIONS / REVISIONS	CHKD	APPR	DATE		



NEWBURGH ROAD BOOSTER PUMPING STATION
IMPROVEMENTS

SECTIONS 5

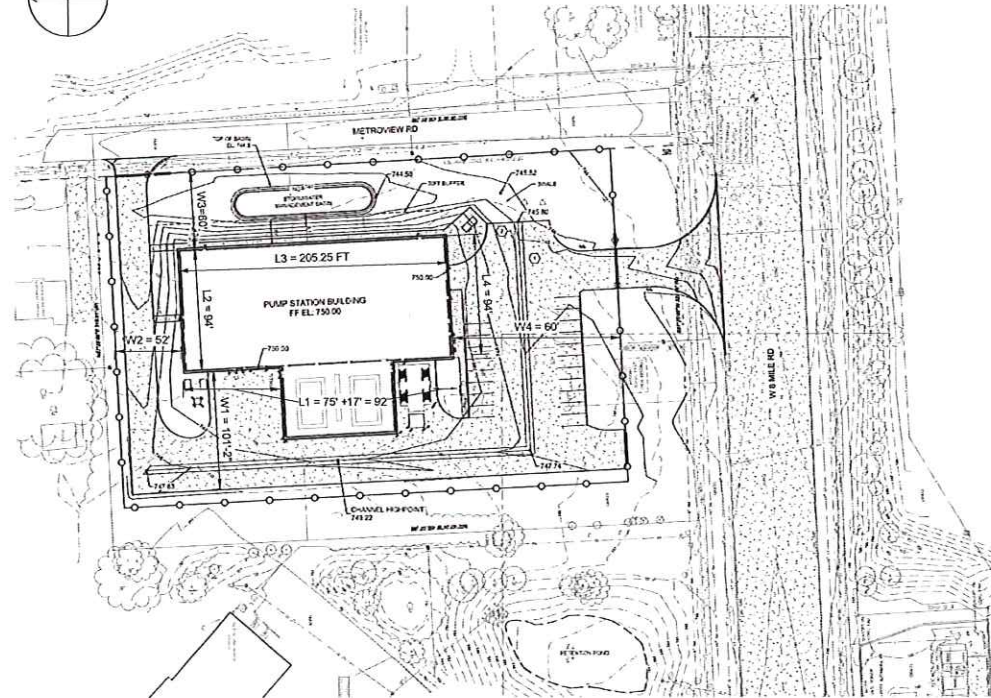


EGLE PERMIT No.	
GLWA CONTRACT No.	20#####
GLWA CIP No.	132015
DRAWING No.	S-21-305

SECTION MAP	TOWN	RANGE	SECTION
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STRUCTURAL

Abstract



2 ALLOWABLE AREA CALCULATION SITE PLAN

2021 MICHIGAN ENERGY CODE		
CLIMATE ZONE		
ZONE 5A		
	BUILDING ENVELOPE REQUIREMENTS (TABLE C402.1.3)	BUILDING ENVELOPE DESIGN
ROOFS		
INSULATION ENTIRELY ABOVE DECK	R-30ci	R-30ci
METAL BUILDING	R-19 + R-11 LS	N/A
ATTIC AND OTHER	R-38	N/A
WALLS BELOW GRADE		
BELOW-GRADE WALL	R-7.5 ci	R-7.5 ci
WALLS ABOVE GRADE		
MASS	R-11.4 ci	R-14ci
METAL BUILDING	R-13 + R-13ci	N/A
METAL FRAMED	R-13 + R-7.5ci	N/A
WOOD-FRAMED AND OTHER	R-13 + R-3.8ci OR R-20	N/A
FLOORS		
MASS	R-10ci	R-14.6ci
JOIST / FRAMING	R-30	N/A
OPAQUE DOORS (50% GLASS)		
NON-SWINGING	R-4.75	R-4.75
SWINGING	R-2.70	R-2.70
SLAB-ON-GRADE FLOORS		
UNHEATED	R-10 FOR 24" BELOW	N/A
HEATED	R-15 FOR 36" BELOW	N/A

BUILDING CODE CRITERIA						
SUBAREA / ROOM	AIR CONDITIONING	HEATING	CONFINED SPACE	CORROSIVE AREA	VENTILATION RATES	NFPA CATEGORY (NFPA 620-2024)
PUMP ROOM	NO	YES	NO	NO		UNCLASSIFIED
MECHANICAL ROOM	NO	YES	NO	NO		UNCLASSIFIED
METER VAULT	TBD	TBD	TBD	TBD		TBD
CABLE VAULT	TBD	TBD	TBD	TBD		TBD
ELECTRICAL ROOM	NO	YES	NO	NO		UNCLASSIFIED
STORAGE	NO	YES	NO	NO		UNCLASSIFIED
OFFICE	NO	YES	NO	NO		UNCLASSIFIED
RESTROOM	YES	YES	NO	NO		UNCLASSIFIED
JANITOR CLOSET	TBD	TBD	TBD	TBD		TBD
OVATION ROOM	NO	YES	NO	NO		UNCLASSIFIED
IT ROOM	TBD	TBD	TBD	TBD		TBD

BUILDING CODE CHART			
CODE ITEM		CODE REFERENCE	
OCCUPANCY OF BUILDING		CHAP 3	
CONSTRUCTION TYPE		CHAP 6	
		ALLOWABLE	ACTUAL
BUILDING HEIGHT (FT)		CHAP 5 TABLE 504.3	55
NUMBER OF STORIES		CHAP 5 TABLE 504.4	2
ALLOWABLE FLOOR AREA (SF)		CHAP 5 TABLE 509.2	24,160
18,320(a)			
SEPARATION RATINGS - CHAPTER 6			
FIRE SEPARATION DISTANCE FOR EXTERIOR WALLS		REQUIRED	PROVIDED
DISTANCE LESS THAN 5'		CHAP 6 TABLE 602	2 HR
DISTANCE BETWEEN 5' & 10'		CHAP 6 TABLE 602	1 HR
DISTANCE BETWEEN 10' & 30'		CHAP 6 TABLE 602	0 HR
DISTANCE MORE THAN 30'		CHAP 6 TABLE 602	0 HR
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS - CHAPTER 6			
		REQUIRED	PROVIDED
STRUCTURAL FRAME		CHAP 6 TABLE 601	0 HR
BEARING WALLS - EXTERIOR		CHAP 6 TABLE 601 AND 602	0 HR
BEARING WALLS - INTERIOR		CHAP 6 TABLE 601	0 HR
NON-BEARING WALLS AND PARTITIONS (INTERIOR)		CHAP 6 TABLE 602	0 HR
FLOOR CONSTRUCTION		CHAP 6 TABLE 601	0 HR
ROOF CONSTRUCTION		CHAP 6 TABLE 601	0 HR
SHAFT ENCLOSURE - EXIT		CHAP 7 SECTION 708.4	N/A
OPENING PROTECTIVES		CHAP 7 SECTION 715	N/A
INTERIOR FINISHES - CHAPTER 8			
		REQUIRED	PROVIDED
VERTICAL EXITS AND EXIT PASSAGEWAYS		CHAP 8 TABLE 803.11	CLASS B
EXIT ACCESS CORRIDORS AND OTHER EXIT WAYS		CHAP 8 TABLE 803.11	CLASS C
ROOMS AND ENCLOSED SPACES		CHAP 8 TABLE 803.11	CLASS C
LIFE SAFETY REQUIREMENTS - CHAPTER 9 & 10			
		REQUIRED	PROVIDED
AUTOMATIC SPRINKLERS		CHAP 9 SECTION 903.2.4	NO
ALTERNATE AUTOMATIC FIRE EXTINGUISHING SYSTEMS		CHAP 9 SECTION 904	NO
STANDPIPE SYSTEM		CHAP 9 SECTION 905	NO
PORTABLE FIRE EXTINGUISHERS		CHAP 9 SECTION 906.1	YES
FIRE ALARM AND DETECTION SYSTEMS		CHAP 9 SECTION 907.2	NO
PANIC HARDWARE		CHAP 10 SECTION 1010.1, 10	YES
EXIT SIGNS		CHAP 10 SECTION 1013.1	YES
EMERGENCY LIGHTING		CHAP 10 SECTION 1008.1	YES
MEANS OF EGRESS - CHAPTER 10			
OCCUPANT LOAD FACTORS (SF / PERSON)		CHAP 10 TABLE 1004.1.2	300 SF PER OCCUPANT
OCCUPANT LOAD CHART		REFERENCE CODE COMPLIANCE PLAN	
		REQUIRED	PROVIDED
EGRESS WIDTH PER OCCUPANT		28" MIN	28" MIN
SPACES WITH ONE MEANS OF EGRESS		ALLOWED	(1) MEANS OF EGRESS
EXIT ACCESS TRAVEL DISTANCE		200 FT (N5)	SEE CODE COMPLIANCE PLAN
COMMON PATH OF TRAVEL DISTANCE		75 FT (N5)	SEE CODE COMPLIANCE PLAN
CORRIDOR FIRE RESISTANCE		0 HR	N/A
ACCESSIBILITY - CHAPTER 11 / ADA 2010			
CONSTRUCTION SITES			
EQUIPMENT SPACES			
ACCESSIBILITY ROUTE / ENTRY			
PARKING			
SIGNAGE			

SEE BUILDING CODE CHART NOTE 1

(a) REFER TO ALLOWABLE AREA CALCULATION AND PLAN THIS SHEET

BUILDING CODE CHART NOTES:

1. ACCESSIBILITY: 2015 MICHIGAN BUILDING CODE - ACCESSIBILITY UNDER SECTION 1103.2.9 "SCOPING REQUIREMENTS - EQUIPMENT SPACES" AND THE 2010 ADA STANDARDS UNDER SECTION 203.5 "MACHINERY SPACES", EXEMPT THE WORK FROM ACCESSIBILITY REQUIREMENTS UNLESS OTHERWISE NOTED.

2. ABBREVIATIONS: N/A = NOT APPLICABLE FOR THIS PROJECT

F					DESIGNED BY:	H.BYRNES
E					DRAWN BY:	A.RIOS
D					CHECKED BY:	D.WALDROP
C					ISSUED FOR PERMITTING	C/JJ BTF 9/12/25
B					APPROVED BY:	T.BENTAHAR
A						
No.	DESCRIPTIONS / REVISIONS	CHKD	APPR	DATE		

CODE ANALYSIS AND SITE PLAN




EGLE PERMIT No.	
GLWA CONTRACT No.	20#####
GLWA CIP No.	132015
DRAWING No.	A-00-002

SECTION MAP				TOWN		RANGE		SECTION	
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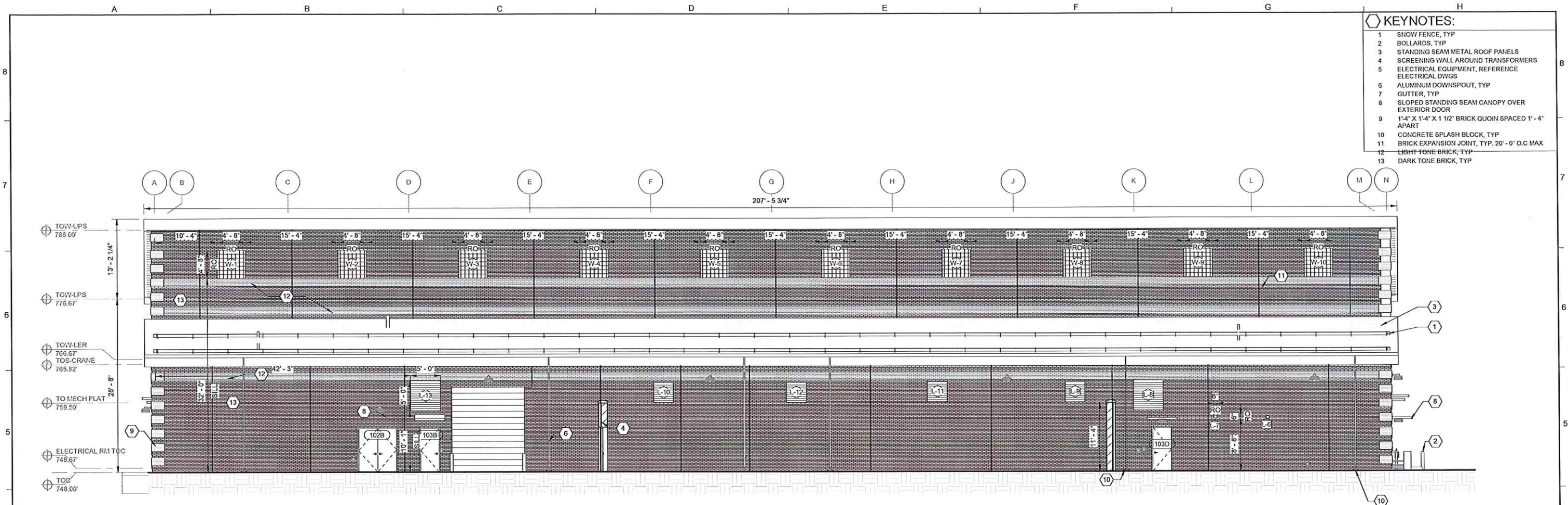
1 SOUTH ELEVATION
A-21-101 SCALE: 1/8" = 1'-0"



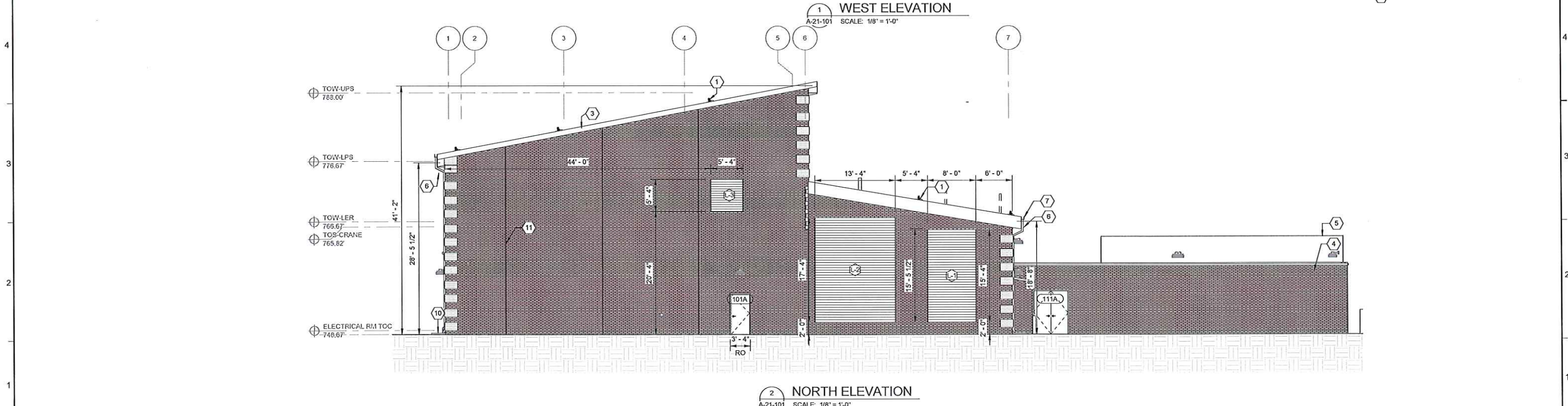
F					DESIGNED BY:	H.BYRNES	NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS										<div>Brown AND Caldwell</div>		<div><div></div><div>GLWA</div><div>Great Lakes Water Authority</div></div> <div>EGLE PERMIT No.</div> <div>GLWA CONTRACT No.</div> <div>20#####</div> <div>GLWA CIP No.</div> <div>132015</div> <div>DRAWING No.</div> <div>A-21-401</div>																				
E					DRAWN BY:	A.RIOS	BUILDING ELEVATIONS 1																																
D					CHECKED BY:	D.WALDROP																																	
C					APPROVED BY:	T.BENTAHAR																																	
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A	ISSUED FOR PERMITTING	CJJ	BIF	9/12/25																																			
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- KEYNOTES:**
- 1 SNOW FENCE, TYP
 - 2 BOLLARDS, TYP
 - 3 STANDING SEAM METAL ROOF PANELS
 - 4 SCREENING WALL AROUND TRANSFORMERS
 - 5 ELECTRICAL EQUIPMENT, REFERENCE ELECTRICAL DWGS
 - 6 ALUMINUM DOWNSPOUT, TYP
 - 7 GUTTER, TYP
 - 8 SLOPED STANDING SEAM CANOPY OVER EXTERIOR DOOR
 - 9 1'-4" X 1'-4" X 1 1/2" BRICK QUOIN SPACED 1' - 4" APART
 - 10 CONCRETE SPLASH BLOCK, TYP
 - 11 BRICK EXPANSION JOINT, TYP, 20' - 0" O.C MAX
 - 12 LIGHT TONE BRICK, TYP
 - 13 DARK TONE BRICK, TYP



DESIGNED BY: H.BYRNES				DRAWN BY: A.RIOS				CHECKED BY: D.WALDROP				APPROVED BY: T.BENTAHAR			
ISSUED FOR PERMITTING				CJJ				BTf				9/12/25			
No. DESCRIPTIONS / REVISIONS				CHK'D				APPR				DATE			

NEWBURGH ROAD BOOSTER PUMPING STATION IMPROVEMENTS				Brown and Caldwell				GLWA Great Lakes Water Authority				EGLE PERMIT No.			
BUILDING ELEVATIONS 2												GLWA CONTRACT No.			
												GLWA CIP No.			
												DRAWING No.			

SECTION MAP				TOWN				RANGE				SECTION			
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November 18, 2025

Farmington Hills Planning Commission
31555 W 11 Mile Rd
Farmington Hills, MI 48336

Review	Date
1st	11/18/2025

Special Land Use Review

Case: SA 67-10-2025
Site: 27900 Orchard Lake Road (22-23-11-35-10-13)
Applicant: Brewtopia Michigan, LLC
Plan Date: 10/10/2025
Zoning: B-3 General Business

We have completed a review of the application for site plan approval and a summary of our findings is below. Items in **bold** require specific action. Items in *italics* can be addressed administratively.



SUMMARY OF FINDINGS

Summary of Proposal. The applicant proposes to demolish an existing 2,769 SF commercial building (previously occupied by Arby's) and construct a new 510 SF coffee drive-through business, with an additional 335 SF building to house the cooler. The parking lot is proposed to be redesigned in a manner that accommodates two drive-thru lanes with bypass and six parking spaces.

Summary of Issues.

For Planning Commission consideration:

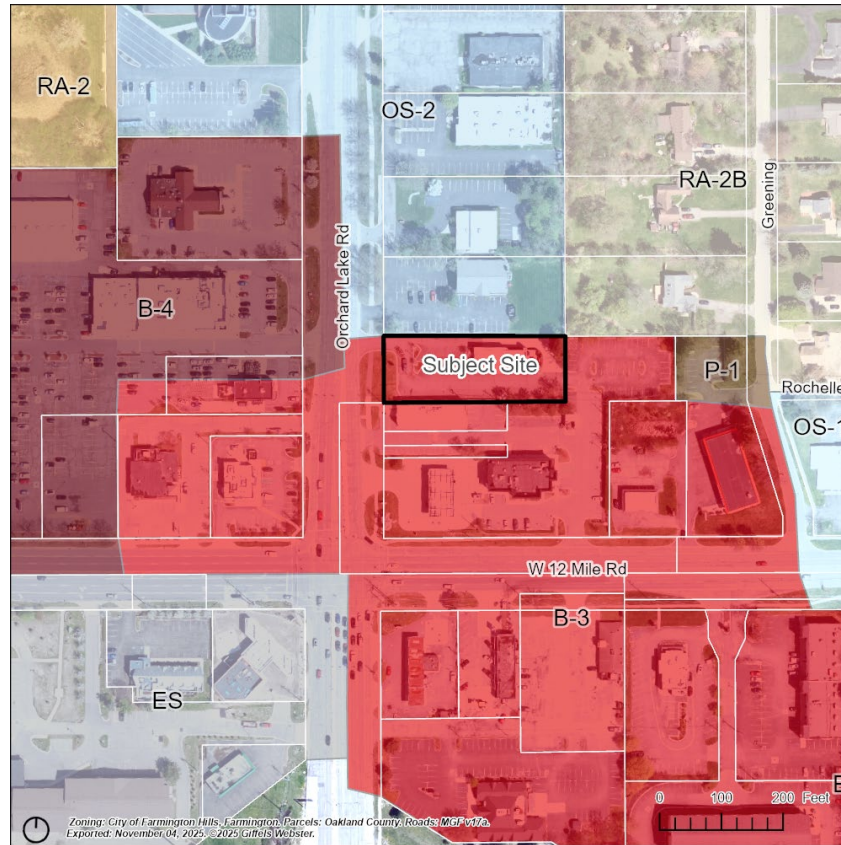
For administrative review:

-

Existing Conditions

1. **Zoning.** The site is 0.21 acres and zoned B-3.
2. **Existing site.** The site is currently developed with an existing 2,769 SF commercial building previously occupied by Arby's.
3. **Adjacent properties.**

Direction	Zoning	Land Use
North	OS-2	Professional Office
South	B-3	Retail
West	B-4/B-3	Shopping Center
East	B-3	Parking Lot



4. **Site configuration and access.** The site has primary access from Orchard Lake Road. In addition, the site has access to the parking lot to the east, which is also connected to the Shell Gas Station.

Site Plan & Use:

1. **Use.** The applicant is proposing to use the site for a drive-through restaurant, a Special Land Use in the B-3 District.
2. **Dimensional Standards (B-3 district).** See footnotes after the table for remarks on compliance issues.

Item	Required	Proposed/Comments
Standards of Sec. 34-3.1.25.E		
Min. lot size	None specified	0.21 acres
Min. lot width	None specified	108.28 ft
Front Setback- West	25 ft	60 ft+
Side Setback- North	10 ft	52 ft
Side Setback- South	10 ft	21.6 ft
Rear Setback – East	20 ft	185.4 ft
Building Height	50 feet	19 ft 8 in
Front Yard Open Space	50%	>50%
Other dimensional standards		
Yard landscaping (34-3.5.2.A)	For all uses except one-family detached residential units,	See landscaping comments below.

Item	Required	Proposed/Comments
	landscaping of all yards abutting a street shall be provided	
Minimum parking setback (34-3.5.2.J)	10 feet	Compliant
Loading space (34-3.5.2.N)	10 feet of loading space per front foot of building = 157 sq ft	<i>See review of off-street loading below</i>
Rooftop equipment (34-3.5.2.U.)	Rooftop equipment shall be screened in accordance with Section 34-5.17.	An ice condenser was proposed on the rooftop and noted to be screened "when screening is present." <i>The applicant should clarify what this means.</i>
Landscape area abutting street or freeway (34-3.5.2.V.)	A landscaped area not less than ten (10) feet deep	Compliant.

3. Drive-In Restaurants (34-4.35)

The following standards apply for drive-through facilities in the B-3 District:

- A minimum 1,100-square-foot area with indoor seating for at least twenty (20) people shall be provided. **There is no indoor seating provided. This standard is not met.**
- Stacking shall be at least 35 feet from an adjacent residential district. *Complies.*
- An outdoor space for seating accessory to the drive-in restaurant comprised of at least six (6) seats shall be provided. Section 34-4.32 shall not apply to such outdoor seating space. The Planning Commission may reduce the outdoor seating requirement, or waive it entirely, if it finds that there is insufficient area available to appropriately place the seating, or that its location would make it unlikely that it would be utilized or would make it difficult to be utilized, or if the unique circumstances of the use make providing the seating undesirable. **No outdoor seating is provided. The Planning Commission should review the plan to determine whether these standards for reduction or waiver of outdoor seating are met.**
- Vehicular access drives shall be at least 60' from an intersection. *Complies.*

4. **Accessory Buildings and Structures (34-5.1)** The plans include an accessory building that includes a cooler. **Accessory buildings shall be located at least 10 feet from the main building, but the proposed accessory building is 5.2' from the main building. (34-5.1.c). The building shall be relocated or a variance must be obtained by the Zoning Board of Appeals.**

5. Dumpster (34-5.1.2.D).

Item	Required	Proposed/Comments
Location	Rear yard or interior side yard	Compliant
Screening	Permanent building wall or earth mound not less than 6 feet or 1 foot above the enclosed dumpster whichever is greater	Compliant. 6'9" wall proposed

Setback	20 feet from any residential property and far as practicable from adjoining residential district	Compliant.
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6. **Mechanical Equipment (34-5.1.4.D).** The plans include a roof equipment screen consistent with the proposed building materials, however, an ice condenser was proposed on the rooftop and noted to be screened “when screening is present.” *The applicant should clarify what this means.*
7. **Minimum parking (34-5.2).** The use does not have interior space for customers. Parking is needed for staff only.

Requirement	Calculations	Provided
Drive-In Restaurants	One space for each 30 SF of UFA 30 sf UFA= 1 Space	6 spaces Compliant <i>(however, the required indoor seating area is not provided)</i>
Barrier-Free Spaces	1 van accessible	1 space Compliant

8. **Drive-Thru Requirements (34-5.2.12)**

The plans propose two lanes of drive-thru stacking with a total of 21 stacking spaces (combined).

Item	Required	Provided
Circulation	Separated from circulation lanes, ingress and egress	Compliant
Location	Stacking and waiting not permitted in front yard	Compliant
Setback	10' from rear and side lot lines	Compliant
Landscape Buffer	Required for drive-thru lanes adjacent ROW	N/A
Bypass Lane	Bypass lane required	Compliant
Minimum width	9'	Compliant. 12.5'
Stacking length	20'	Compliant
Turning Radius	25 ft	<i>Not provided</i>
Stacking requirement	10 vehicles, with 5 in advance of the ordering station	All stacking is in advance of the ordering station because the menu is at the window. Compliant.

9. **Off-street parking dimensions (34-5.3.3.A & B.).**

Item	Required	Proposed/Comments
Maneuvering lane width	15 ft.	15 ft/ Compliant
Parking space width	8 ft 6 in	8 ft 6 in/ Compliant <i>(noted incorrectly as 9 ft in the parking schedule)</i>

Parking space length	20 ft. for minimum required (May include a maximum two-foot unobstructed vehicle overhang area at the front of the parking space.) 17 ft. for additional parking (May include a maximum one-foot unobstructed vehicle overhang area at the front of the parking space)	20 ft
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10. Off-street loading. (34-5.4). Although noted to occur off hours, the area designated for loading/unloading shall be identified on the plans. The calculation is based on frontage, and with a frontage of only 15.7', this amounts to 157' of loading. *The applicant shall demonstrate that the size of the loading space provided is sufficient to meet the needs of the business or provide a loading space of greater size (157 sf is smaller than a standard parking space). The loading space shall be provided in the rear yard or, with approval by the planning commission, in an interior side yard that is screened from view from any public street.*

11. **Signs (34-5.5).** The elevation drawings indicate the location of proposed wall signs. Though these are generally reviewed under a separate application, we have provided comments on what is presented.

On the front (western) facade, the applicant has proposed two wall signs (a logo sign and a "drive-thru coffee" sign), on the 'left' (northern) façade, the applicant has proposed one logo wall sign, on the 'right' southern façade, the applicant has proposed two wall signs (a logo sign and a "drive-thru coffee" sign).

Wall signs may only be permitted on two façades of a building. The applicant shall revise plans to show wall signs on only two of the three façades proposed. Wall signs shall not exceed 10% of the building façade.

The front façade is 310 sf and the proposed logo sign is 36 sf and dimensions for the 'drive-thru' coffee sign were not provided. With that, the logo sign alone exceeds the 10% maximum permitted.

Dimensions for the left and right (north and south) façades were not provided to verify whether the sign area is compliant. In addition, the sign area measurement includes the "ascending and descending" text, resulting in a larger sign area than would otherwise be calculated. The sign dimensions shall be updated to exclude ascenders and descenders and the 'drive-thru coffee' sign dimensions shall be provided.

12. **Acceleration-Deceleration-Passing Lanes (34-5.6.2.)** Driveways providing ingress and egress to all three-lane paved major or secondary thoroughfares shall be provided with paved acceleration and deceleration lanes. If in the opinion of the director of public services no useful purpose would be served or if unusual difficulty would be encountered by reason of grade changes, intersections, bridges, or other land restrictions, the director may waive or modify the requirements of this section. **We defer to engineering to address this issue.**
13. **Circulation.** The applicant has proposed a loop around the site in a one-way direction. Two-way traffic is permitted from the entrance and the connection to the parking area in the rear. A pedestrian crossing and sidewalk connection to Orchard Lake Road are proposed.
14. **Landscape Development (34-5.14).** The applicant has provided a survey including existing plantings, but the corresponding tree inventory was not provided. None of the existing trees are proposed to

be removed or modified and tree sizes were labeled as well as a note stating that trees are evergreens. *An inventory of the species and condition of existing trees shall be provided.*

Item	Required			Proposed/Comments
Minimum parking lot island area	Minimum of 180 square feet; 3 feet minimum radius at the trunk of the tree			N/A
Cost estimate	Not required			--
Minimum size and spacing requirements at planting (34-5.14.F)	Size	Center to center distance (max)		
	(Height/width)	groupings	rows	
• Evergreen Trees	8 ft. height	20 ft.	12 ft.	N/A
• Narrow Evergreen Trees	5 ft. height	10 ft.	5 ft.	Standard is met
• Large Shrubs	30 in. height	10 ft.	5 ft.	<i>Plans state 24"-30". 30" required.</i>
• Small Shrubs	24 in. width	4 ft.	4 ft.	Standard is met
• Large Deciduous	3 in. caliper	30 ft.	-	Standard is met
• Small deciduous trees	2 in. caliper	15 ft.	-	N/A
• Hedge shrubs	24 in. height	3 ft.	3 ft.	Standard is met
Distance between plant materials	Spacing shall be provided in accordance with 34-5.14.3.g			Standard is met
Canopy Trees	Shall be large deciduous and distributed evenly throughout the paved area			Only three trees were provided around the perimeter of the lot.
Minimum number of parking lot trees (34-5.14.4.C)	<p>1 per every 2,800 square feet of paved surface area</p> <p>21,564 sf of paved area/ 2,800= 8 trees required</p>			<i>3 large deciduous trees were provided around the parking lot perimeter. The applicant has also counted 5 existing trees towards this requirement, but they are evergreen trees. The Planning Commission shall determine whether these trees may be used to satisfy this requirement where it would be in the best interest of the city and would not interfere with visual clearance. It should be noted that the existing trees are grouped in the rear of the parking area and not distributed throughout the paved area.</i>

Item	Required	Proposed/Comments
Parking lot screening from public thoroughfare (34-5.14.5)	A planted hedge of small shrubs, or A masonry wall or berm of 2 feet high	Provided. <i>The planning commission may wish to discuss whether there is sufficient screening south of the pedestrian pathway.</i>
Wall or Berm (34-5.15)	Required when abutting a residential district. (See 34-5.15)	None required. An existing wall is proposed to remain.
Tree replacement (34-5.18)	All trees proposed for removal shall be replaced in accordance with this section	No trees proposed for removal

15. Lighting (Section 34-5.16).

Operation hours (34-5.16.3.B.v.). *The following notes must be added to or addressed on the plan; it is unclear from the existing plans whether these standards are met. The applicant should clarify as to how these standards are met.*

- i. Exterior lighting shall not operate during daylight hours.
- ii. Building façade and landscape lighting shall be turned off between midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
- iii. All other exterior lighting shall be reduced to no greater than 70% of maximum from midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
- iv. Use of occupancy sensors to turn off or reduce lighting within 15 minutes of zero occupancy is recommended.

a. Illumination Levels

Item	Required	Proposed/Comments
Maximum height (34-5.16.3.A.)	30 feet maximum	<i>Not provided</i>
Building Lighting (34-5.16.3.A. iii.)	Specifications for all existing and proposed lighting, elevation drawings showing fixtures and portions of wall to be illuminated	<i>Height of fixtures and hours of operation not provided. Building elevation photometrics not shown.</i>
Average to minimum illumination ratio (34-5.16.3.C)	4:1	<i>Lighting details, including minimum, maximum, and lumen calculations for each fixture type were not provided, therefore we were unable to review whether the site meets the maximum illumination of 2.5 lumens per sf of pavement area or whether it is compliant with the average: minimum ratio of 4:1.</i>

Item	Required	Proposed/Comments
Maximum illumination at the property line	0.3 fc	<i>Certain points on south property line require minor adjustment</i>
Illumination Levels- Hardscape areas (e.g., parking areas, sidewalks)	2.5 lumens per sq ft of hardscape area maximum	<i>See 4: ratio comment above</i>
Illumination Levels Building Entrances – within 20 ft of door	2,000 lumens per door maximum	<i>Insufficient information provided</i>

- **The proposed wall packs are not fully cutoff fixtures.**

16. **Design Standards (34-5.20).** The design standards apply to all walls facing a right-of-way, this includes the proposed accessory building. *Due to noncompliance with accessory building spacing requirements and the design standards below, we recommend this be relocated to the rear of the principal building.*

Building Materials. Building materials appear to be labeled, but a corresponding legend was not provided. It appears as though the primary building material is brick, which is permitted.

Architectural scaling requirements are met.

Roof/parapet standards are met; this building will have a flat roof.

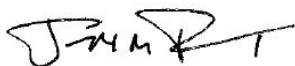
Buildings facing a major thoroughfare are required to have 60% window coverage on the ground floor. This standard appears not to be met on the western (front) ground floor façade, *but is not met on the proposed accessory structure*. The planning commission may grant relief from building material requirements when it finds that the materials are consistent with surrounding development and the waiver will achieve a specific architectural objective.

Entranceway standards are met.

17. **Pedestrian Connection (Sec. 34-5.19).** A pedestrian connection to Orchard Lake Road was provided and an internal pedestrian walkway is provided from the building to the parking area.

We are available to answer questions.

Respectfully,
Giffels Webster



Joe Tangari, AICP
Principal Planner



Julia Upfal, AICP
Senior Planner



DEPARTMENT OF PUBLIC SERVICES
JACOB RUSHLOW P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

DATE: November 4, 2025

TO: Charmaine Kettler-Schmult, Director of Planning & Community Development

FROM: Mirandi Alexander, Civil Engineer II

SUBJECT: Seven Brew
Site Plan
SP #67-10-2025
22-23-11-351-013

This office has performed a preliminary review of the above referenced site plan submitted to the Planning Department on October 24, 2025. Our preliminary comments are noted below.

1. An 8" watermain currently runs directly through the site. It appears that the building is currently proposed right over the existing watermain. An easement for the watermain was not located, therefore a new easement will be required.
2. A 15" public sanitary sewer exists along the South side of the property. It is available for service. The plans identify this line and the onsite sanitary sewer lead. If the existing sanitary sewer lead is being considered for re-use, it must be televised and any infiltration/inflow issues or deficiencies must be corrected. The video of this televising also needs to be provided to the City for review.
3. A public sidewalk currently exists along the Orchard Lake frontage of this site. The plan needs to provide a new 5' wide sidewalk along the entire Orchard Lake frontage. It must be ADA compliant.
4. Attached are the original comments from our Environmental Engineer, Tyler Sonoga. The proponent needs to address these items. Any questions regarding these comments should be referred to Tyler at 248-871-2533.



DEPARTMENT OF PUBLIC SERVICES
JACOB RUSHLOW, P.E., DIRECTOR

City of Farmington Hills
Environmental Review

Project Name: 7 Brew Coffee

Address: 27900 Orchard Lake

PJ#: 11-25-93

Plan Dated: 10-10-2025

Plan Received: 10-27-2025

Review #: 1

Review Date: 10-31-2025

As requested, I have conducted a plan review of the above reference engineering plans. I have the following comments:

1. Provide detail and sizing for the water quality unit.

Should you have any questions, please do not hesitate to call.

Respectfully submitted,

A handwritten signature in black ink that reads 'Tyler Sonoga'.

Tyler Sonoga
Civil/Environmental Engineer
Department of Public Services

cc: City of Farmington Hills, M. Saksewski



FIRE

FARMINGTON HILLS



INTEROFFICE CORRESPONDENCE

Date: October 30, 2025

To: Planning Commission

From: Jason Baloga, Fire Marshal

Subject: SP 67-10-2025 (27900 Orchard Lake)

The Fire Department has no objection to approval contingent upon compliance with the following:

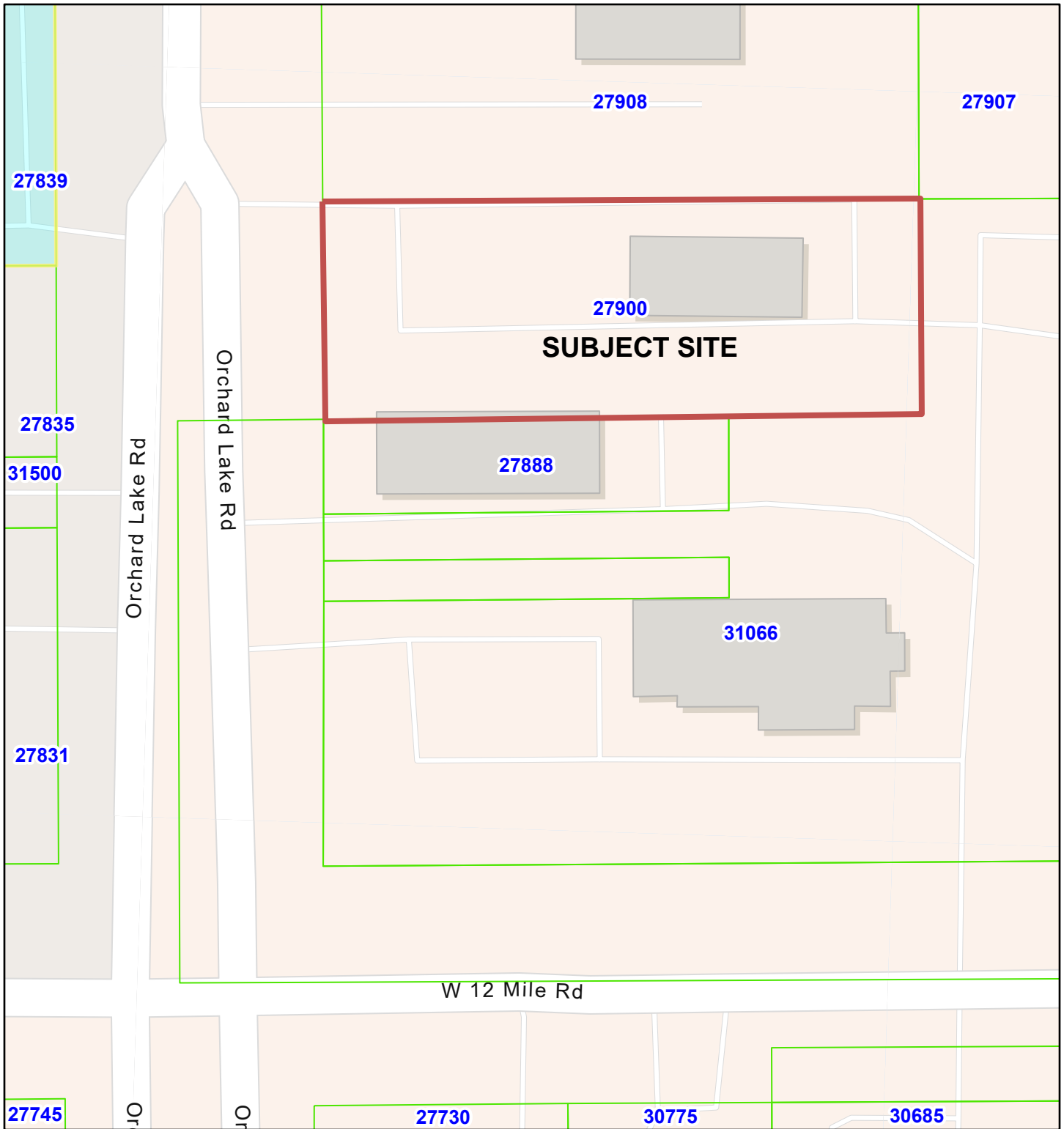
1. Chapter 12-11(1) Site Access; site must be designed to accommodate fire apparatus with a fifty-foot (50') turning radius.
2. Building shall be maintained in accordance with minimum Fire Prevention Code requirements.

A blue ink signature of Jason Baloga, written in a cursive style.

Jason Baloga, Fire Marshal

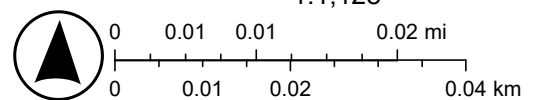
JB/al

27900 ORCHARD LAKE RD

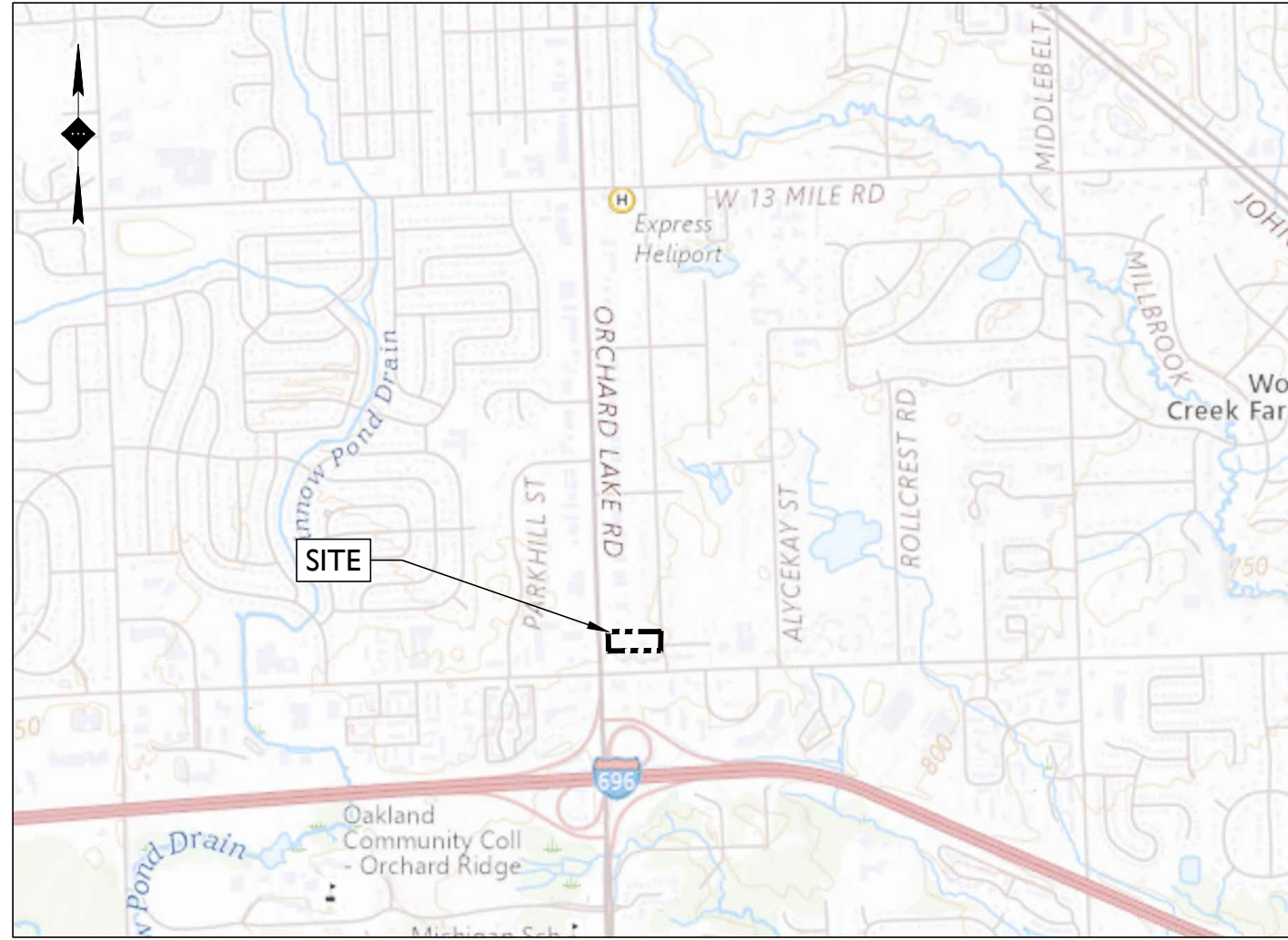


11/18/2025, 4:16:11 PM

 Tax Parcels



Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community



SOURCE: USGS MAPPING SYSTEM

LOCATION MAP

SCALE: 1" = 2,000'±



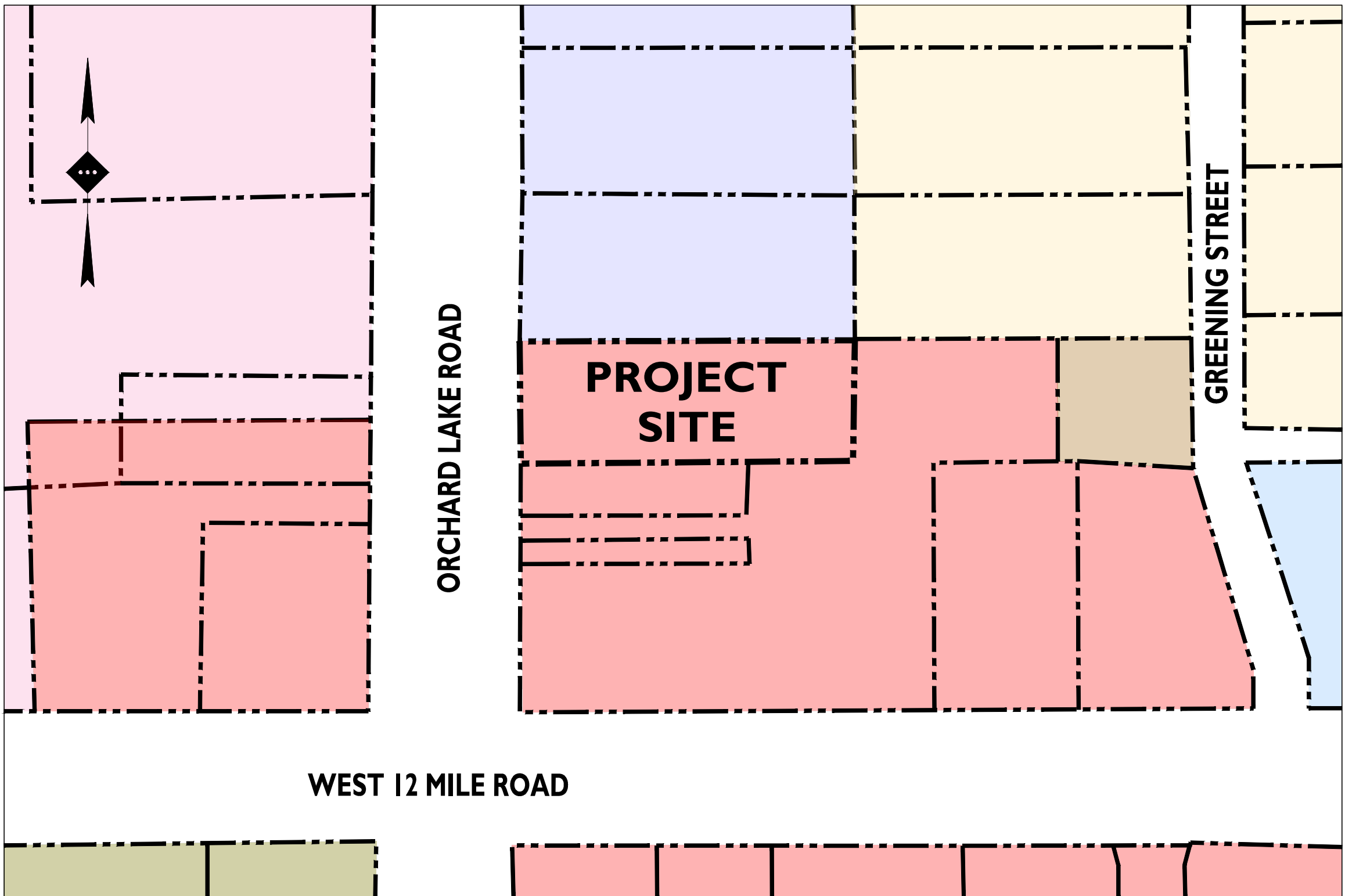
SOURCE: GOOGLE EARTH PRO

AERIAL MAP

SCALE: 1" = 100'±

SITE DEVELOPMENT PLANS
FOR
SEVEN 73 BREW
DRIVE THRU COFFEE >>>
PROPOSED RESTAURANT WITH
DRIVE THRU

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN 48334



SOURCE: CITY OF TAYLOR, WAYNE COUNTY, MICHIGAN OFFICIAL ZONING MAP

ZONING KEY

B-3: GENERAL BUSINESS DISTRICT	RA-1: ONE FAMILY RESIDENTIAL DISTRICT
P-1: VEHICULAR PARKING DISTRICT	OS-2: PLANNED OFFICE SERVICE DISTRICT
B4: PLANNED GENERAL BUSINESS DISTRICT	OS-1: OFFICE SERVICE DISTRICT
ES: EXPRESSWAY SERVICE DISTRICT	

ZONING MAP

SCALE: 1" = 100'±

PLANS PREPARED BY:



Birmingham, MI · New York, NY · Salem, MA
Princeton, NJ · Tampa, FL · Rutherford, NJ

www.stonefieldeng.com

555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

APPLICANT

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440-821-5802
JOHN@ONLYBREWTOPIA.COM

OWNER

FARMINGTON HILLS BEEF COMPANY
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS, MICHIGAN 48334

DESIGN ENGINEER

STONEFIELD ENGINEERING AND DESIGN
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248-247-1115
JCOOKSEY@STONEFIELDENG.COM

NOT APPROVED FOR CONSTRUCTION

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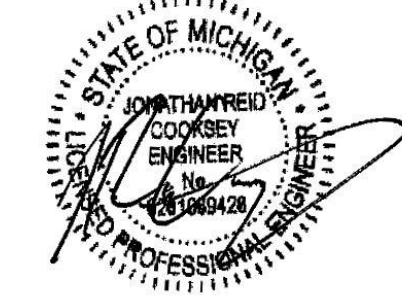
555 S. Old Woodward Avenue, Suite 12L, Birmingham, MI 48009
Phone 248.247.1115

SITE DEVELOPMENT PLANS



PROPOSED RESTAURANT
WITH DRIVE THRU

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: DET-250348

TITLE:

COVER SHEET

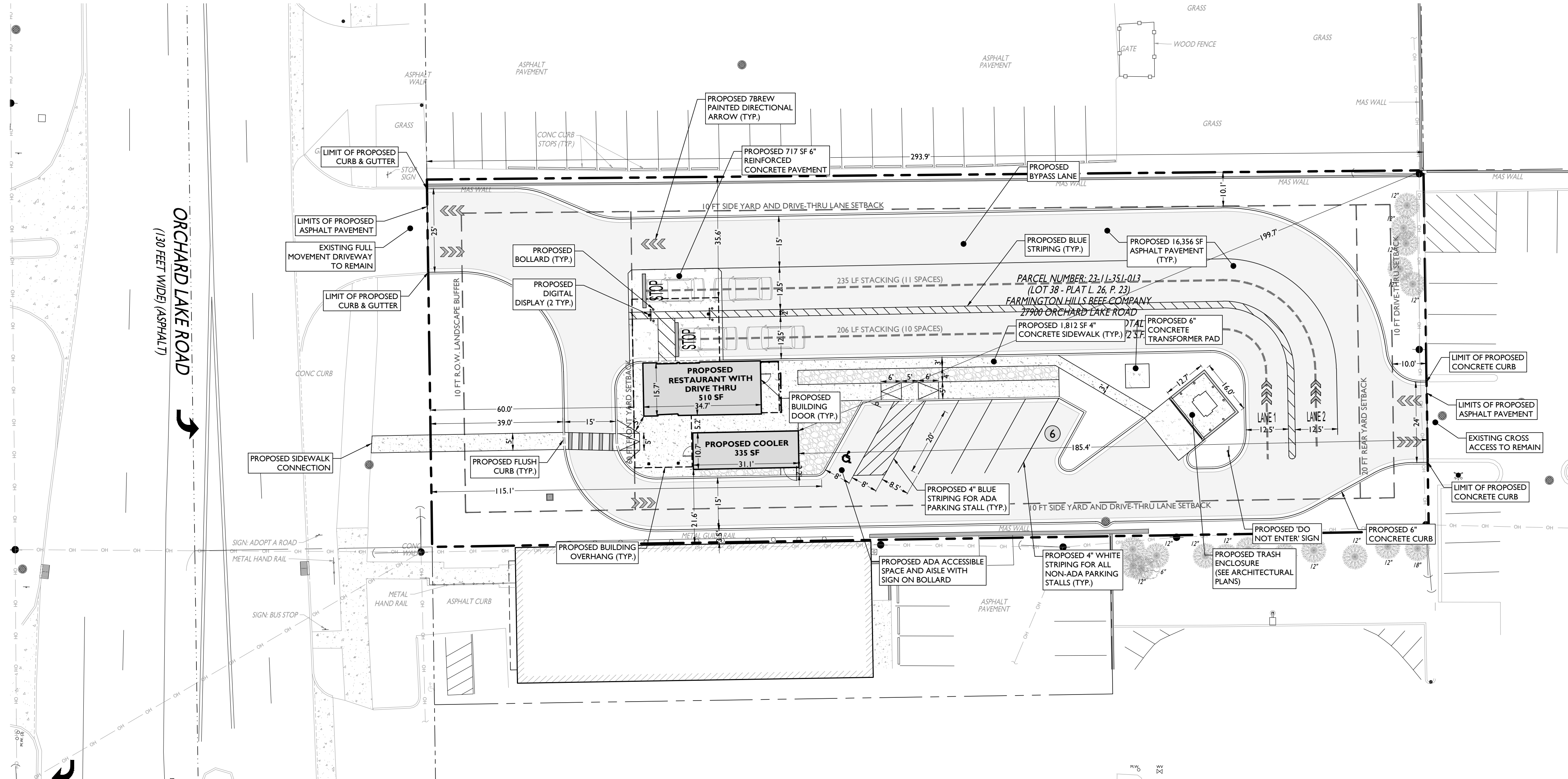
DRAWING:

C-1



Know what's below
Call before you dig.

\\01205051720048\BREW\72900 ORCHARD LAKE RD, FARMINGTON HILLS, MI\CAD\LOT050103 SITE.DWG



LAND USE AND ZONING		
PID: 2311351013		
GENERAL BUSINESS DISTRICT (B-3)		
PROPOSED USE		
FAST FOOD RESTAURANT	PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	PROPOSED
MINIMUM LOT AREA	N/A	31,533 SF (0.72 AC)
MINIMUM LOT WIDTH	N/A	108.3 FT
MAXIMUM BUILDING HEIGHT	50 FT (3 STORIES)	19.7 FT
MINIMUM FRONT YARD SETBACK	40 FT	60.0 FT
MINIMUM SIDE YARD SETBACK	10 FT	21.6 FT
MINIMUM REAR YARD SETBACK	20 FT	185.4 FT
MINIMUM FRONT YARD OPEN SPACE	50% (3,244 SF)	50% (3,264 SF)
MINIMUM RESIDENTIAL SETBACK	29.4 FT ⁽¹⁾	199.7 FT
MINIMUM FRONT YARD PARKING SETBACK	10 FT	115.1 FT
MINIMUM R.O.W. LANDSCAPE BUFFER	10 FT	39.0 FT
MINIMUM DRIVE-THRU LANE SETBACK	10 FT	10.1 FT

(1) § 34-5.2.L: THE SETBACK FROM ANY RESIDENTIAL DISTRICT SHALL BE 10% OF THE DEPTH OF THE LOT; (293.9 FT)(0.10) = 29.39 FT

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 34-5.2.11.C.viii	1 SPACE PER 30 SF OF UFA (0 SF)(1 SPACE/30 SF) = 0 SPACES	6 SPACES
§ 34-5.3.3.A	60' PARKING; 8.5 FT X 20 FT W/ 15 FT DRIVE AISLE	9 FT X 20 FT W/ 15 FT DRIVE AISLE
§ 34-5.2.12.L	STACKING; 9 FT X 20 FT 10 SPACES ⁽¹⁾	21 SPACES 12.5 FT X 20 FT
§ 34-5.4.2	LOADING; 10 SF PER FRONT FOOT OF BLDG ⁽²⁾ (15.7 FT)(10 SF/1 FT OF BLDG) = 157 SF	TO OCCUR OFF HOURS

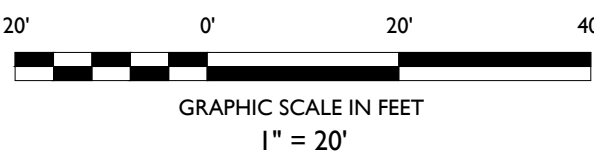
(1) § 34-5.2.12.L: AT LEAST 5 SPACES MUST BE IN ADVANCE OF THE ORDERING STATION; DRIVE THRU LANE MUST BE MIN. 9 FT WIDE; BYPASS LANE REQUIRED

(2) § 34-5.4.2: LOADING SHALL BE PROVIDED IN REAR YARD

SYMBOL	DESCRIPTION
	PROPERTY LINE
	SETBACK LINE
	PROPOSED CURB & GUTTER
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED 6" REINFORCED CONCRETE
	PROPOSED 4" CONCRETE
	PROPOSED ASPHALT
	PROPOSED BUILDING DOORS

GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



SITE DEVELOPMENT PLANS



PROPOSED RESTAURANT WITH DRIVE THRU

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



SCALE: 1" = 20' PROJECT ID: DET-250348

TITLE:

SITE PLAN

DRAWING:

C-3

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DESCRIPTION

BY

DATE

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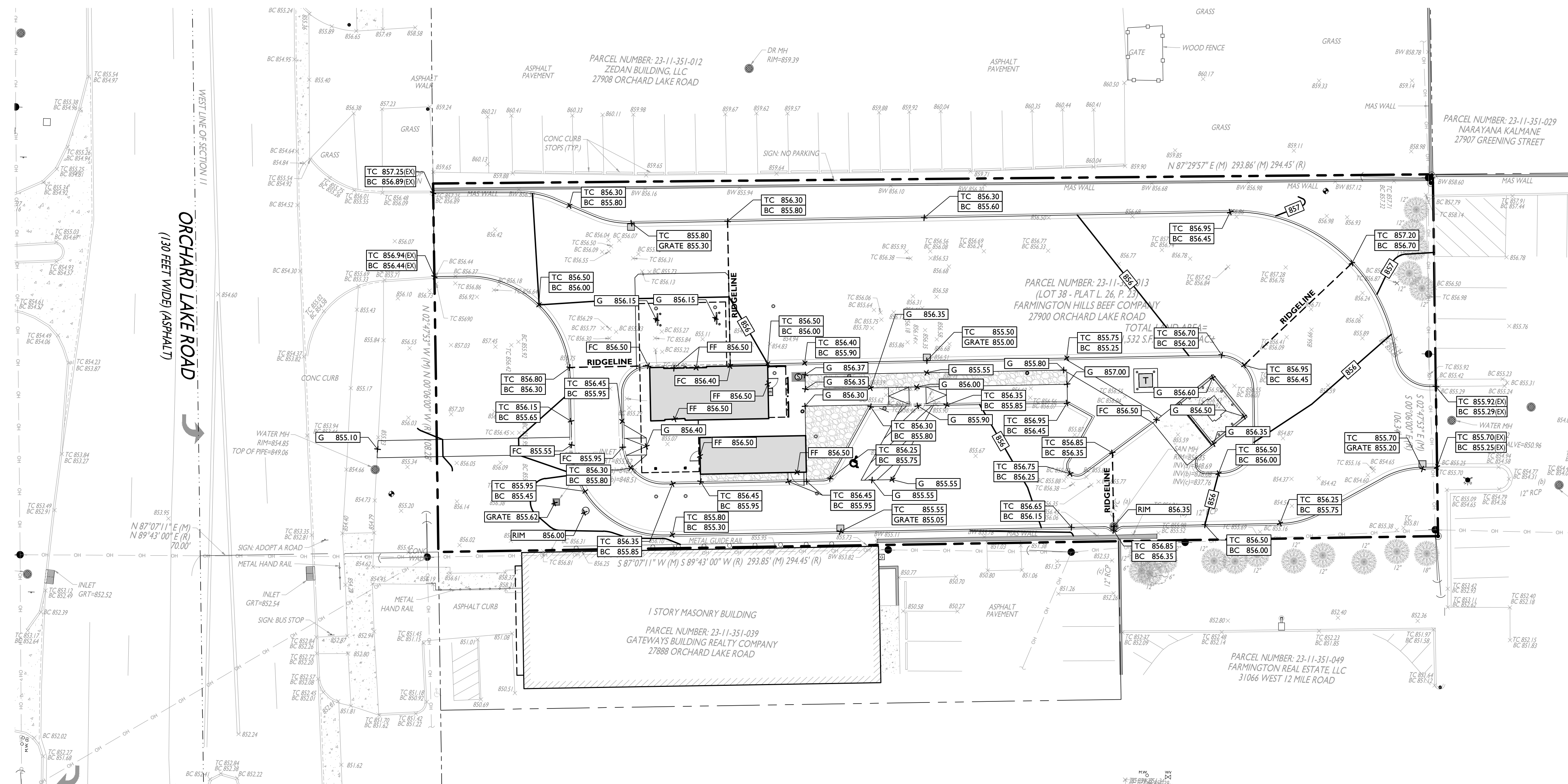
FOR SITE PLAN SUBMISSION

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10/10/2025

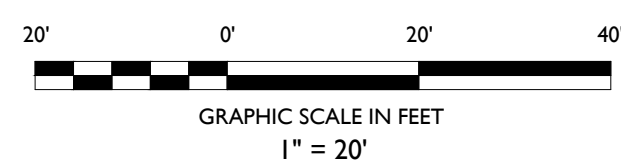
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NOT TO SCALE. 2500' HORIZONTAL SCALE. 2500' VERTICAL SCALE. 2500' HORIZONTAL SCALE. 2500' VERTICAL SCALE.



SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT

- GRADING NOTES**
- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
 - THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES, INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
 - PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
 - THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
 - MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
 - CURB GUTTER: 0.50%
 - CONCRETE SURFACES: 1.00%
 - ASPHALT SURFACES: 1.00%
 - A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
 - FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF SUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.
- ADA NOTES**
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
 - THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP. AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALK-UP ATM, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL, THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00% IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP. FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURBS RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
 - ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
 - A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
 - THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/4 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
 - THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4 INCH.



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PROPOSED RESTAURANT WITH DRIVE THRU

PARCEL ID: 23-11-351-013

27900 ORCHARD LAKE ROAD

CITY OF FARMINGTON HILLS

OAKLAND COUNTY, MICHIGAN 48334

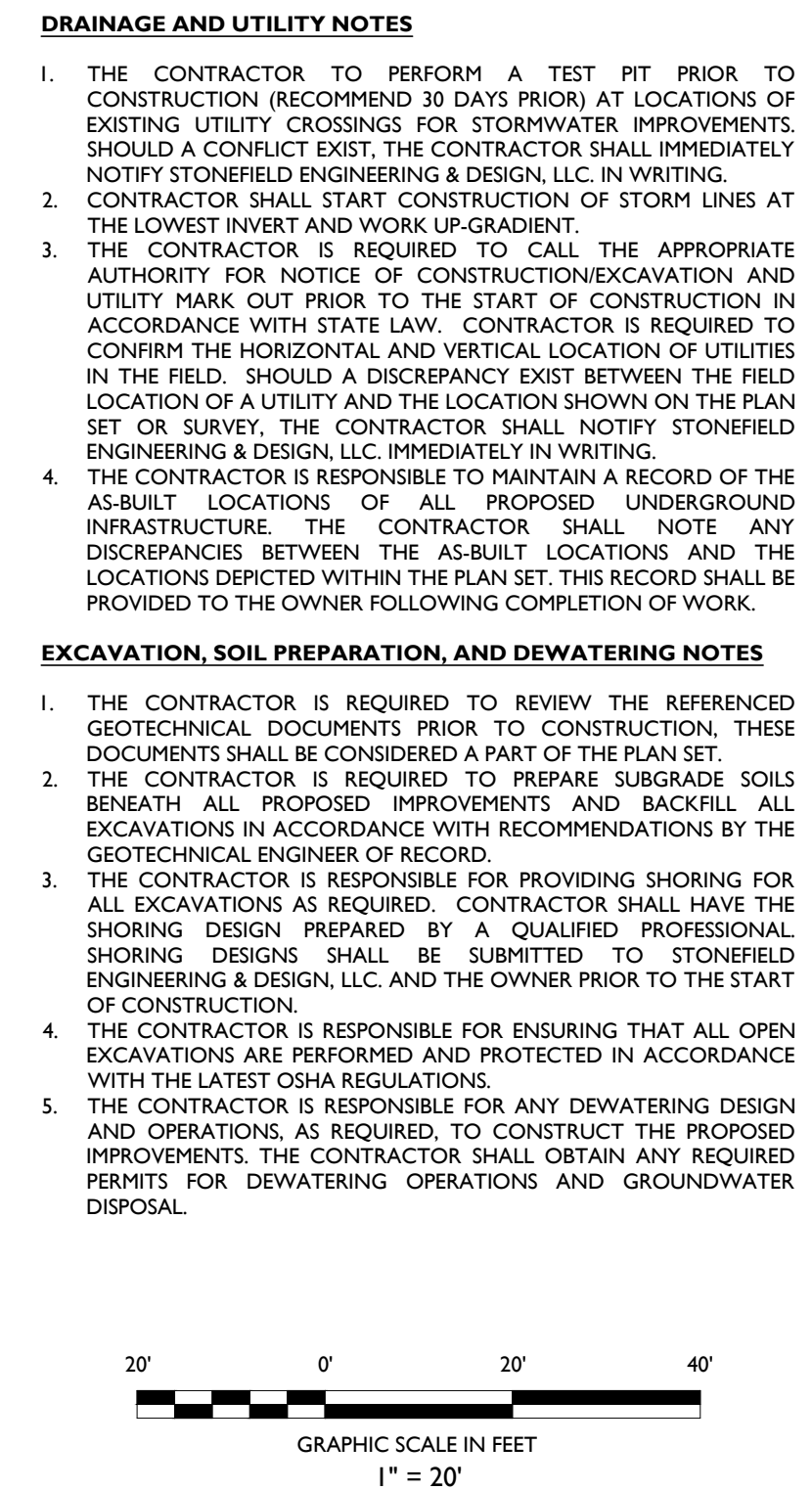
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SCALE: 1" = 20' PROJECT ID: DET-250348

TITLE: GRADING PLAN

DRAWING: C-4



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SITE DEVELOPMENT PLANS

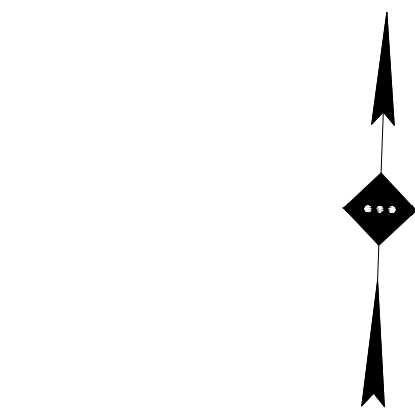
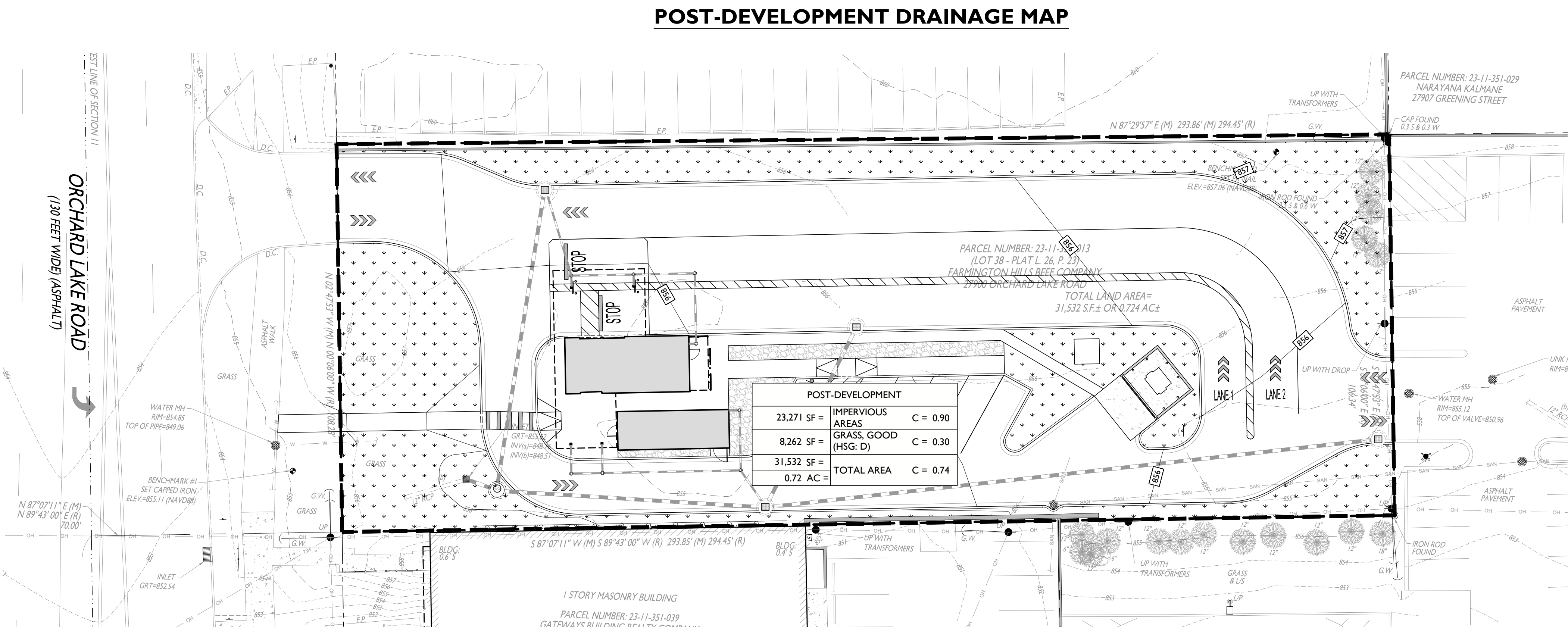
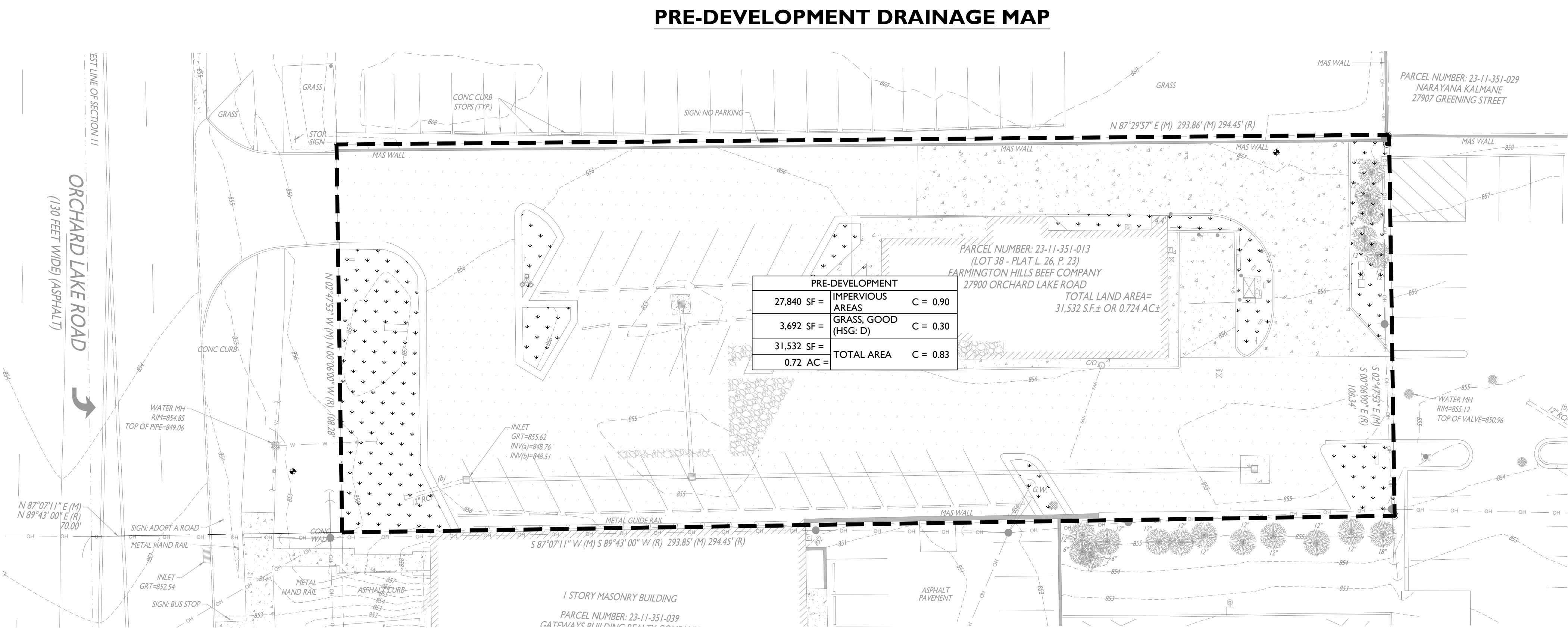
SEVEN 73 BREW
DRIVE THRU **COPPER 2025**

**PROPOSED RESTAURANT
WITH DRIVE THRU**

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



V:\07102505\DET250348\SRV\HOSPITALITY\GROUP - 27900 ORCHARD LAKE RD., FARMINGTON HILLS, MI\CAD\PILOT\DET250348.DWG



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	DRAINAGE AREA
---	PERVIOUS AREA

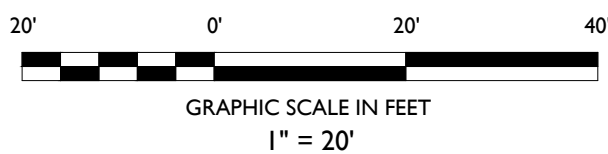
PER OAKLAND COUNTY STORMWATER ENGINEERING DESIGN STANDARDS, DETENTION IS NOT REQUIRED FOR SITES UNER 1.0 AC OF DISTURBED AREA.

PROPOSED DISTURBANCE: 0.67 AC

PROPOSED 14.5% (4,569 SF) REDUCTION IN IMPERVIOUS AREA

OAKLAND COUNTY LAND USE SUMMARY		
CHARACTERISTIC	EXISTING CONDITIONS	PROPOSED CONDITIONS
TOTAL DEVELOPMENT AREA (ACRES)	0.72	0.72
IMPERVIOUS AREA (ACRES)	0.64	0.53
TOTAL PERVIOUS AREA (ACRES)	0.08	0.19
46.62% REDUCTION IN IMPERVIOUS AREA POST-DEVELOPMENT		
PERVIOUS AREA BREAKDOWN BY COVER TYPE		
MEADOW/FALLOW/NATURAL AREAS (NON-CULTIVATED) PREDOMINANT NRCS SOIL TYPE (A, B, C, OR D)	0	0
IMPROVED AREAS (TURF GRASS, LANDSCAPE, ROW CROPS) PREDOMINANT NRCS SOIL TYPE (A, B, C, OR D)	0.08 (HSG A/C/D)	0.19 (HSG A/C/D)
WOODED AREAS PREDOMINANT NRCS SOIL TYPE (A, B, C, OR D)	0	0
CALCULATED CPVC VOLUME (CUBIC FEET)		0
CPVC VOLUME PROVIDED (CUBIC FEET)		0
CPVC VOLUME PROVIDED (CUBIC FEET)		0

THE PROFESSIONAL ENGINEER WHO SIGNS AND SEALS THIS SITE PLAN CERTIFIES THAT THE VALUES IN THIS TABLE REFLECT THE OAKLAND COUNTY STORMWATER CALCULATIONS REQUIRED FOR THIS DEVELOPMENT AND THAT GEOTECHNICAL INVESTIGATIONS WERE PERFORMED THAT PROVIDE CONCLUSIVE DOCUMENTATION THAT DEMONSTRATES WHETHER INFILTRATION (I.E. CPVC VOLUME CONTROL) IS PRACTICABLE.



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SITE DEVELOPMENT PLANS

SEVEN 73 BREW
DRIVE THRU CAFE

PROPOSED RESTAURANT WITH DRIVE THRU

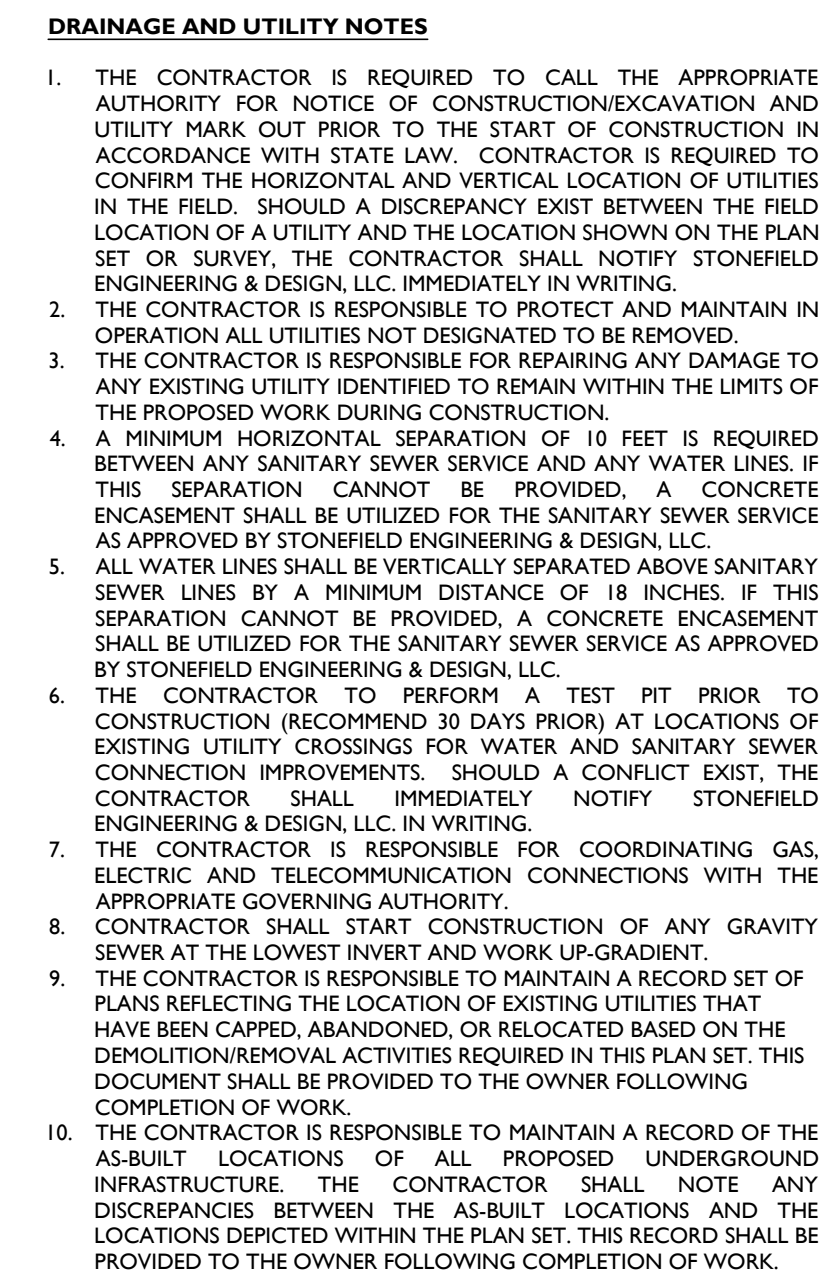
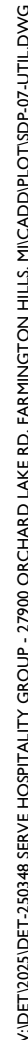
PARCEL ID: 23-11-351-013
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CITY OF FARMINGTON HILLS
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SCALE: 1" = 20' PROJECT ID: DET-250348

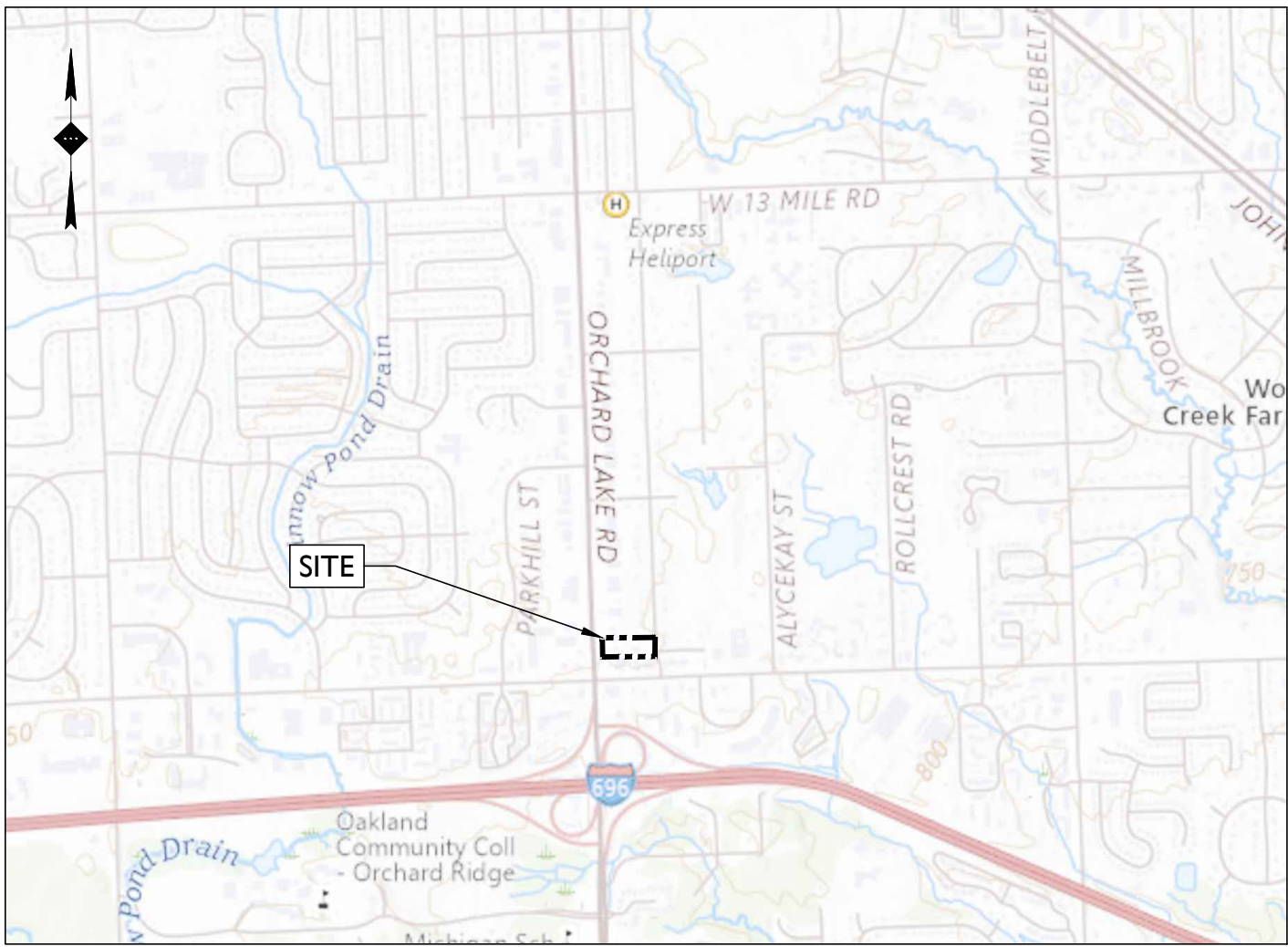
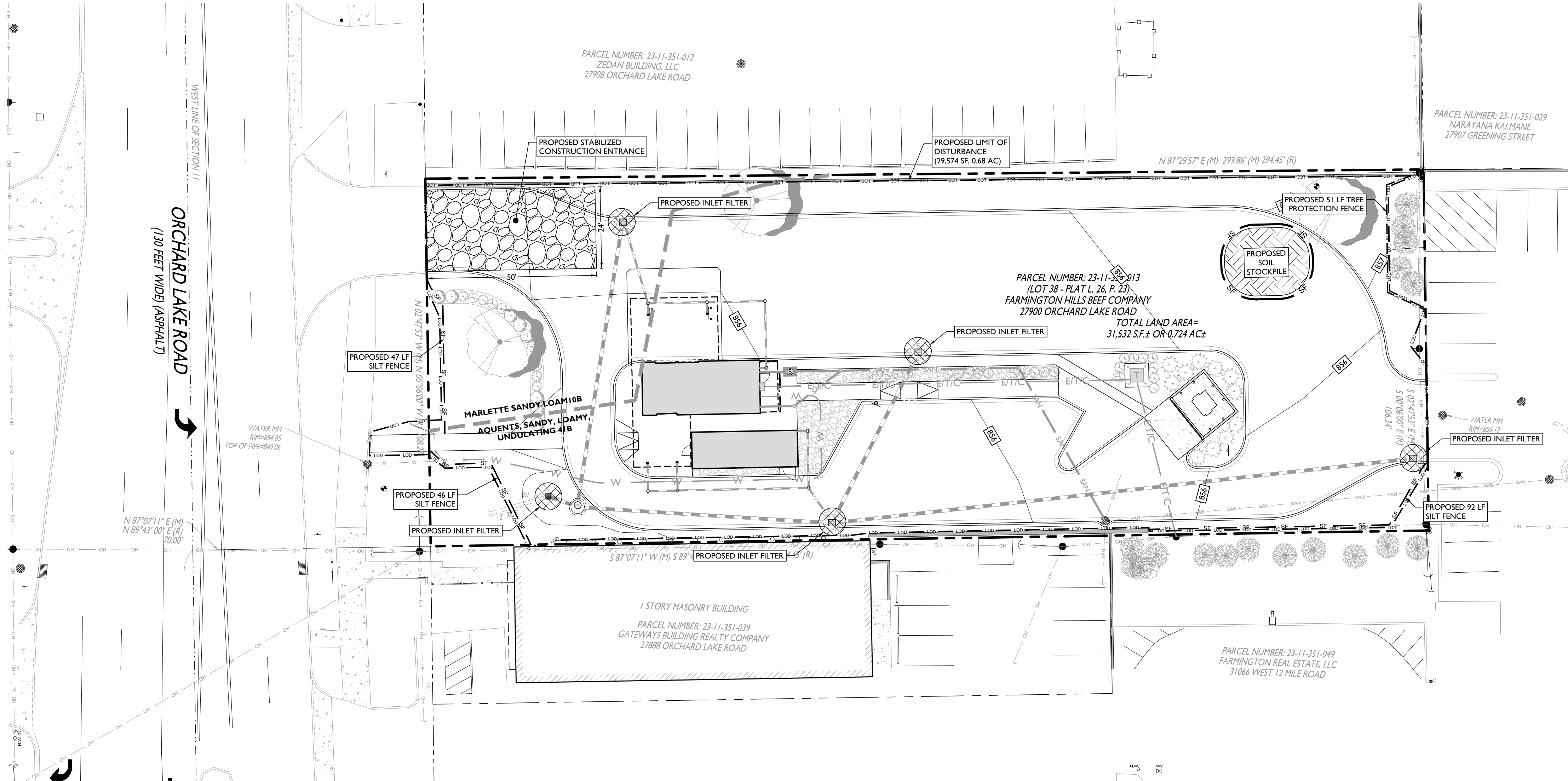
TITLE: DRAINAGE AREA MAPS

DRAWING: C-6



<p>SITE DEVELOPMENT PLANS</p>	<div style="display: flex; justify-content: space-between; align-items: center;">  <div style="text-align: center;"> <p>PROPOSED RESTAURANT WITH DRIVE THRU</p> </div> </div> <div style="margin-top: 20px;"> <p>PARCEL ID: 23-1L-351-013 27900 ORCHARD LAKE ROAD CITY OF FARMINGTON HILLS OAKLAND COUNTY, MICHIGAN 48334</p> </div>
	
 <p>STONEFIELD engineering & design</p>	
<p>SCALE: 1" = 20' PROJECT ID: DET-250348</p>	
<p>TITLE:</p>	
<p>UTILITY PLAN</p>	
<p>DRAWING:</p>	
<p>C-7</p>	

V:\071025\07125014 3816 E HIGHWAY 117 GROUP - 27908 ORCHARD LAKE RD, FARMINGTON HILLS, MI\CADDPLOT\CDP-18-18522.DWG



LOCATION MAP

SCALE: 1" = 2,000'±

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
---	LOD
---	PROPOSED SILT FENCE
---	PROPOSED TREE PROTECTION FENCE
---	PROPOSED STOCKPILE & EQUIPMENT STORAGE
---	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED INLET PROTECTION FILTER

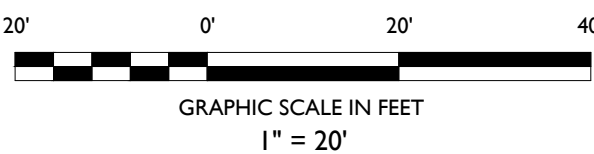
SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	MARLETTE SANDY LOAM (10B)
PERCENT OF SITE COVERAGE	17.2%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	>80 INCHES
SOIL PERMEABILITY	0.20 TO 0.57 IN / HR
DEPTH TO WATER TABLE	30 TO 72 INCHES

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	AQUENTS, SANDY, LOAMY, UNDULATING (41B)
PERCENT OF SITE COVERAGE	82.8%
HYDROLOGIC SOIL GROUP	A/D
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES
SOIL PERMEABILITY	5.95 TO 19.98 IN / HR
DEPTH TO WATER TABLE	0 INCHES



Know what's below
Call before you dig.

- SOIL EROSION AND SEDIMENT CONTROL NOTES**
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL AIR QUALITY STANDARDS.
 - THE CONTRACTOR IS RESPONSIBLE TO INSPECT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INSPECTION LOG ON SITE AND DOCUMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.



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**PROPOSED RESTAURANT
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CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



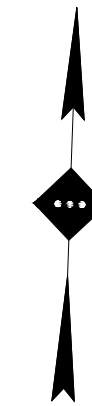
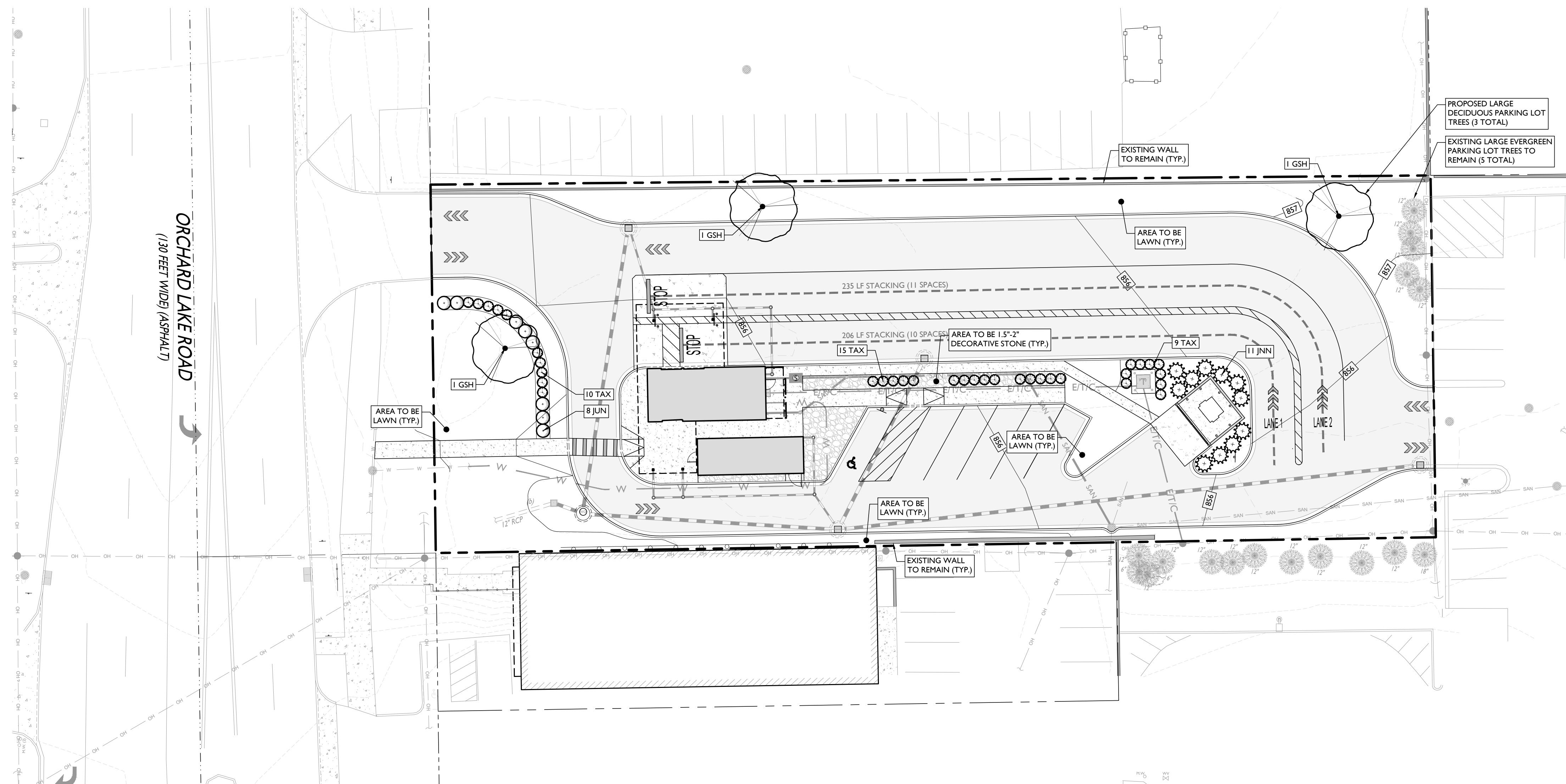
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


TITLE:
**SOIL EROSION &
SEDIMENT CONTROL
PLAN**

DRAWING:

C-8



LANDSCAPING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
# 34.5.14.4.C.	<u>SITE REQUIREMENTS</u> 1 TREE FOR EVERY 2,800 SF OF PAVED SURFACE $(21,564 \text{ SF}) \div (1 \text{ TREE} / 2,800 \text{ SF}) = 8 \text{ TREES}$	5 EXISTING TREES
# 34.5.14.4.D.	MINIMUM PLANTING AREA: 180 SF	3 PROPOSED TREES
# 34.5.14.5.	<u>PARKING LOT SCREENING</u> PARKING LOTS SHALL BE SCREENED FROM PUBLIC ROADS BY A SHRUB HEDGE, WALL, OR BERM	SHRUB HEDGE PROPOSED

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	GS#	3	GLEDTISIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	3" - 3.5" CAL	B&B
EVERGREEN TREES						
	JVN	11	JUNIPERUS VIRGINIANA 'J.N. SELECT GREEN'	EMERALD FEATHER EASTERN REDCEDAR	5' - 6' HT	B&B
EVERGREEN SHRUBS						
	JUN	8	JUNIPERUS X PRITZERIANA 'SEA GREEN'	SEA GREEN PRITZER JUNIPER	24" - 30"	POT
	TAX	34	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	24" - 30"	POT

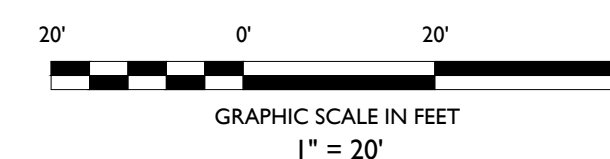
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



Know what's **below**
Call before you dig.

LANDSCAPING NOTES

1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH DEEP SEED BED.
3. THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
4. THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3:1 HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREAS OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION OF THE LANDSCAPE. THE CONTRACTOR SHALL SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



GRAPHIC SCALE IN FEET
1" = 20'

SITE DEVELOPMENT PLANS



**PROPOSED RESTAURANT
WITH DRIVE THRU**

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



SCALE:	1" = 20'	PROJECT ID: DET-250348
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TITLE:

LANDSCAPING PLAN

DRAWING:

C-9

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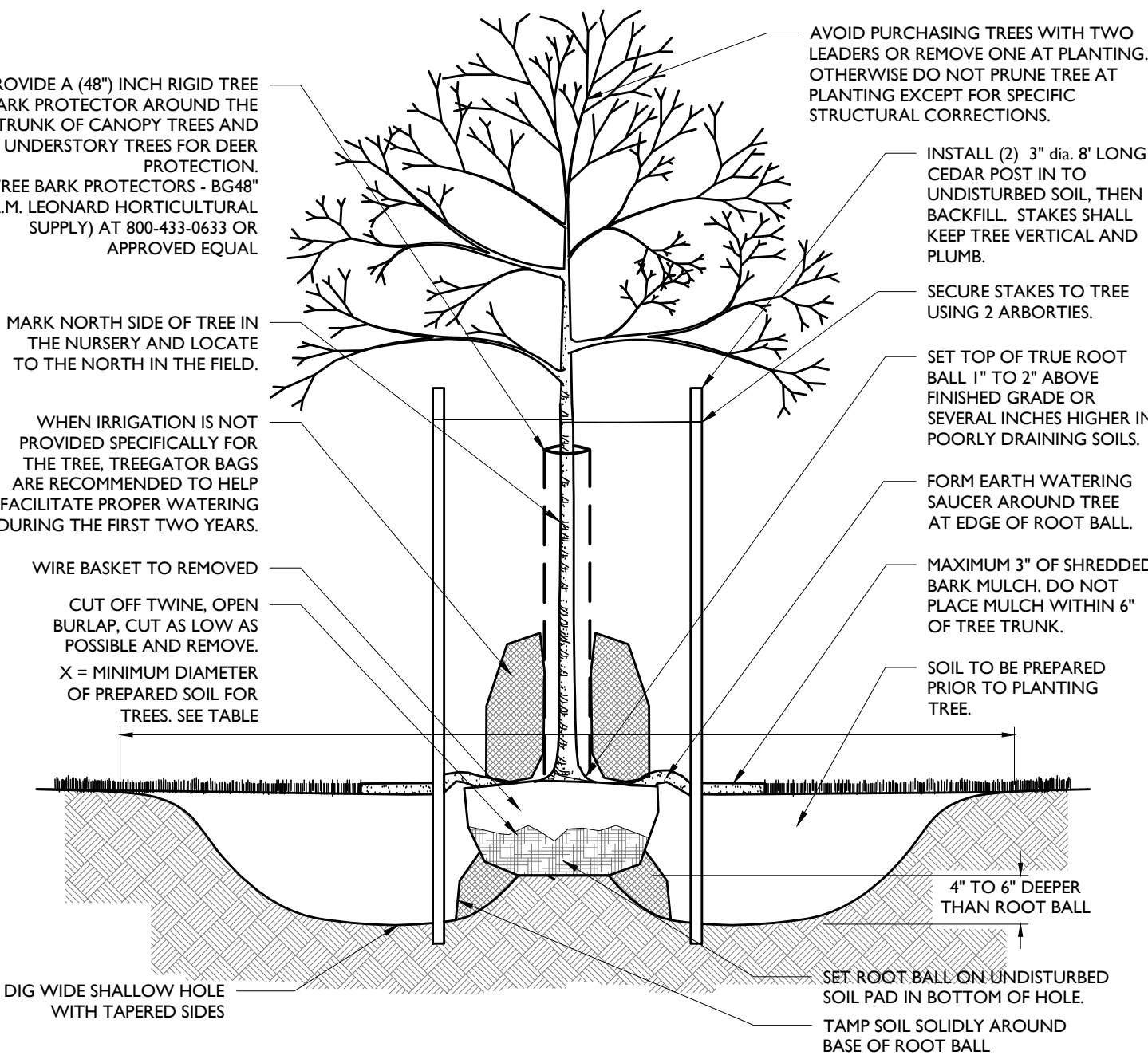
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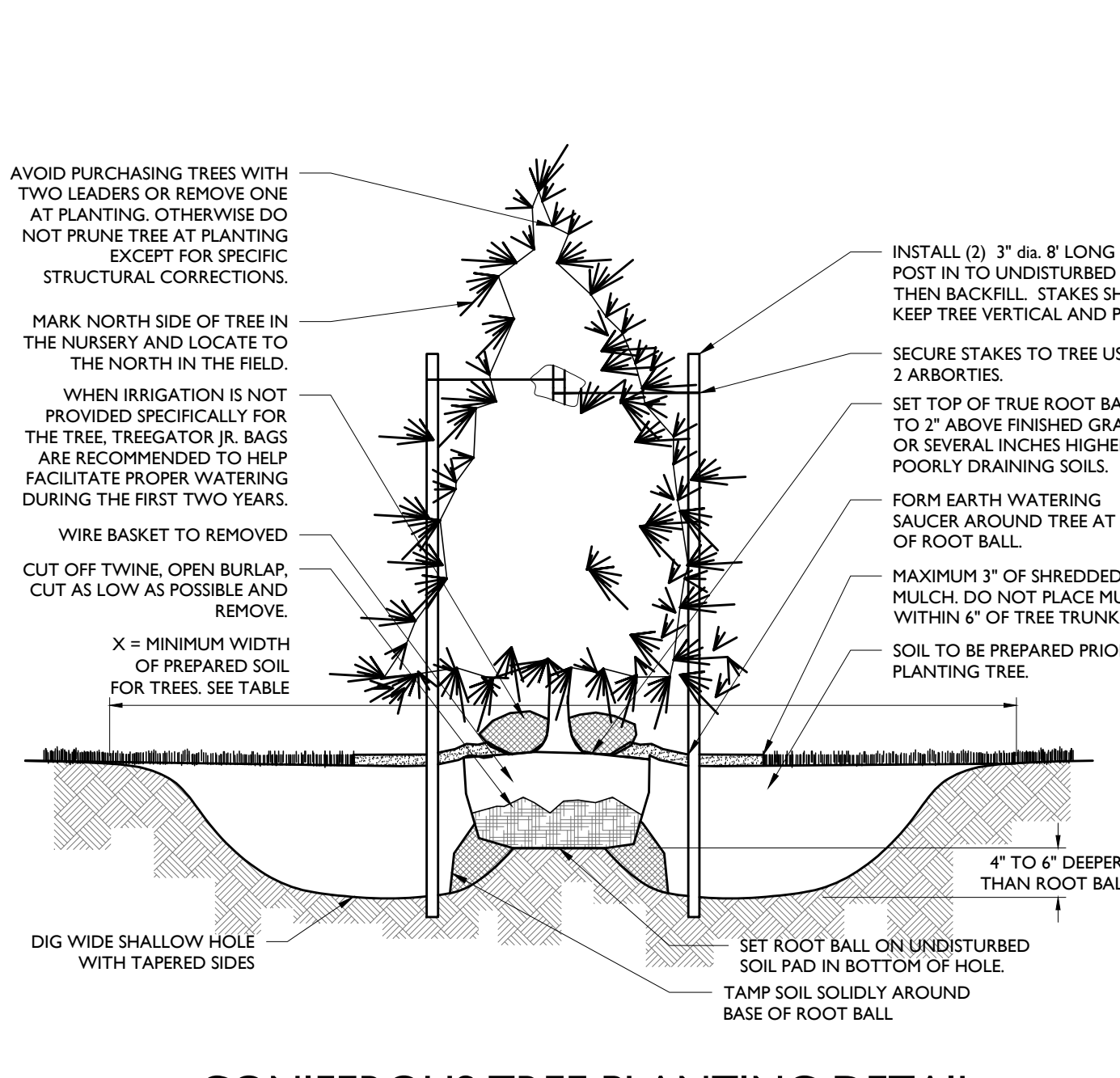
- NOTES:
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.



DECIDUOUS TREE PLANTING DETAIL

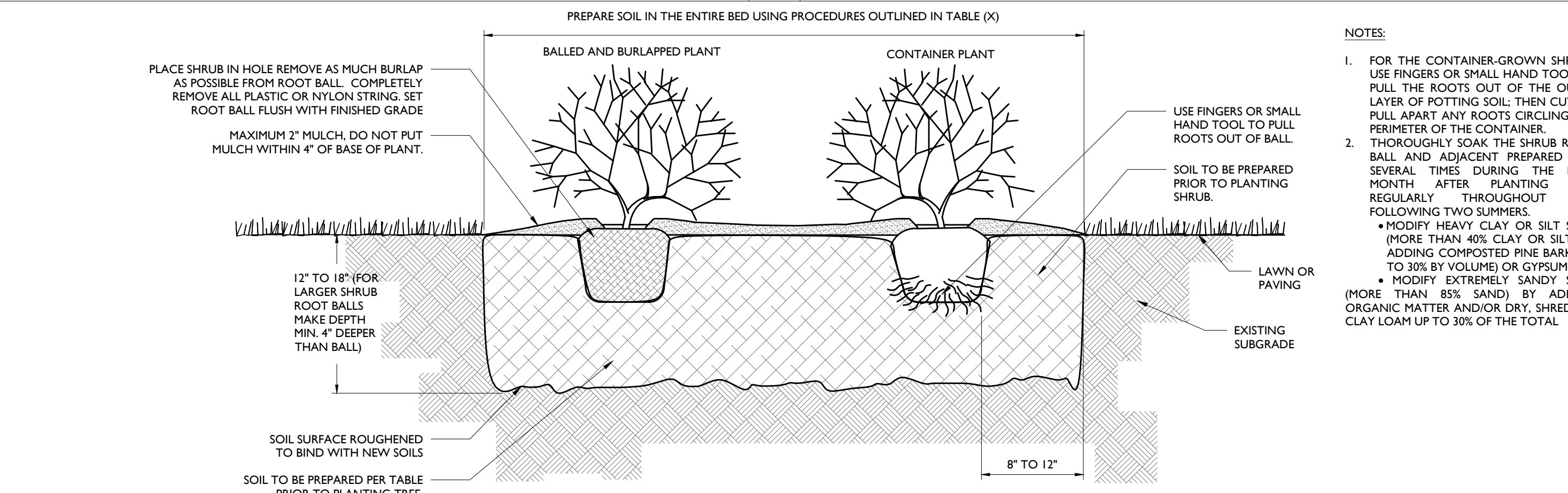
NOT TO SCALE

- NOTES:
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.



CONIFEROUS TREE PLANTING DETAIL

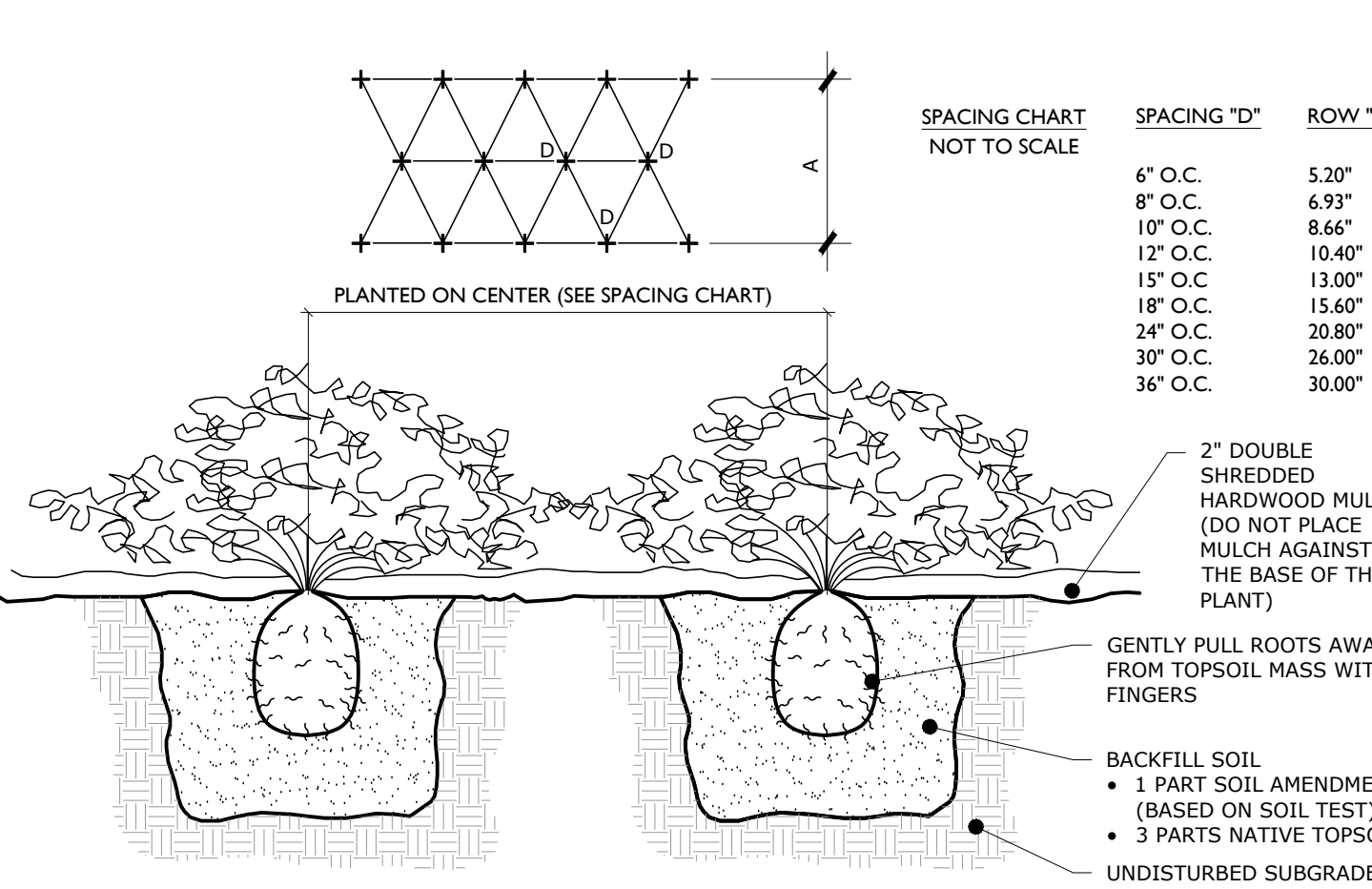
NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

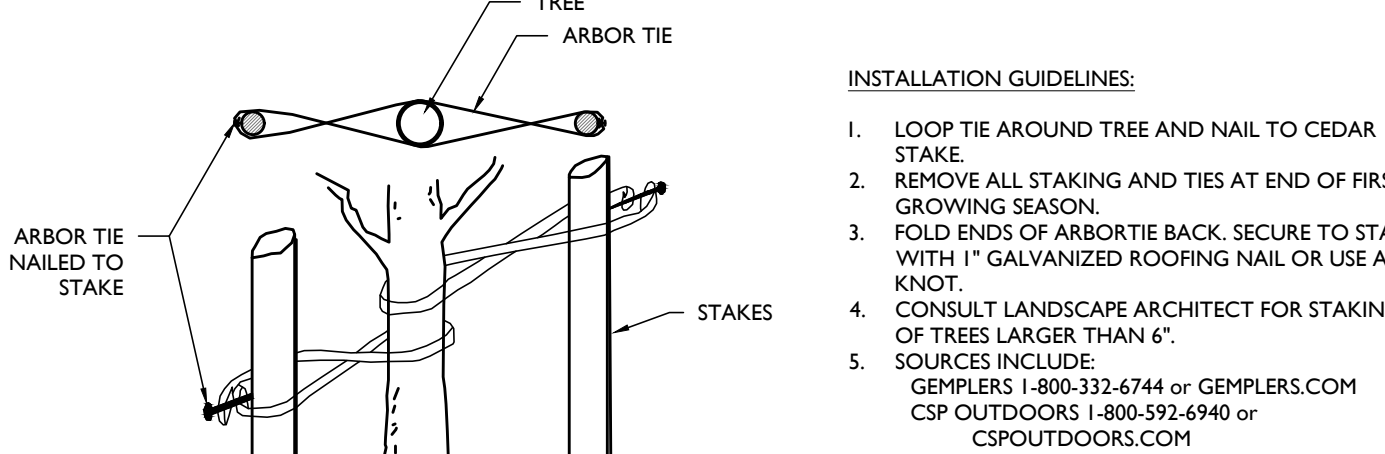
NOT TO SCALE

- NOTES:
- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



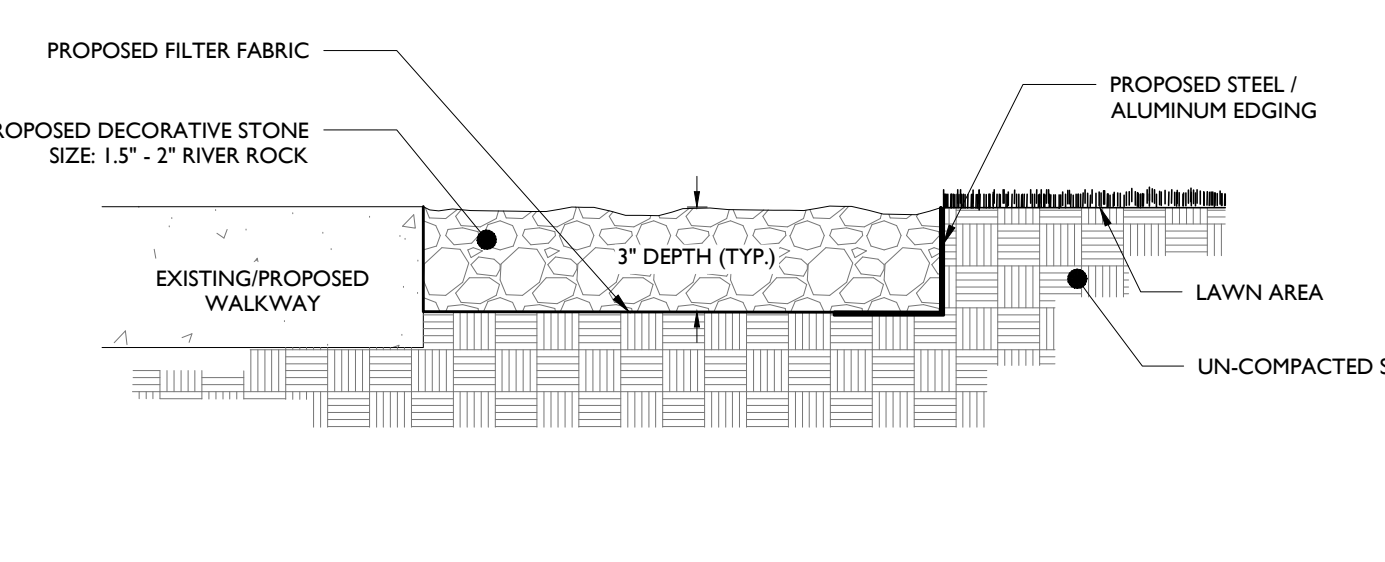
GROUND COVER/PERENNIAL/ANNUAL PLANTING DETAIL

NOT TO SCALE



ARBORTIE DETAIL

NOT TO SCALE



PROPOSED DECORATIVE STONE DETAIL

NOT TO SCALE

GENERAL LANDSCAPING NOTES:

- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
- WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
- IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
- UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
- THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

PROTECTION OF EXISTING VEGETATION NOTES:

- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIPLINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLANT LIST, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL". NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
- IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
- IN RAKE OR INSTANTANEOUS FILL, OR GRADING IS REQUIRED WITHIN THE DRIPLINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND BE APPROXIMATELY TWO INCHES (2") ABOVE THE FINISHED GRADE AT TREE. IN THE GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL".
 - LOWERING GRADES: EXISTING GRADES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL".

SOIL PREPARATION AND MULCH NOTES:

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
- BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SOD SPECIFICATION" OR "SOD SPECIFICATION" ARE APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
- TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
- TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
- OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
- CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
- UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBED AREA OF THE SITE.
- LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
- ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
- DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
- WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
- SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
- APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
- ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MICROB: TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3 OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3 OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCORB: TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3 OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3 OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.
 - HEALTHY START MACRO TABS 12-8-8
 - FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
 - TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT. MICROBIAL NUTRIENTS DERIVED FROM SOIL BACTERIA, ACTINOMYCETES, AND FUNGI, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLS & BURLAPPED (B&B) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.



LANDSCAPE FILTER FABRIC

OR APPROVED EQUAL

NOT TO SCALE

PLANT QUALITY AND HANDLING NOTES:

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM.
- PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OR EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEeled-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARKS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING UNLOADING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING LIST.
- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE PROVIDED TO KEEP THE GROUND MOIST. PLANTS SHALL BE PLANTED IN MOIST SOIL.
- NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
- PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS OR BRANCHES SHALL BE REMOVED.
- IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANTS FROM THE MATERIAL FROM THE CONTRACT.
- IF PLANTS ARE PROPOSED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
- INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 - THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BUEGERIANUM
 - ACER FREEMANI
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERCIDIPHYLLUM VARIETIES
 - CERIS CANADENSIS
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - ILIX OPACA
 - JUNIPERUS VIRGINIANA
 - KOELERUTERIA PANICULATA
 - LIQUIDAMBAR VARIETIES
 - LIRIODENDRON VARIETIES
 - MALUS IN LEAF
 - NYSSA SYLVATICA
 - OSTRYA VIRGINIANA
 - PINUS NIGRA
 - PLATANUS VARIETIES
 - POPULUS VARIETIES
 - PRUNUS VARIETIES
 - PYRUS VARIETIES
 - QUERCUS VARIETIES (NOT Q. PALUSTRIS)
 - SALIX WEEPING VARIETIES
 - SORBUS VARIETIES
 - TAXODIUM VARIETIES
 - TAXUS X REPANDENS
 - TILIA TOMENTOSA VARIETIES
 - ULMUS PARVIFOLIA VARIETIES
 - ZELKOVA VARIETIES
- IF A PROPOSED PLANT IS UNAVAILABLE ON THE PLANT DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
- DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
- THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
- A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
- MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OF PLANTS THAT HAVE BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
- HOW ALL GRASS AREAS ARE REGULARLY MAINTAINED TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
- GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
- SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
- LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY TRUCK OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER.
- THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
- IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

PLANT MATERIAL GUARANTEE NOTES:

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR.) FROM APPROVAL OF THE LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
- ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST.
- THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

LAWN (SEED OR SOD) NOTES:

- SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
- SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION".
- REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOD.
- SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
- PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESSPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER DAMAGE SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

SIZE AT PLANTING	IRRIGATION DURING ESTABLISHMENT	
	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
< 2" CALIPER	DAILY FOR TWO WEEKS, EVERY OTHER DAY FOR TWO MONTHS WEEKLY THEREAFTER	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
2"-4" CALIPER	DAILY FOR ONE MONTH, EVERY OTHER DAY FOR THREE MONTHS, WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
4"-6" CALIPER	DAILY FOR SIX WEEKS, EVERY OTHER DAY FOR FIVE MONTHS, WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR FOUR TO FIVE MONTHS

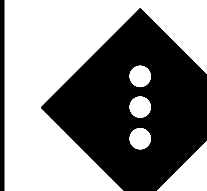
TABLE NOTES:

- AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
- WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKE THREE TO FOUR MONTHS PER INCH TRUNK CALIPER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
- WHEN IRRIGATION FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

FOR SITE PLAN SUBMISSION	JSEM	BY	DATE	ISSUE	DESCRIPTION
1	10/10/2025				

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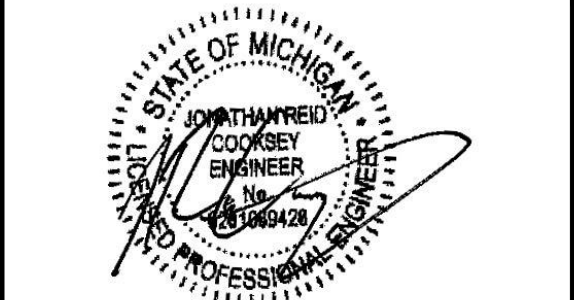
Phone 248.247.1115

SITE DEVELOPMENT PLANS



PROPOSED RESTAURANT
WITH DRIVE THRU

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



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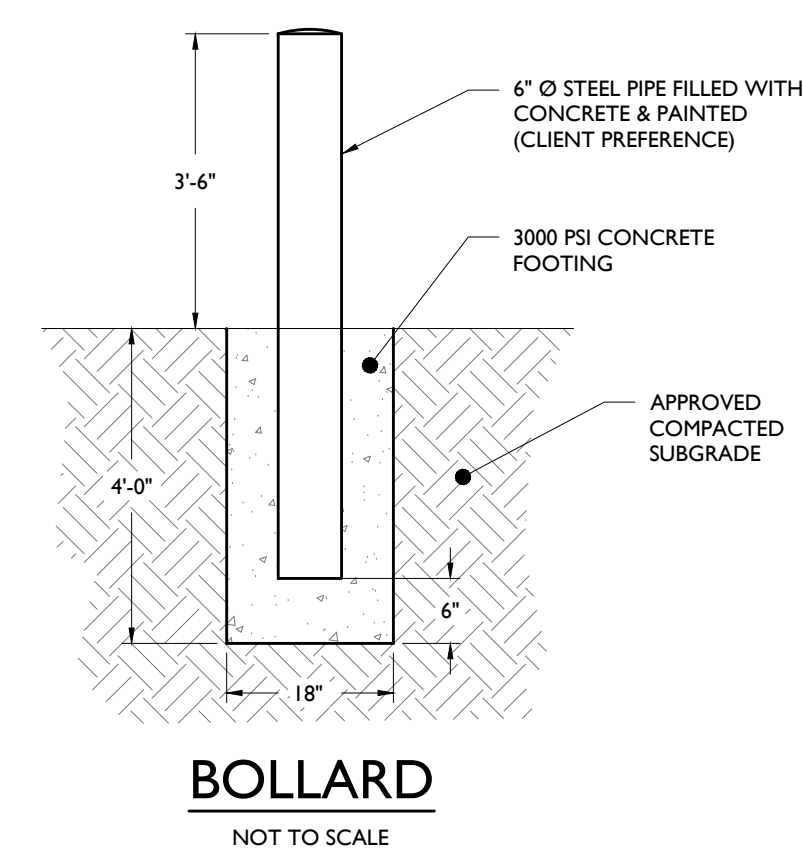
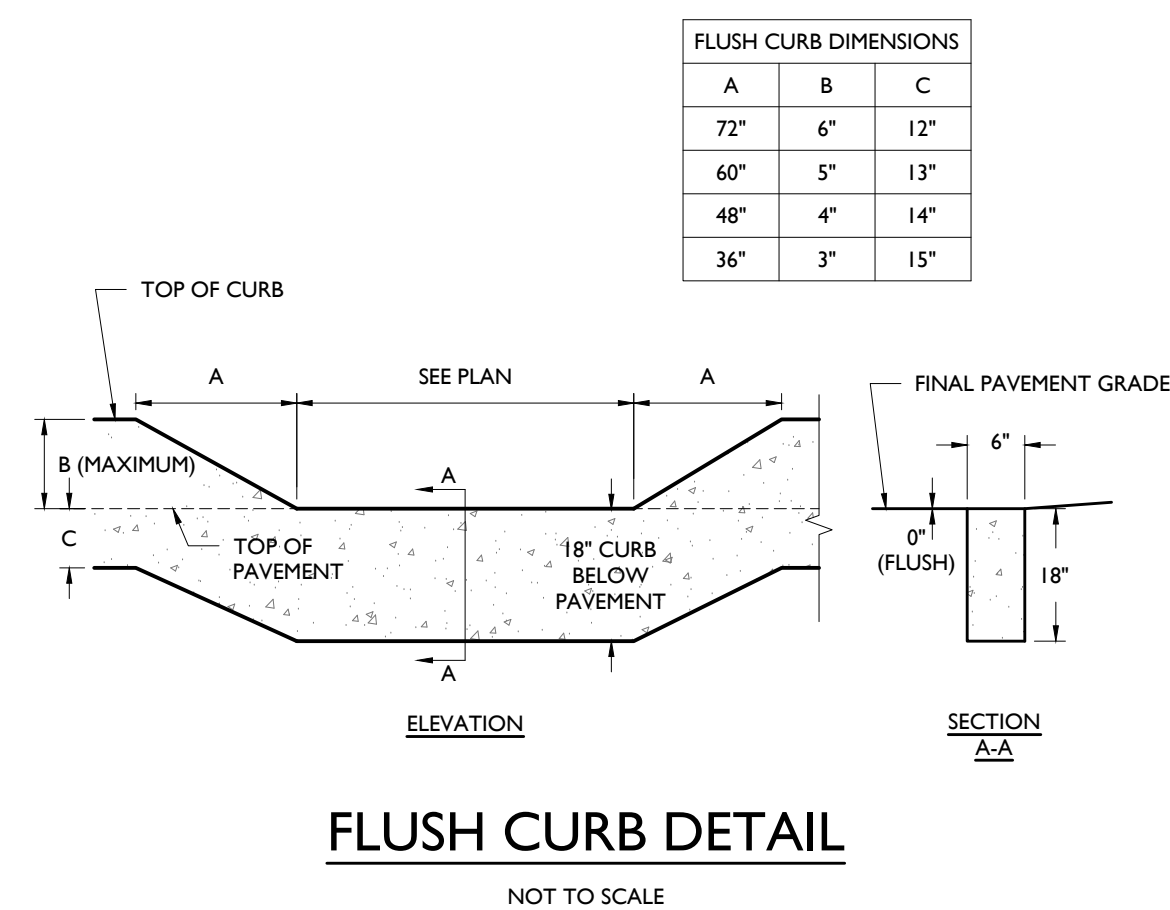
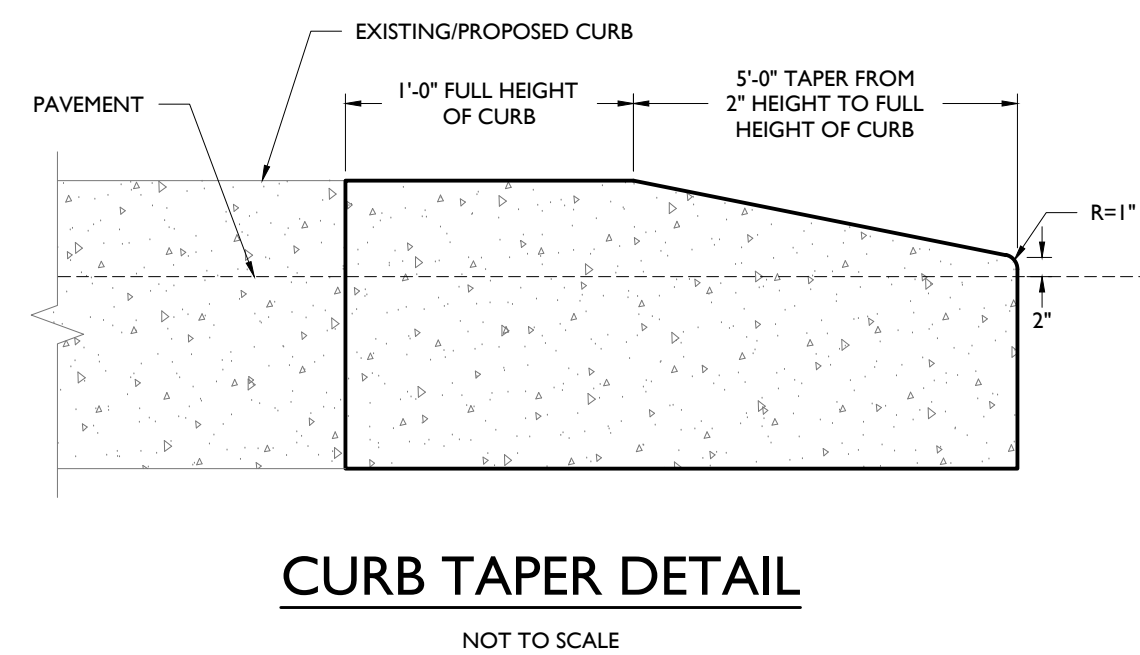
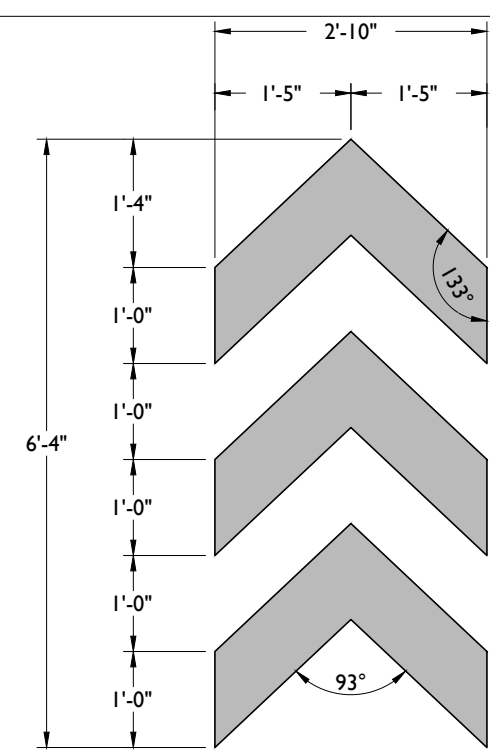
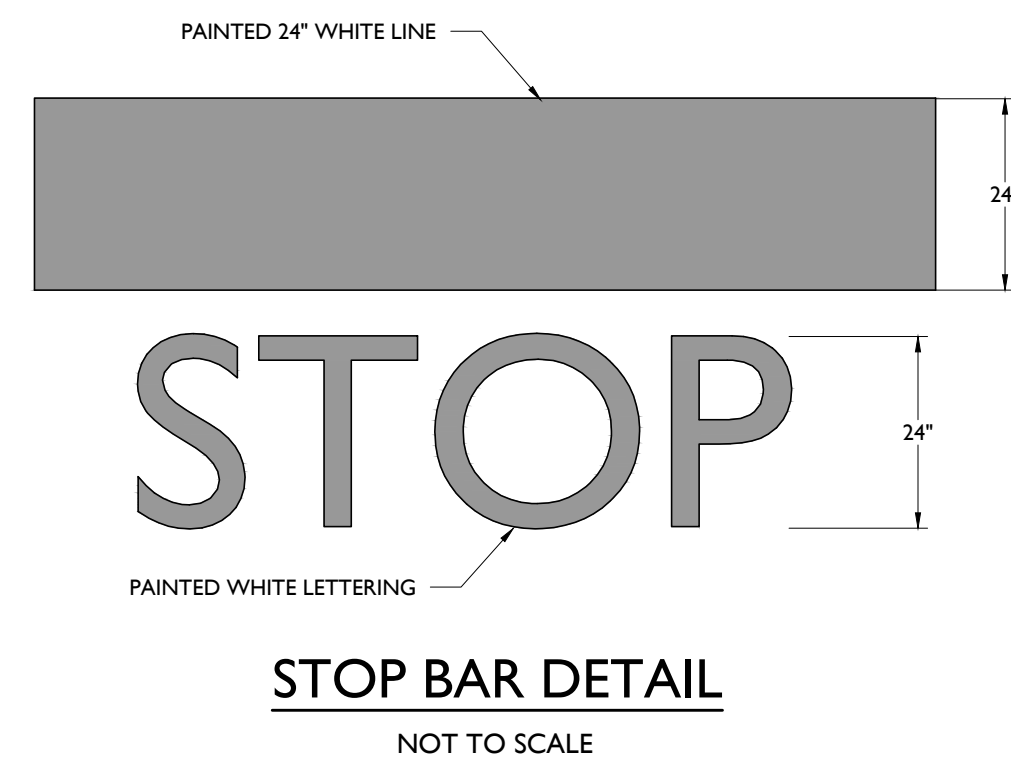
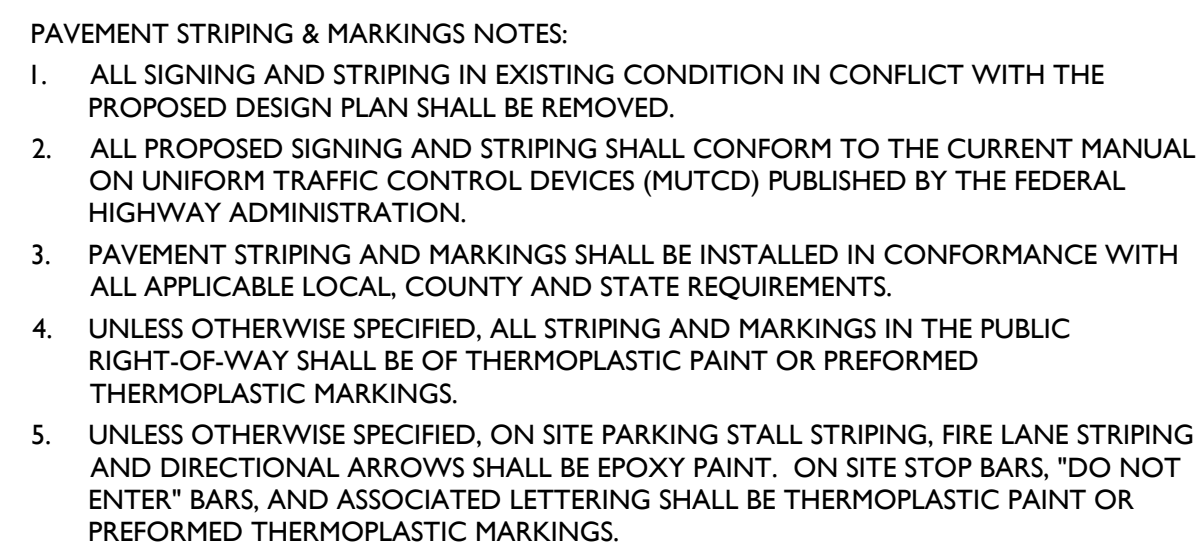
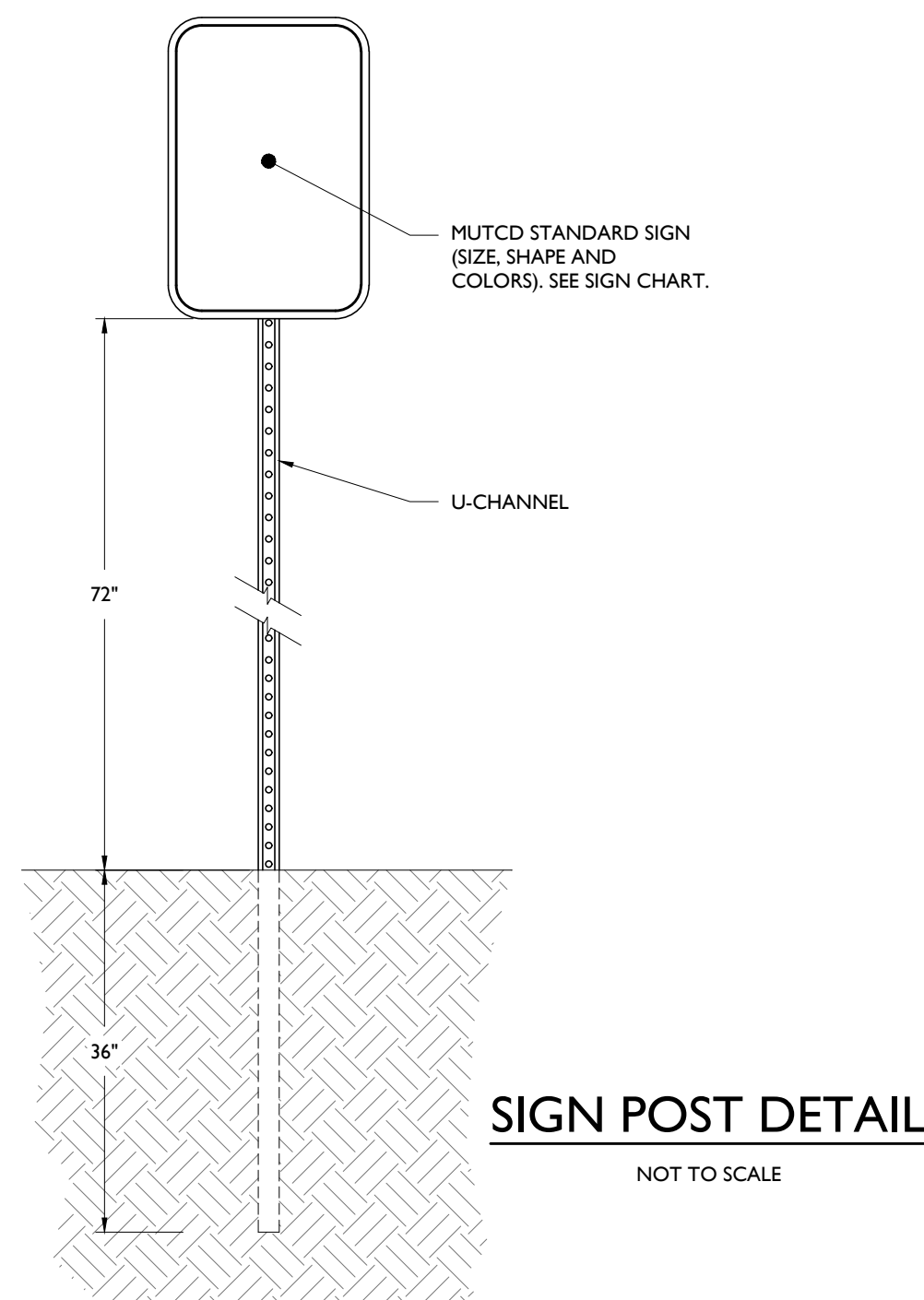
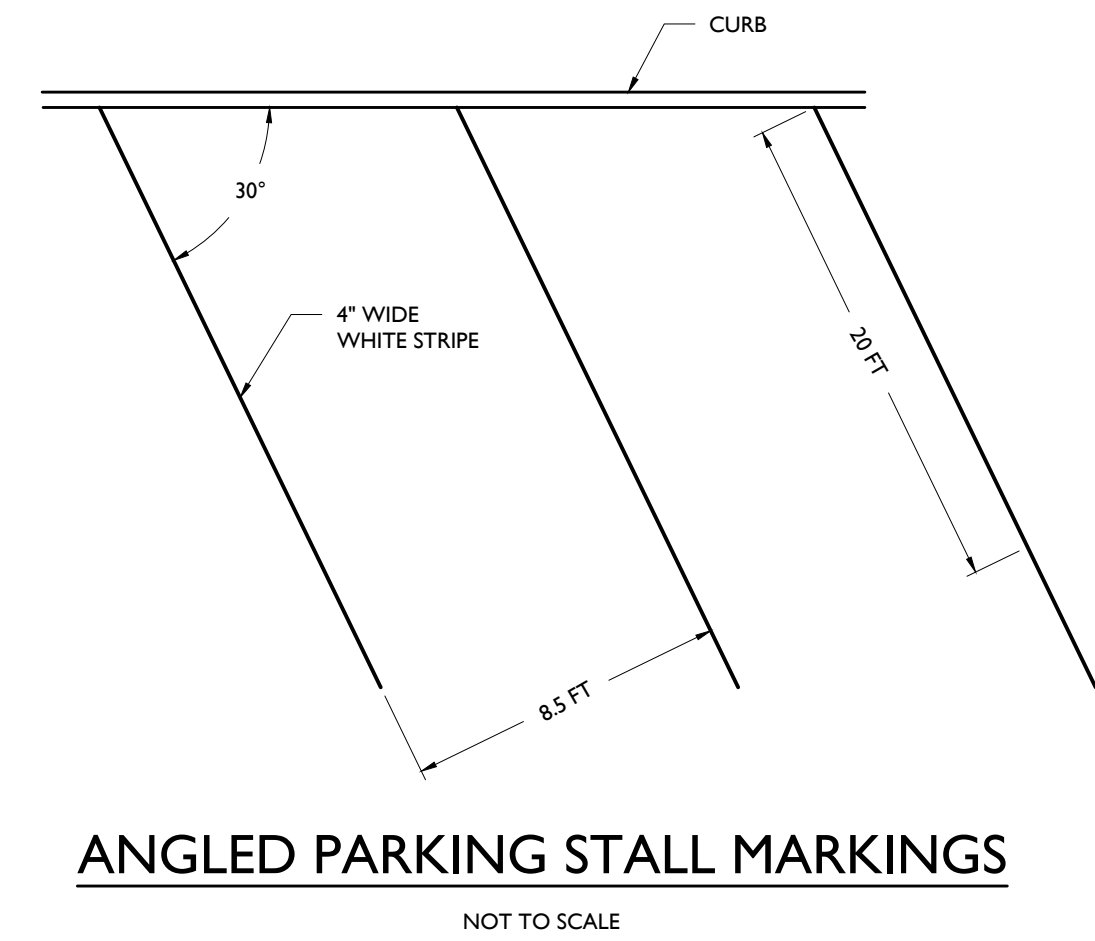
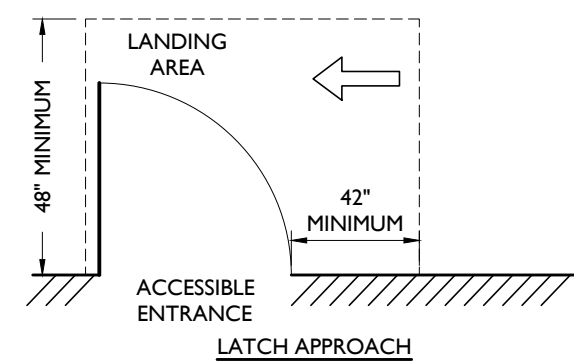
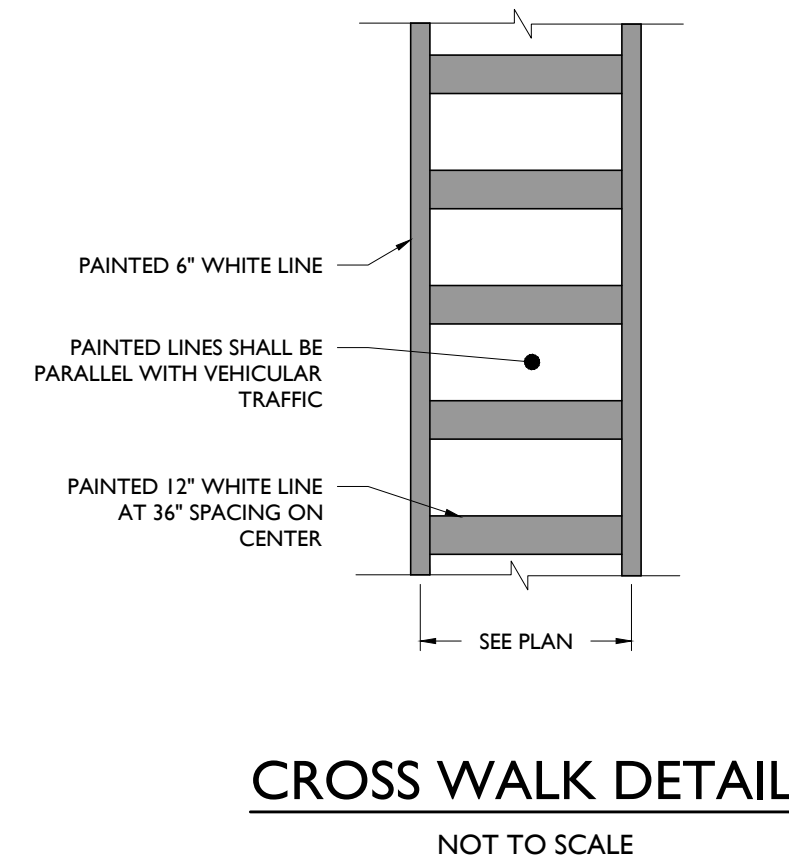
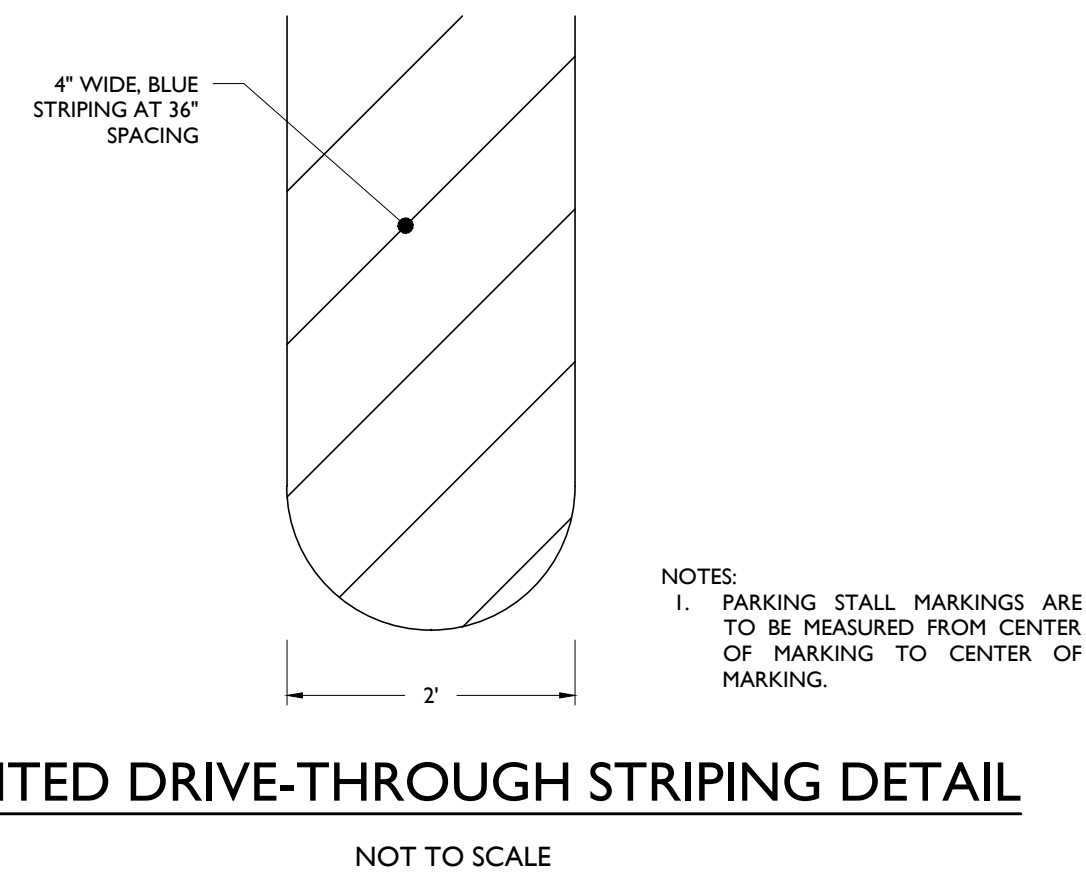
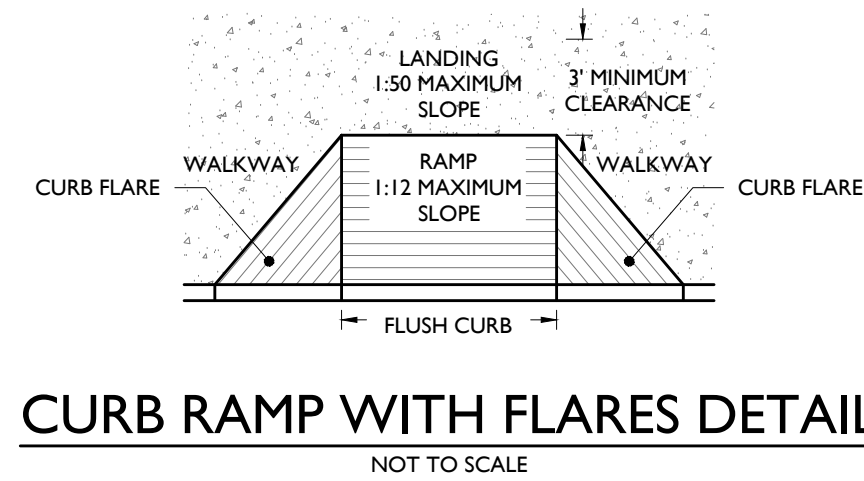
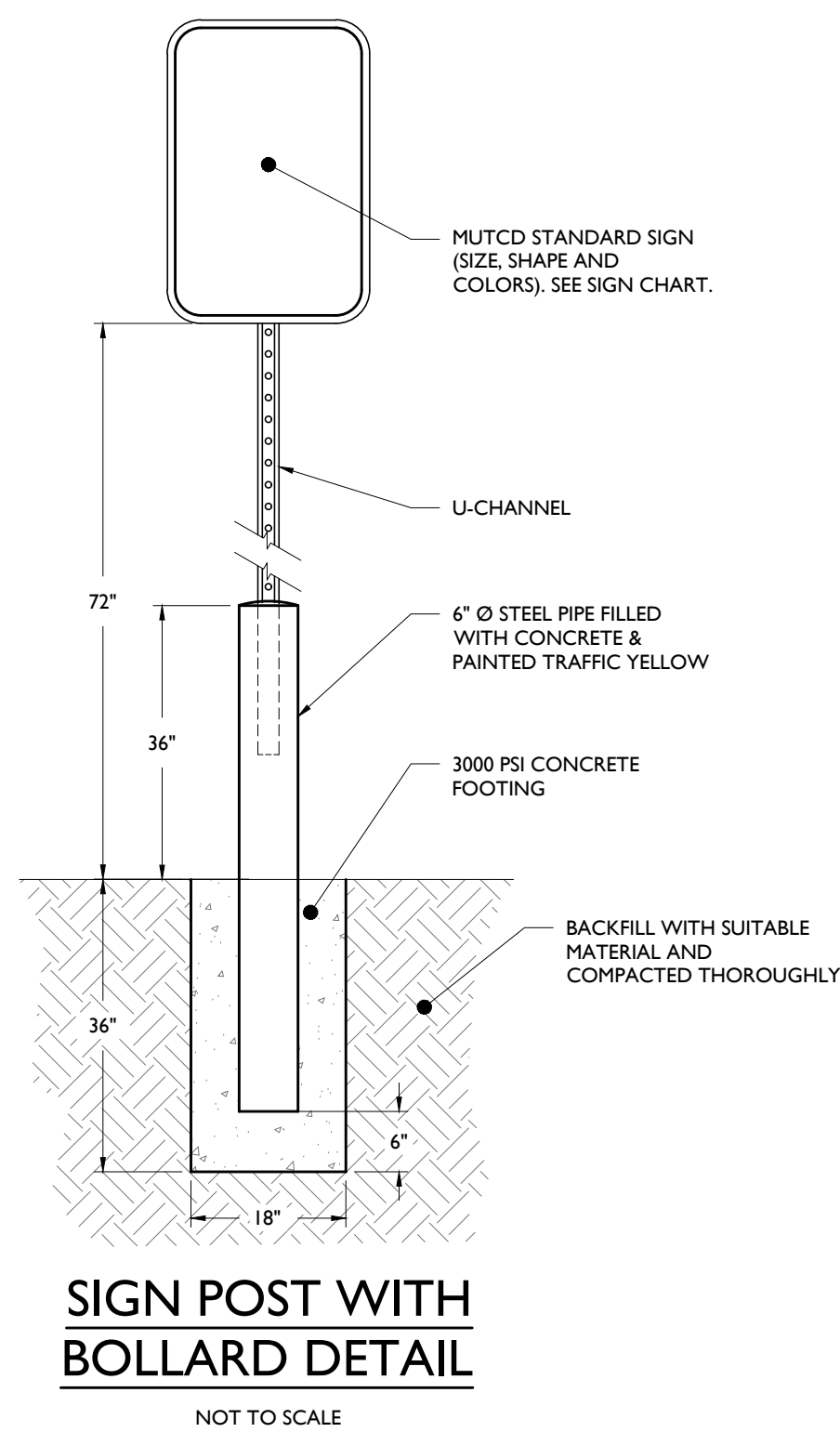
SCALE: AS SHOWN PROJECT ID: DET-250348

TITLE:

LANDSCAPING DETAILS

DRAWING:

C-10

[illegible]

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SEVEN 7 BREW
DRIVE THRU COFFEE >>>

**PROPOSED RESTAURANT
WITH DRIVE THRU**

PARCEL ID: 22-11-351-013
2700 ORCHARD LAKE ROAD
NORTH HAVEN, CONNECTICUT 06460
OAKLAND COUNTY, MICHIGAN 48334

A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "MECHANICAL ENGINEER" at the bottom. Inside the ring, the name "DWIGHT H. FRED" is at the top, "LICENSE NO." is in the middle, and "03106426" is at the bottom. A stylized signature is written across the seal.

The logo for Stonefield Engineering & Design, featuring a black diamond shape with three white dots arranged horizontally inside.

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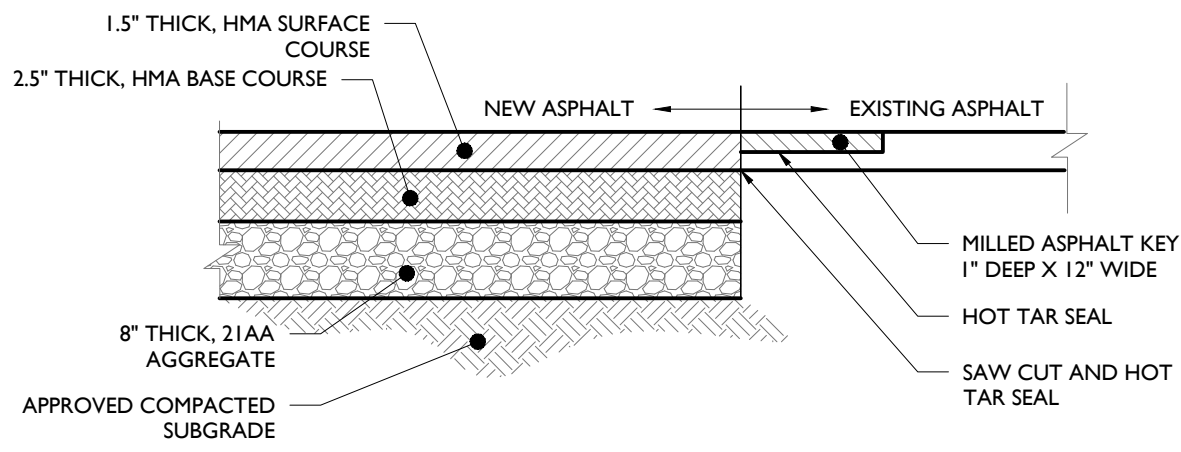
SCALE: AS SHOWN | PROJECT ID: DET-250348

TITLE:

**CONSTRUCTION
DETAILS**

DRAWING:

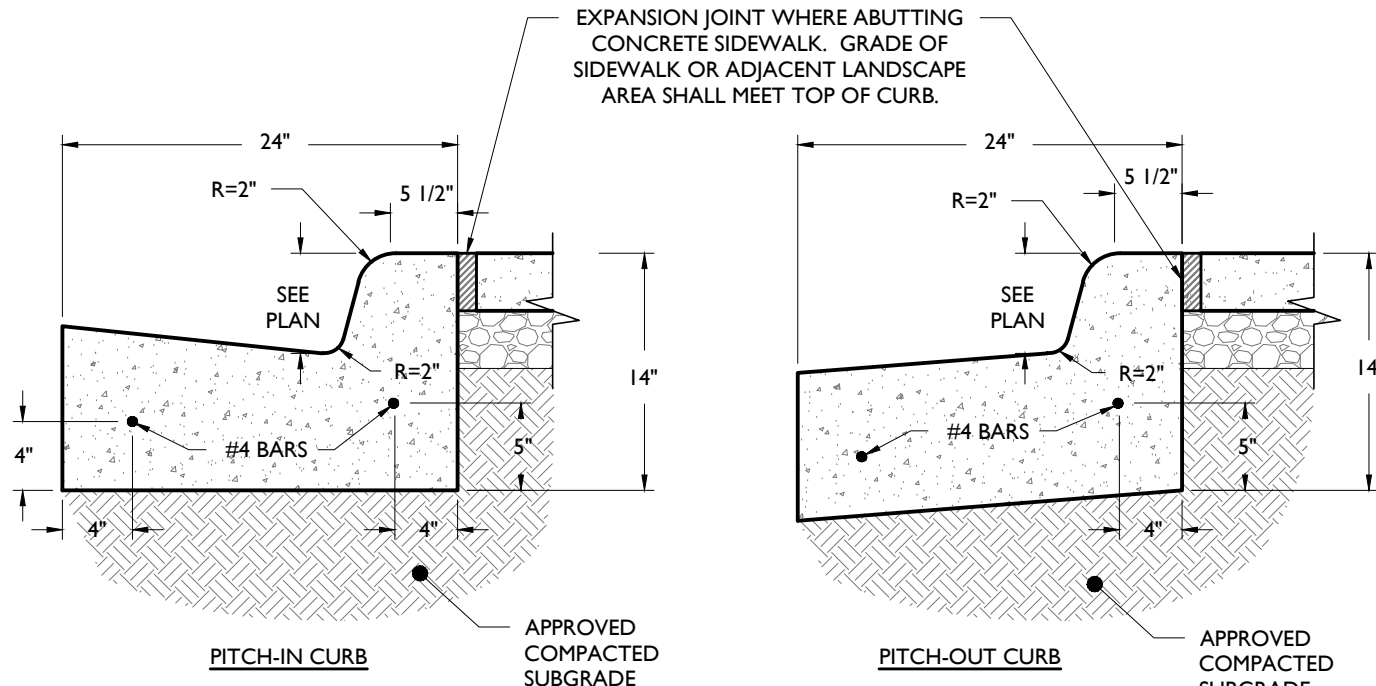
C-11



FULL DEPTH ASPHALT PAVEMENT DETAIL

NOT TO SCALE

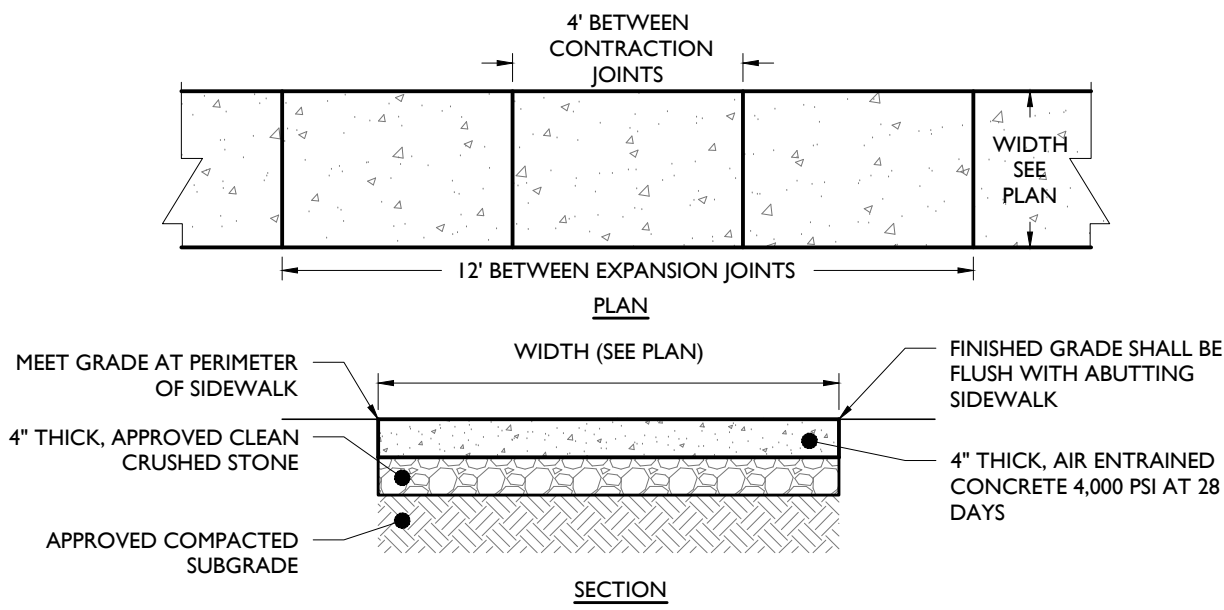
- NOTE:
1. THE GRANULAR BASE SHOULD BE COMPACTED TO 98% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (MPMDD) DETERMINED IN ACCORDANCE WITH ASTM D-1557.
 2. THE ASPHALT SHOULD BE PLACED IN ACCORDANCE WITH MDOT SPECIFICATIONS AS WELL AS APPLICABLE LOCAL REQUIREMENTS AND IS RECOMMENDED TO BE COMPACTED TO A MINIMUM OF 92% OF THE THEORETICAL MAXIMUM DENSITY (TMD).



CONCRETE CURB AND GUTTER DETAIL

NOT TO SCALE

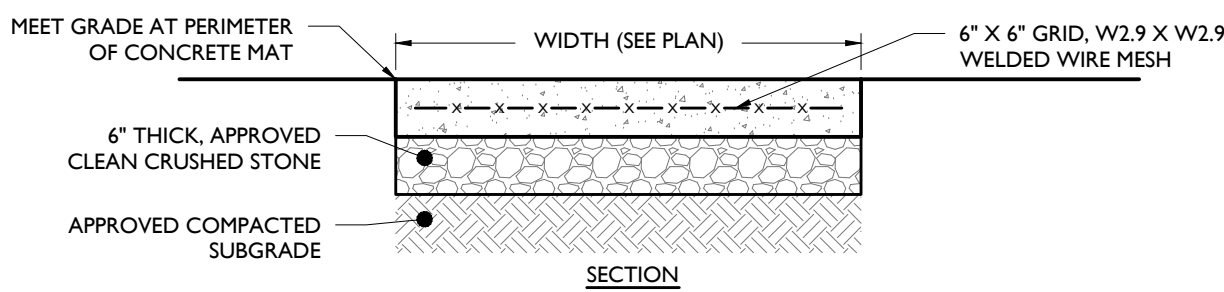
- NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
 2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4\"/>
 3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
 4. 14\"/>



CONCRETE WALKWAY DETAIL

NOT TO SCALE

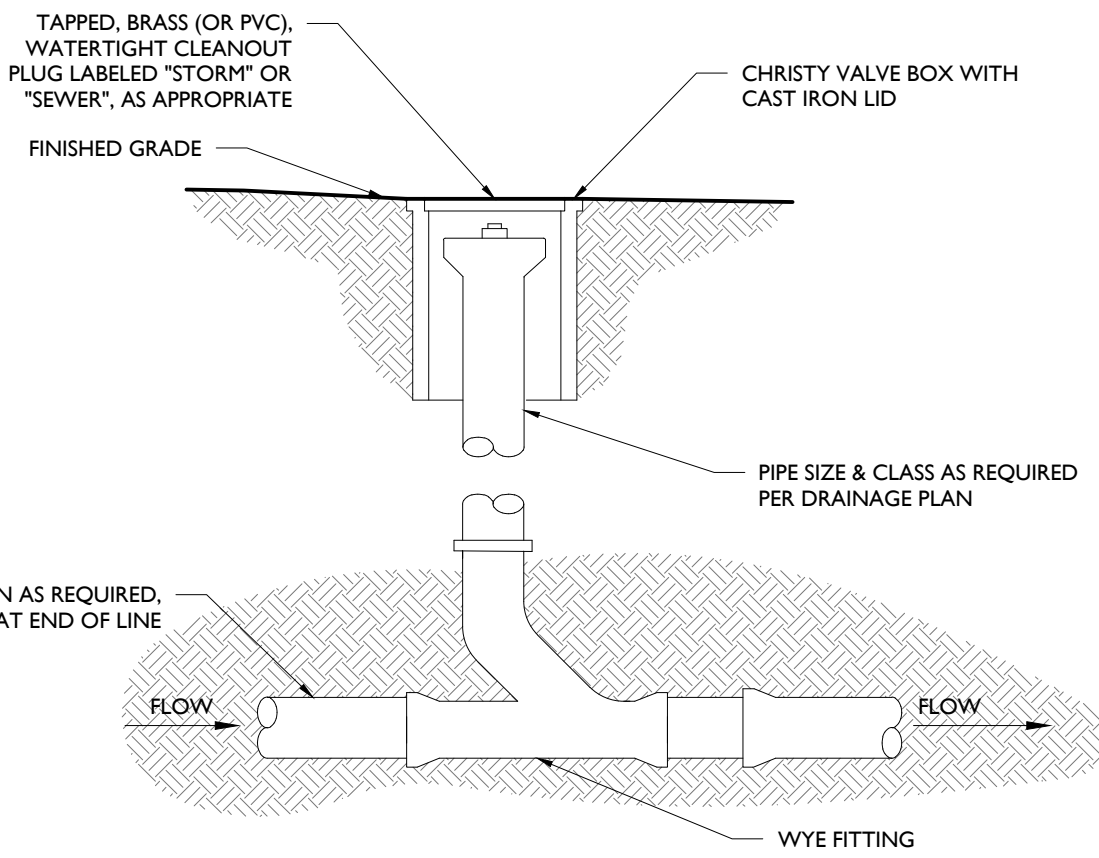
- NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/4\"/>
 2. 1/2\"/>
 3. 1\"/>
 4. EXPANSION JOIN SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



REINFORCED 6" CONCRETE

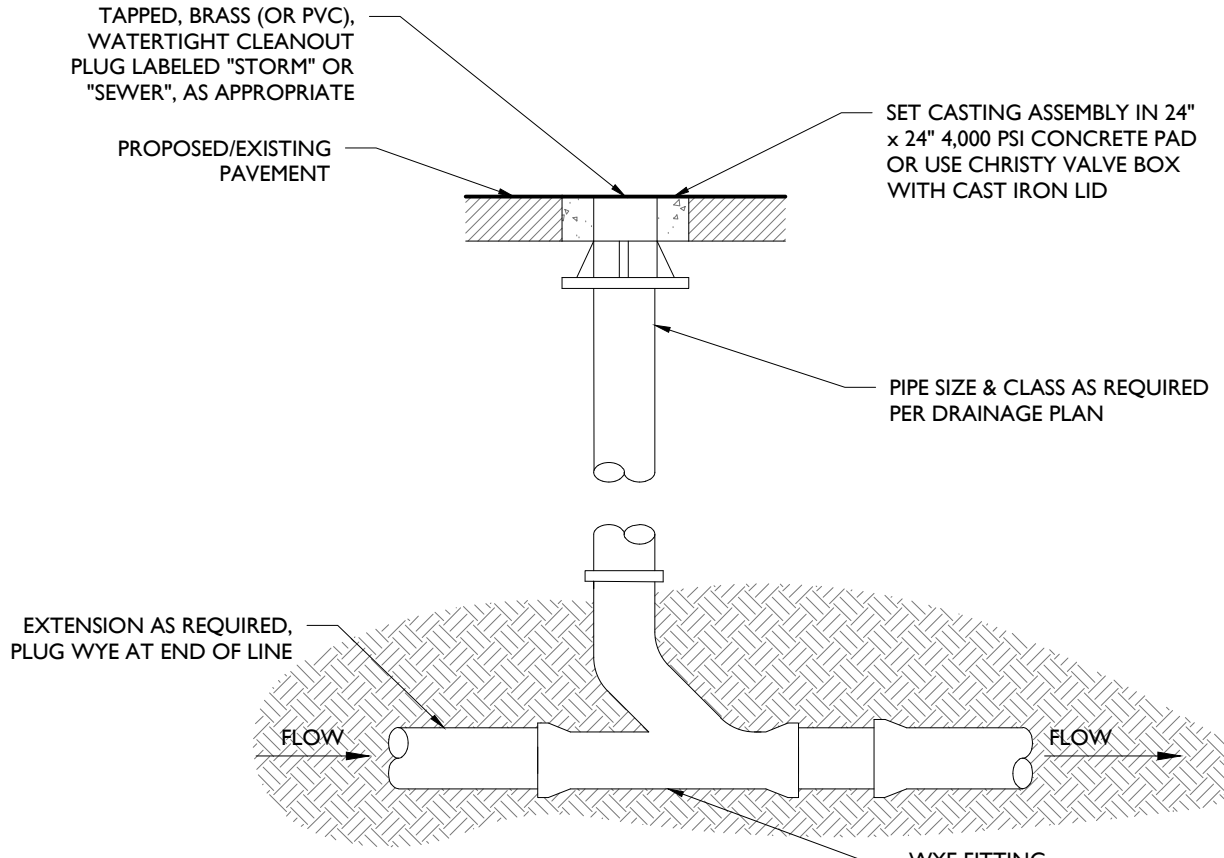
NOT TO SCALE

- NOTES:
1. THE AGGREGATE BASE SHOULD BE COMPACTED TO 95% OF ITS MODIFIED PROCTOR MAXIMUM DRY DENSITY (MPMDD) DETERMINED IN ACCORDANCE WITH ASTM D-1557
 2. 1/2\"/>
 3. 1\"/>
 4. CONCRETE SHALL RECEIVE BROOM FINISH.
 5. ALL EXPOSED CORNERS TO HAVE 12\"/>



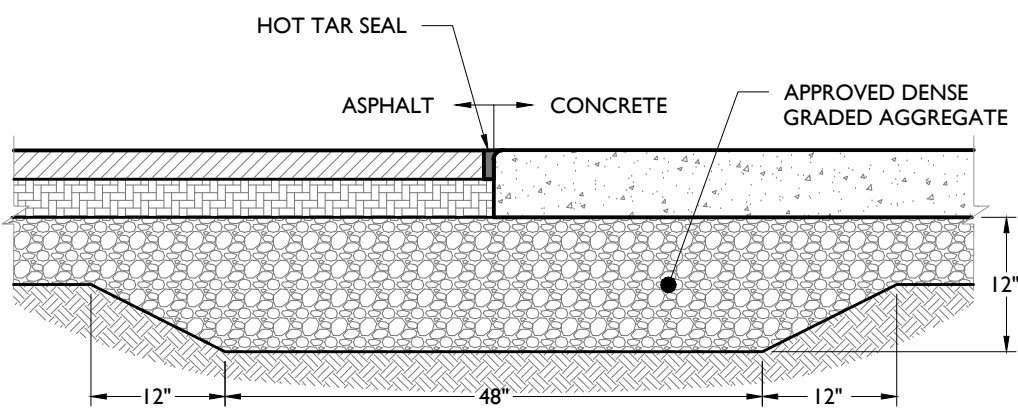
SOFTSCAPE CLEAN-OUT

NOT TO SCALE



HARDSCAPE CLEAN-OUT

NOT TO SCALE



CONCRETE TO ASPHALT TRANSITION DETAIL

NOT TO SCALE

SPECIFICATIONS

- Notes:
1. 4" FPT inlet/outlet with 4" plain end adapters, single inlet and triple outlet.
 2. Unit weight - w/ cast iron covers: 190 lbs. (For wet weight add 1,043 lbs.)
 3. Maximum operating temperature: 150° F continuous
 4. Capacities - Liquid: 125 gal
Grease: 961 lbs. (119 gal.) @75 GPM
Solids: 31 gal.
 5. For gravity drainage applications only.
 6. Do not use for pressure applications.
 7. Cover placement allows full access to tank for proper maintenance.
 8. Vent not required unless per local code.
 9. Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping.
 10. Integral air relief / Anti-siphon / Sampling access.
 11. Adjustable cover adapter provides up to 4" of additional height.
 12. Designed for below-grade, above-grade, indoor and outdoor installations.
 13. Safety Star®, access restrictor built into cover adapter, prevents accidental entry to tank (450 lb rating).

ENGINEER SPECIFICATION GUIDE

Schier Great Basin™ grease interceptor model # GB-75 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with minimum 3/8" uniform wall thickness. Interceptor shall be furnished for above or below-grade installation with adjustable cover adapter, Safety Star® access restrictor built into each cover adapter, and three outlet options. Interceptor shall be certified to ASME A112.14.3 (Type D) and CSA B481.1. Interceptor flow rate shall be 75 GPM. Interceptor grease capacity shall be 961 lbs. Cover shall provide watertight-gas-tight seal and have minimum 16,000 lbs. load capacity.

CERTIFIED PERFORMANCE

Great Basin™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.

Type D certification does not require a flow control

SPECIFICATION SHEET

MODEL NUMBER: **GB-75**

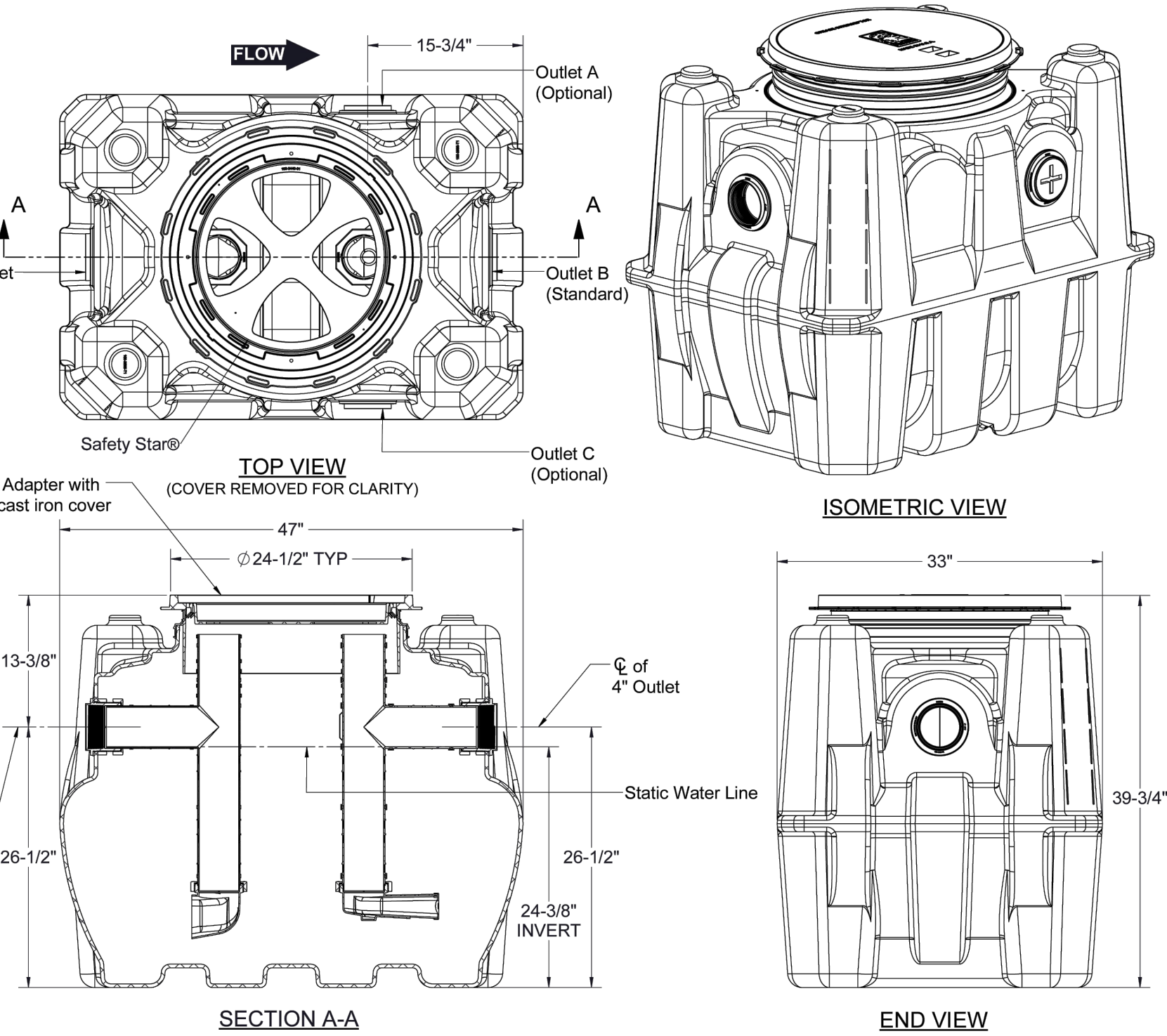
PART NUMBER: 4045-007-02

DESCRIPTION: GB-75 GREASE INTERCEPTOR 75 GPM, 4" INLET/OUTLET, H-20 RATED CAST IRON COVER

PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SCHIER PRODUCTS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SCHIER PRODUCTS IS PROHIBITED.

DWG BY: C. BUSENITZ DATE: 4/14/2022 REV: - ECO: -



GREASE TRAP DETAIL

NOT TO SCALE

8

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SITE DEVELOPMENT PLANS

SEVEN 73
BREWERY
CRAFT BEER

**PROPOSED RESTAURANT
WITH DRIVE THRU**

PARCEL ID: 23-11-1351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



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SCALE: AS SHOWN PROJECT ID: DET-250348

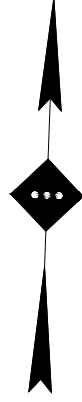
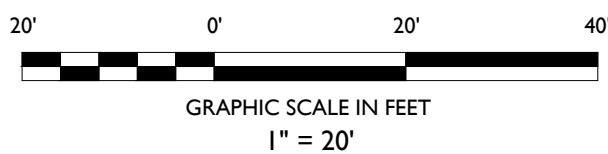
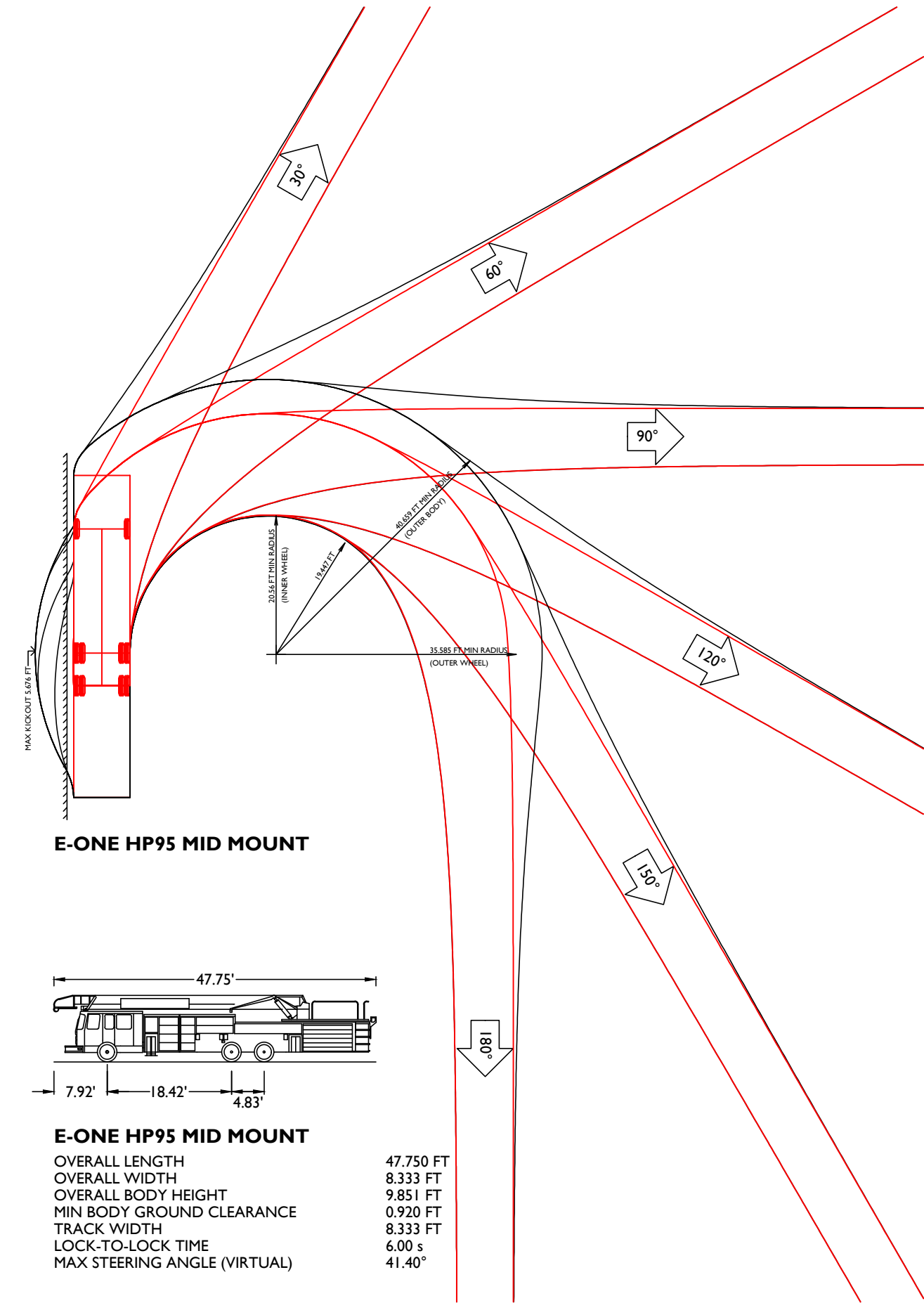
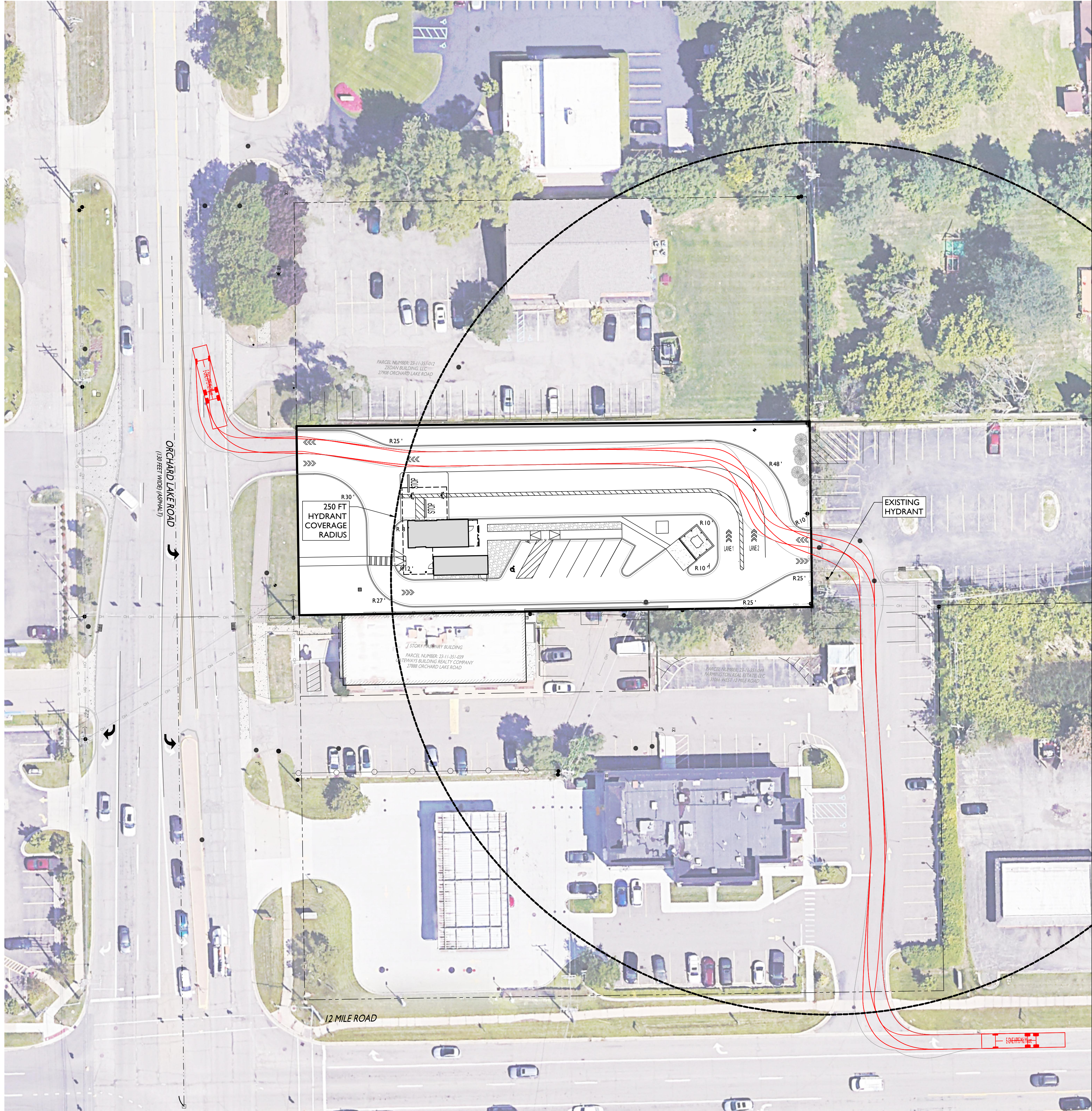
TITLE:

**CONSTRUCTION
DETAILS**

DRAWING:

C-12

V:\01250348\DET-250348\DRIVE THRU RESTAURANT\GROUP - 27900 ORCHARD LAKE RD, FARMINGTON HILLS, MI\CAD\PHOTO\TOP 13\TUCKING



SITE DEVELOPMENT PLANS



PROPOSED RESTAURANT
WITH DRIVE THRU

PARCEL ID: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN 48334



SCALE: 1" = 20' PROJECT ID: DET-250348

TITLE:

FIRE TRUCK
TURNING ANALYSIS

DRAWING:

C-13

NOT APPROVED FOR CONSTRUCTION

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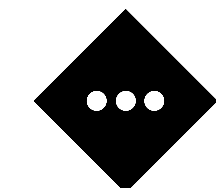
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ISSUE	DATE	BY	DESCRIPTION
1	10/10/2025	JSEM	FOR SITE PLAN SUBMISSION



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ALTA / NSPS LAND TITLE SURVEY

MAP OF SURVEY OF:

PARCEL NUMBER: 23-11-351-013
27900 ORCHARD LAKE ROAD
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN

I	10/03/25	PL	AG	9/24/25	JU - SM	FOR ISSUE
ISSUE	DATE	DRAFT BY	CHECK BY	FIELD DATE	FIELD CREW	DESCRIPTION

THIS IS TO DECLARE THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 7(a), 7(b)(1), 8, 9 AND 13 OF TABLE THEREOF.

THE FIELDWORK WAS COMPLETED ON SEPTEMBER 24, 2025


















PARCEL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN AND IS DESCRIBED AS FOLLOWS:



LOT(S) 38 OF OAKLAND HILLS ORCHARDS ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 26 OF PLATS, PAGE 23 OF OAKLAND COUNTY RECORDS.

BEING THE SAME PROPERTY AS DESCRIBED IN FIRST AMERICAN TITLE
INSURANCE COMPANY, ISSUING OFFICE FILING NUMBER: 1035926
COMMITMENT DATE: AUGUST 4, 2025.
















SYMBOL DESCRIPTION

	BUILDING
	CONCRETE SIDEWALK / MAT
	ASPHALT / CONCRETE CURB
	DEPRESSED CURB
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	EASEMENT
	SECTION LINE
	CHAIN LINK FENCE
	WOOD FENCE
	GUIDE RAIL
	UTILITY POLE
	GUY WIRE
	LIGHT POLE
	SIGNS
	WATER VALVE
	INLET

SYMBOL DESCRIPTION

<u>EP</u>	EDGE OF PAVEMENT
— OH	OVERHEAD WIRE
— G	UNDERGROUND GAS LINE
— SAN	SANITARY SEWER LINE
— — — —	STORM PIPE
— 100	MAJOR CONTOUR
— — — — 101	MINOR CONTOUR
X	GRADE SPOT SHOT
X TC 100.50	TOP OF CURB SHOT
—X BC 100.00	BOTTOM OF CURB SHOT
X TW 102.00	TOP OF WALL SHOT
—X BW 100.00	BOTTOM OF WALL SHOT
— — — —	WALL
— — — —	PAVEMENT STRIPING
— — — —	ROOF OVERHANG
	BOX (ELEC. GAS, ETC.)
	FIRE HYDRANT

SYMBOL DESCRIPTION

	IRON ROD
	BENCH MARK
	DECIDUOUS TREE - DIAMETER NOTED
	PINE TREE - DIAMETER NOTED
	LANDSCAPING
	MEASURED
	RECORD
	ELEVATION
	INVERT
	CLEAN OUT
	MONITORING WELL
	ELEC METER
	GAS METER
	MAN HOLE
	BOLLARDS

SCHEDULE B - PART II EXCEPTIONS:

FIRST AMERICAN TITLE INSURANCE COMPANY, ISSUING OFFICE FILING NUMBER: 1035926
COMMITMENT DATE: AUGUST 4, 2025.

EXCEPTIONS 1 - 6: (NOT SURVEY RELATED - NOT SHOWN)

7. EASEMENT FOR SANITARY SEWER IN FAVOR OF THE CITY OF FARMINGTON HILLS AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 6312, PAGE 118. **(SHOWN)**
8. TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13944, PAGE 897, AND AFFIDAVIT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 14074, PAGE 472.

A) LIBER 13944, PAGE 897
("FARMINGTON HILLS PROPERTY" AS DESCRIBED IN EXHIBIT 'C' OF THIS DOCUMENT IS THE SUBJECT PROPERTY) (EASEMENTS DESCRIBED IN EXHIBITS 'D', 'E' & 'F' OF THIS DOCUMENT ARE NOT LOCATED ON THE SUBJECT PROPERTY (NOT SHOWN) (GUIDE RAIL & RETAINING WALL ON SUBJECT PROPERTY SUBJECT TO THIS AGREEMENT SHOWN)

B. LIBER 14074, PAGE 472
 ("FARMINGTON HILLS PROPERTY" AS DESCRIBED IN EXHIBIT 'C' OF THIS DOCUMENT IS THE SUBJECT PROPERTY) (EASEMENTS DESCRIBED IN EXHIBITS 'D', 'E' & 'F' OF THIS DOCUMENT ARE NOT LOCATED ON THE SUBJECT PROPERTY (NOT SHOWN))

(9) TERMS AND CONDITIONS CONTAINED IN EASEMENT AGREEMENT AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 13945, PAGE 1. (INGRESS & EGRESS EASEMENTS AND PARKING EASEMENTS SHOWN)

(10) EASEMENT FOR SANITARY SEWER IN FAVOR OF THE CITY OF FARMINGTON HILLS AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 14286, PAGE 766. (SHOWN)

11. UNDERGROUND EASEMENT (RIGHT OF WAY) IN FAVOR OF THE DETROIT EDISON COMPANY AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 14668, PAGE 682. **(SHOWN)**

12. EASEMENT(S), RESTRICTIONS AND/OR SETBACK LINES, IF ANY, AS DISCLOSED BY THE RECORDED PLAT, (RECORDED PLAT IN LIBER 24, PAGE 23 DOES NOT SHOW ANY EASEMENTS, RESTRICTIONS AND/OR SETBACK LINES FOR THE SUBJECT PROPERTY -NOT SHOWN).

EXCEPTIONS 13 - 16: (NOT SURVEY RELATED - NOT SHOWN)

SURVEY NOTES:

1. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING SEPTEMBER OF 2023, BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE. THIS SURVEY IS SUBJECT TO ALL EXISTING RIGHTS OF WAY AND AGREEMENTS OF RECORD THAT A TITLE SEARCH MAY DISCLOSE.
2. THIS SURVEY IS VALID ONLY WHEN A DIGITAL SEAL IS AFFIXED HERETO.
3. THE SURVEYOR IS NOT QUALIFIED TO IDENTIFY ENVIRONMENTAL CONDITIONS OR THE PRESENCE OR ABSENCE OF WETLANDS.
4. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
5. ANY SUBSURFACE UTILITIES SHOWN HAVE BEEN LOCATED FROM MARKOUTS OBSERVED ON SITE DURING THE FIELD SURVEY, AND SURFACE FEATURES SUCH AS VALVES, MANHOLES AND GRATES, STORM DRAINAGE AND/OR SANITARY INVERTS ARE DEPICTED BASED ON OBSERVATIONS MADE IN THE FIELD. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF THE UTILITIES SHOWN, WHICH MAY COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION USED. THE SURVEY HAS NOT PHYSICALLY LOCATED THE UTILITIES, BEFORE ANY EXCAVATIONS ARE BEGUN, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
6. BEARINGS ARE REFERENCED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM (NAD83) SOUTH ZONE. ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS SURVEYS. UTILIZING THE MICHIGAN DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE SYSTEM (MDOT CORS).
7. BASEMENT OR BELOW GRADE STRUCTURES (IF ANY) ARE UNKNOWN.
8. BENCHMARK #1 = SET CAP = 855.1 (NAD83) -
CAP IN GRASS IN FRONT OF SUBJECT PARCEL
BENCHMARK #2 = SET BENCH = 157.67 (NAVD83) -
PK NAIL IN CONCRETE NORTHEAST OF BUILDING ON SUBJECT PARCEL

SURVEY REFERENCES:

1. DEED BETWEEN RICHARD RIGGS PLAZA (GRANTOR) AND FARMINGTON HILLS BEEF COMPANY (GRANTEE), DATED AUGUST 27, 1993 AND RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS, OAKLAND COUNTY, MICHIGAN, IN LIBER 13926, PAGE 87.
2. "OAKLAND HILLS ORCHARDS" SUBDIVISION LOCATED ON THE WEST 1/2 OF THE NORTHWEST 1/4 AND THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 9 EAST, FARMINGTON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, DATED DECEMBER 18, 1920 AND RECORDED IN THE OAKLAND COUNTY REGISTER OF DEEDS OFFICE IN LIBER 26 OF PLATS ON PAGE 23.
3. A TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY ISSUING OFFICE FILE NUMBER: 1035926, COMMITMENT DATE AUGUST 4, 2025.

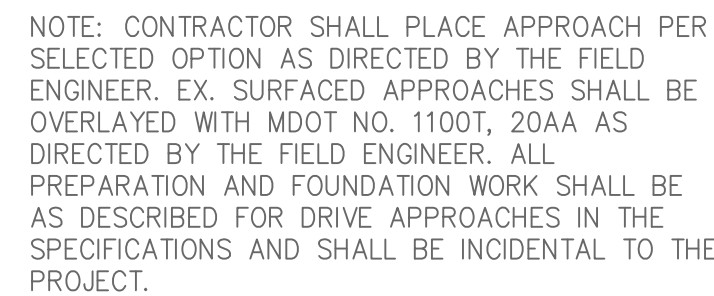
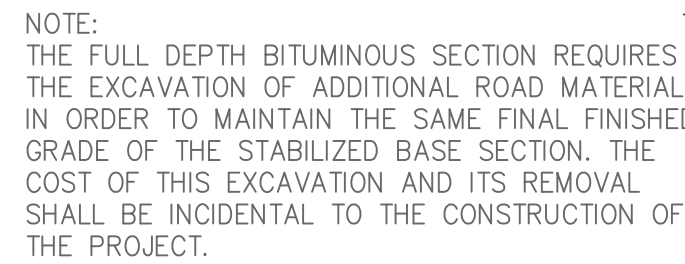
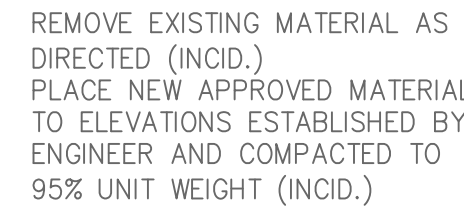
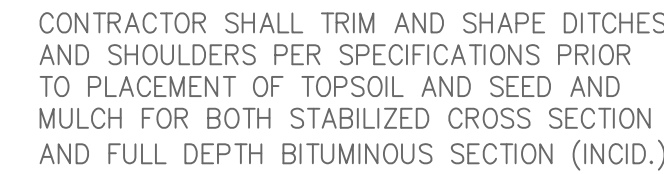
FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X UNSHADED (AREA DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 260172, MAP NUMBER 26125C0513F WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.

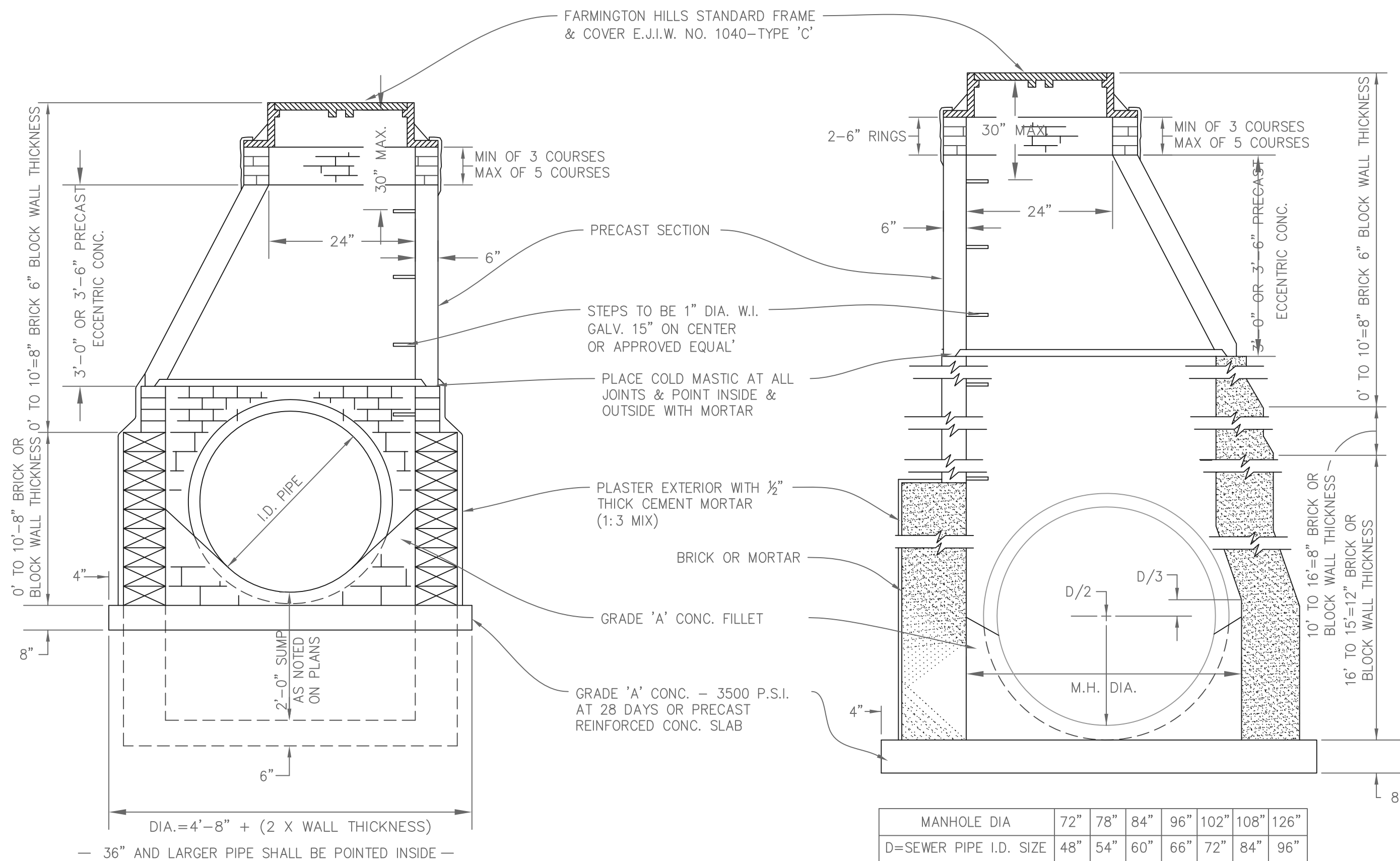
EXISTING STRIPED PARKING:

*THE PARKING STRIPING ON THE SUBJECT PROPERTY IS VERY FADED AND NOT VISIBLE IN SOME PLACES. THE PARKING COUNT HEREON IS BASED ON THE LIMITED STRIPING THAT IS STILL VISIBLE, ALONG WITH SIGNS AND CURB STOPS.

REGULAR SPACES = 27 SPACES
HANDICAP SPACES = 2 SPACE
TOTAL SPACES = 29 SPACES

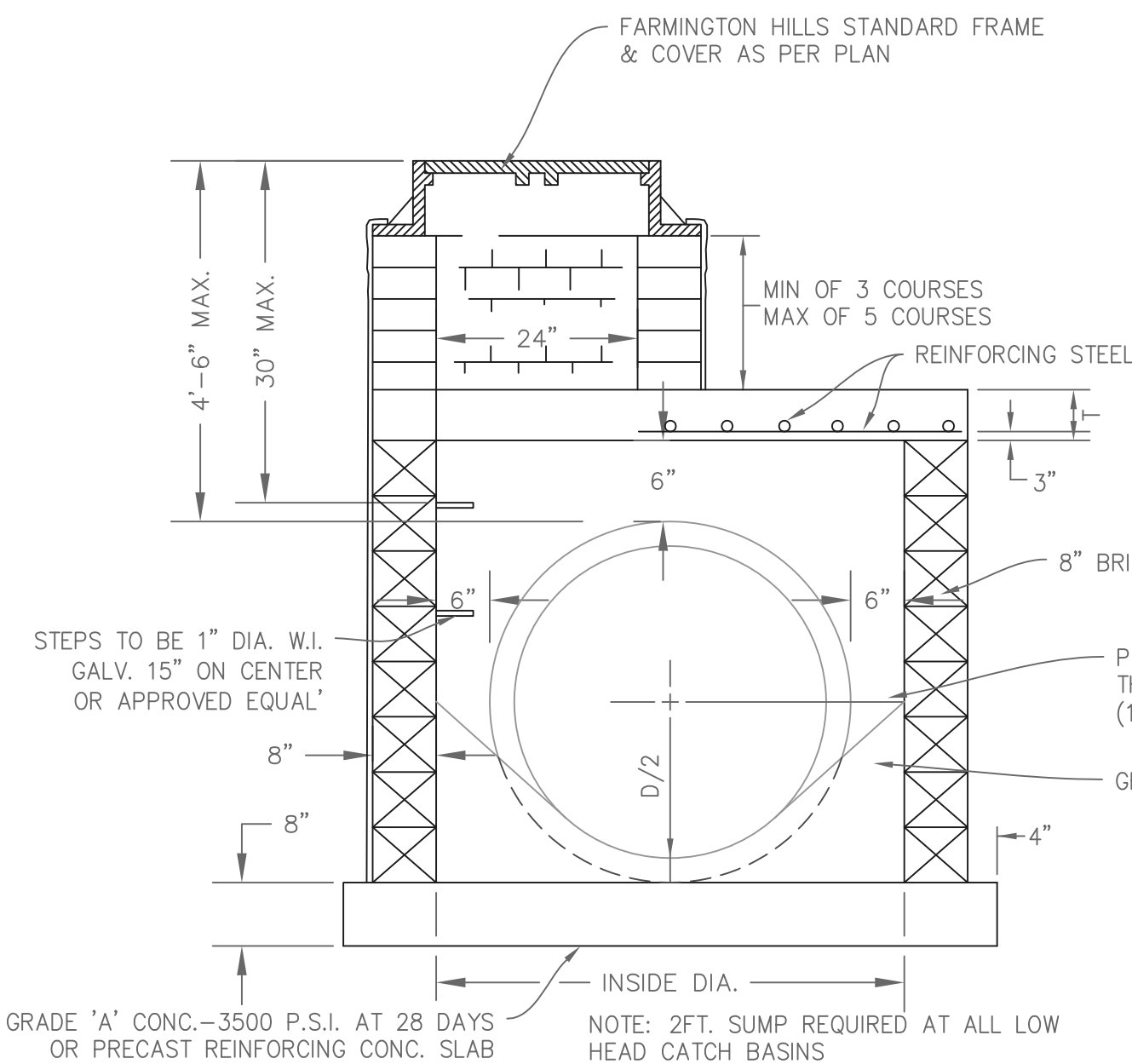


CITY OF FARMINGTON HILLS OAKLAND COUNTY, MI		ENGINEERING DIVISION	
STANDARD DETAIL DRAWINGS STABILIZATION AND PAVEMENT STANDARDS		JOB NO.	
		SCALE: HORIZ. NA	VERT. NA
		DRAWN: CADATOMIC	DATE: 7/1/13
		DESIGNED BY: FH	DATE: 7/1/13
		CHECKED BY:	DATE:
SHEET <u>1</u> OF <u>1</u>		APPROVED BY:	
		DIRECTOR, PUBLIC SERVICES DEPT.	



STORM MANHOLE FOR PIPE 48" AND OVER

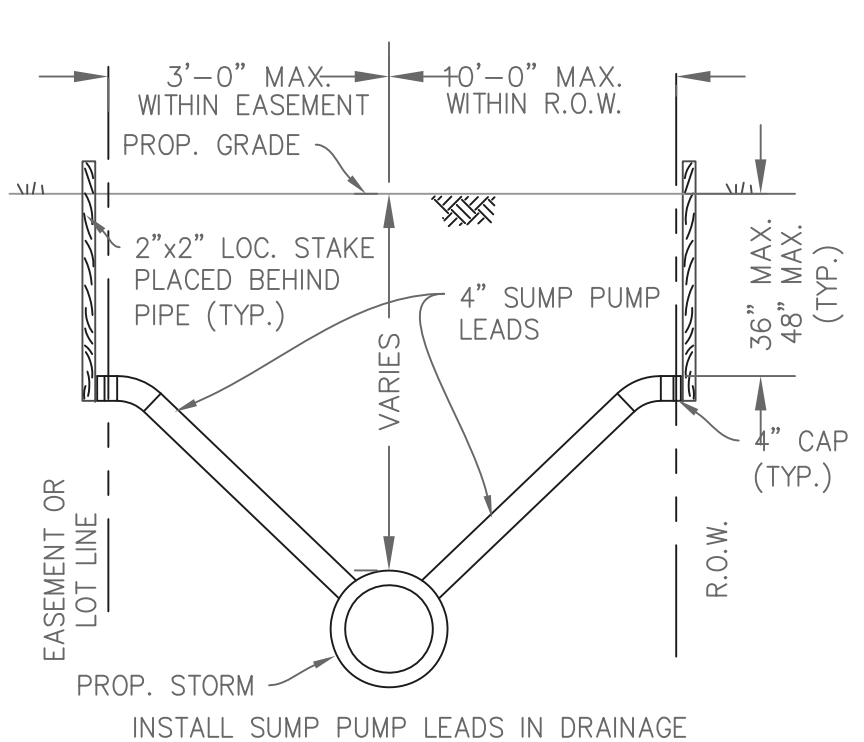
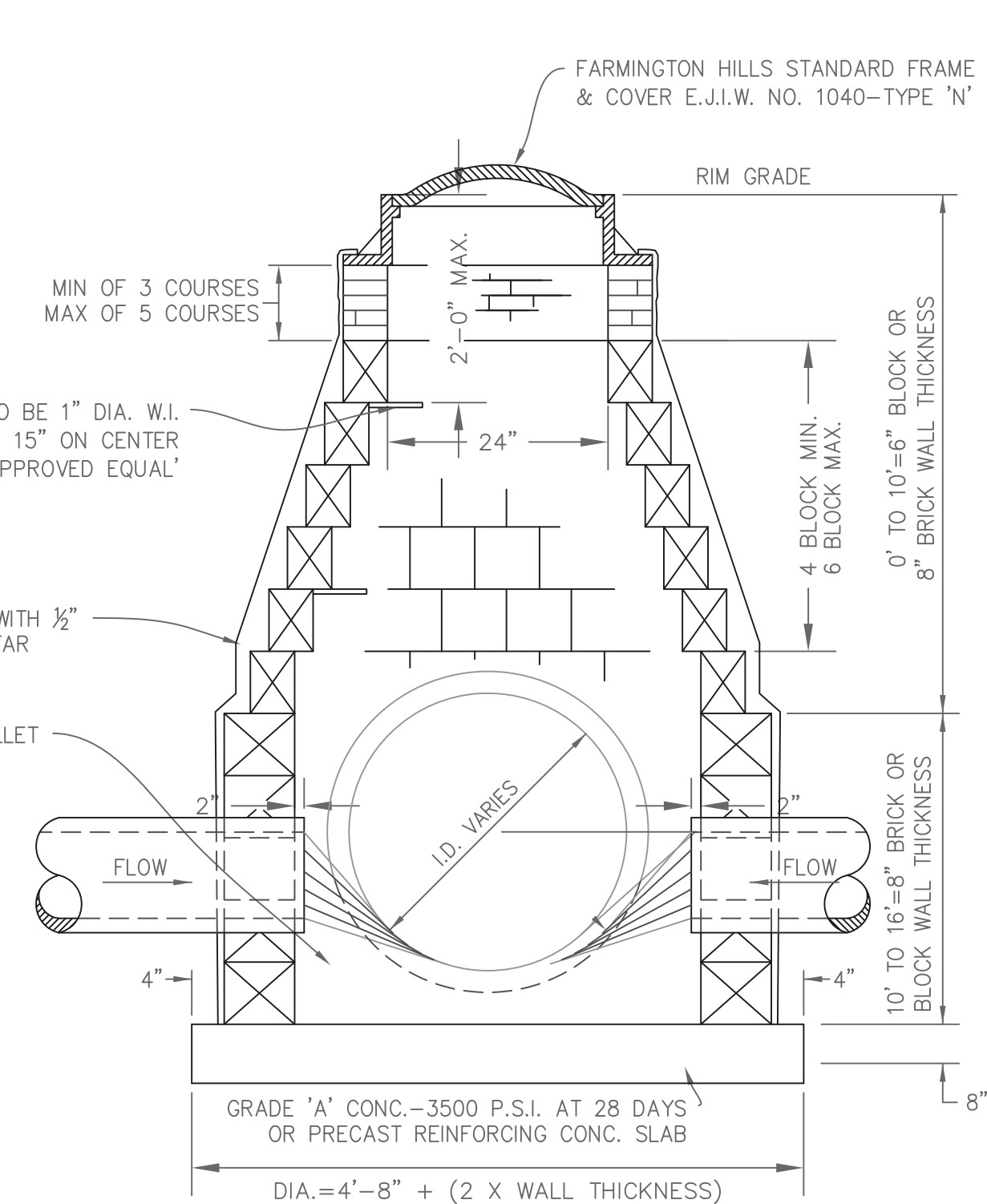
MANHOLE DIA	72"	78"	84"	96"	102"	108"	126"
D=SEWER PIPE I.D. SIZE	48"	54"	60"	66"	72"	84"	96"



STD. I.D.	TOP SLAB "T"	REINFORCING STEEL
4'-0"	8"	NO. 6 AT 9" EACH WAY
5'-0"	12"	NO. 6 AT 9" EACH WAY
6'-0"	12"	NO. 7 AT 9" EACH WAY
7'-0"	12"	NO. 8 AT 9" EACH WAY
8'-0"	12"	NO. 8 AT 9" EACH WAY
9'-0"	12"	NO. 8 AT 9" EACH WAY

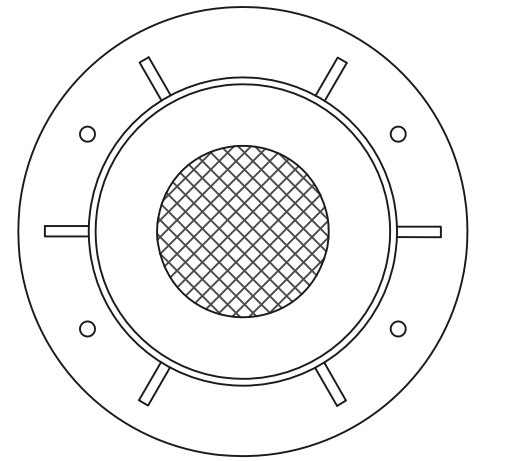
LOW HEAD STORM SEWER STRUCTURE

NO SCALE

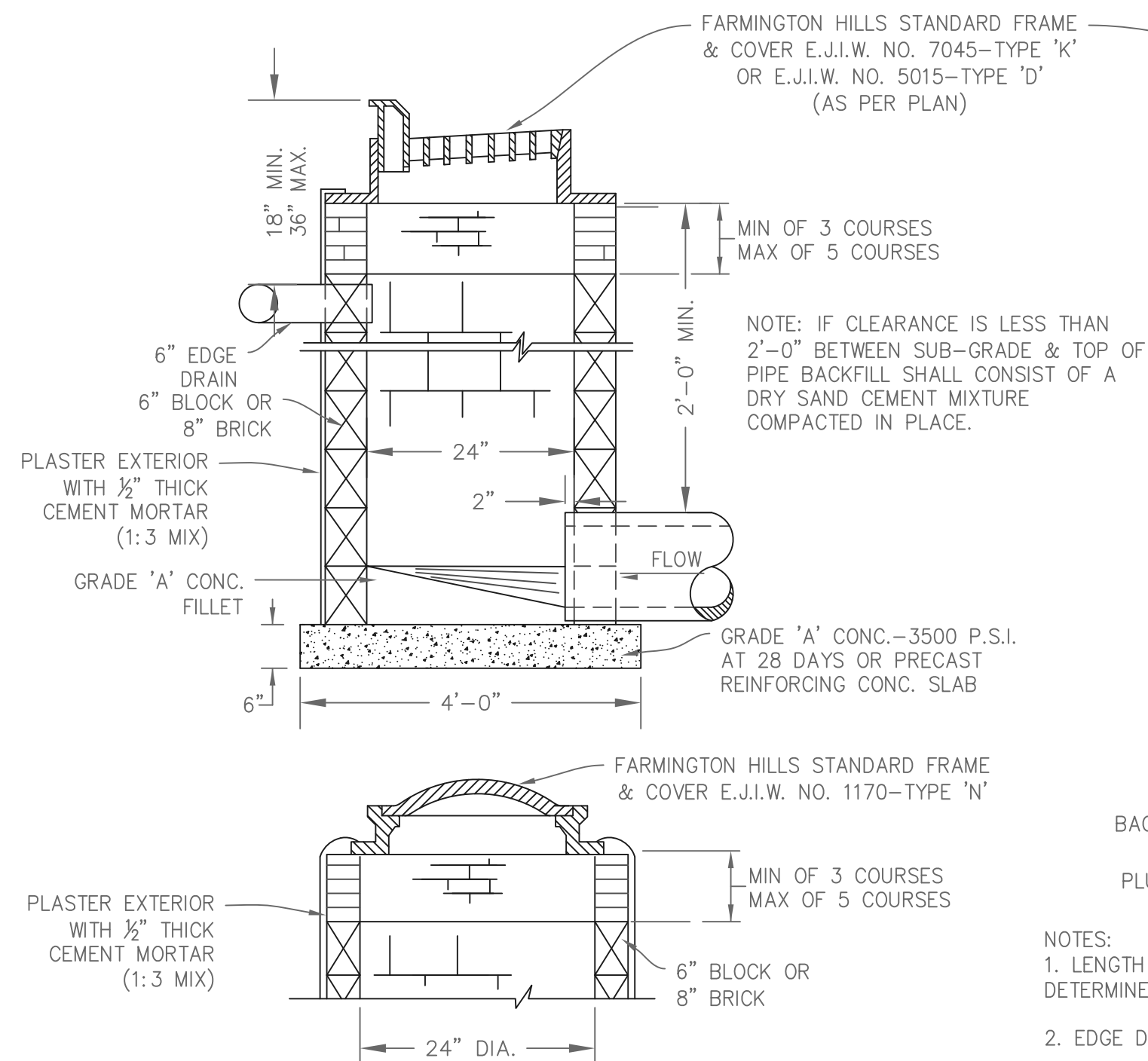
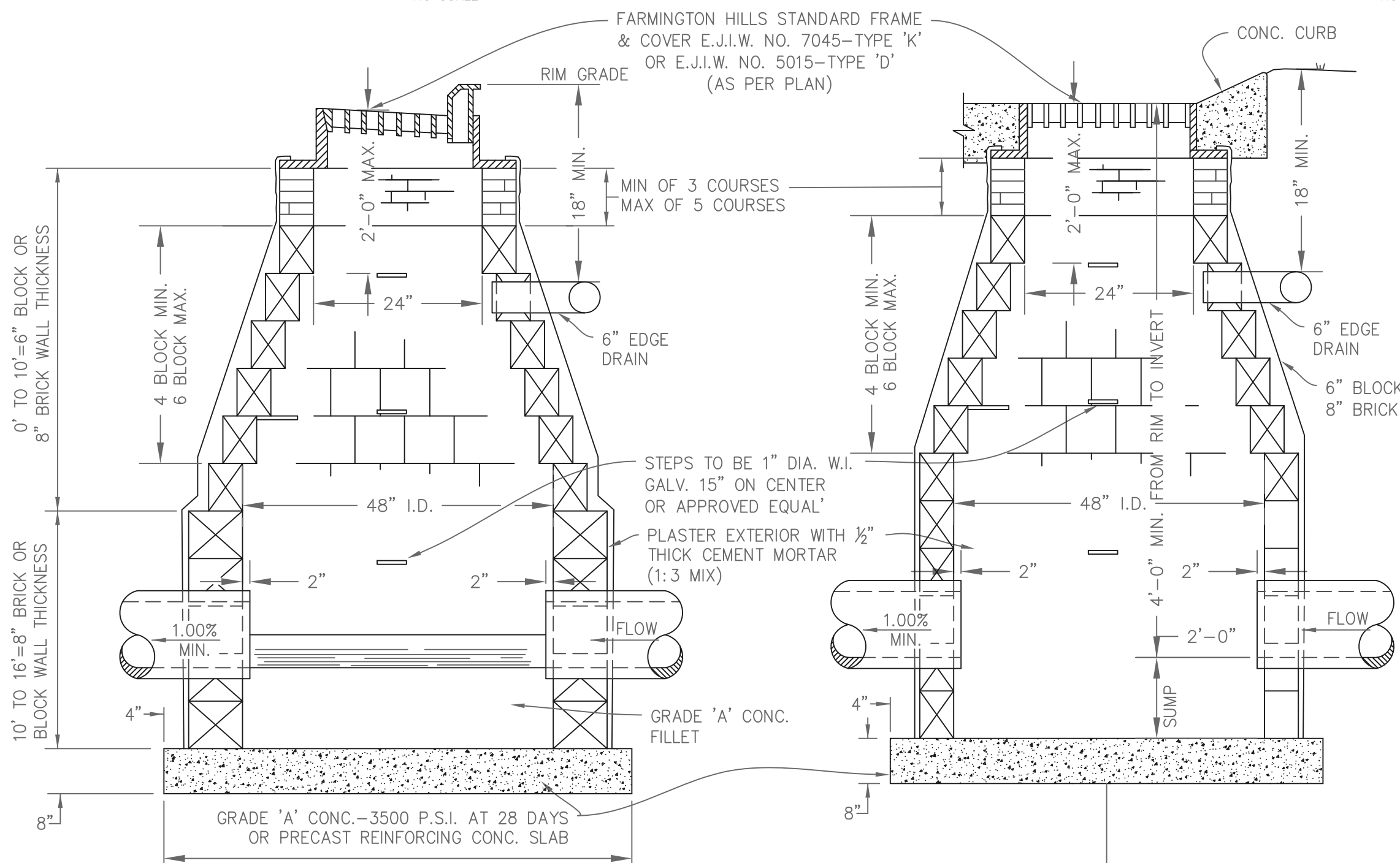


4" SUMP PUMP LEADS

NO SCALE



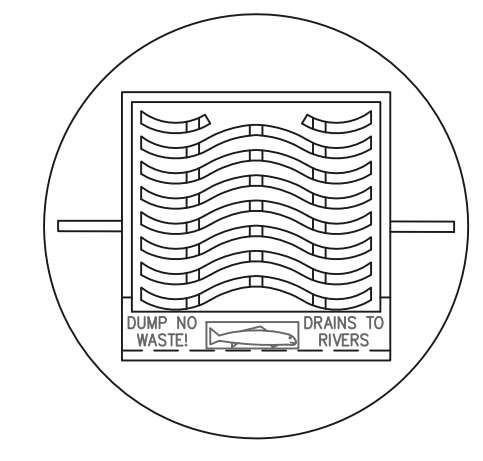
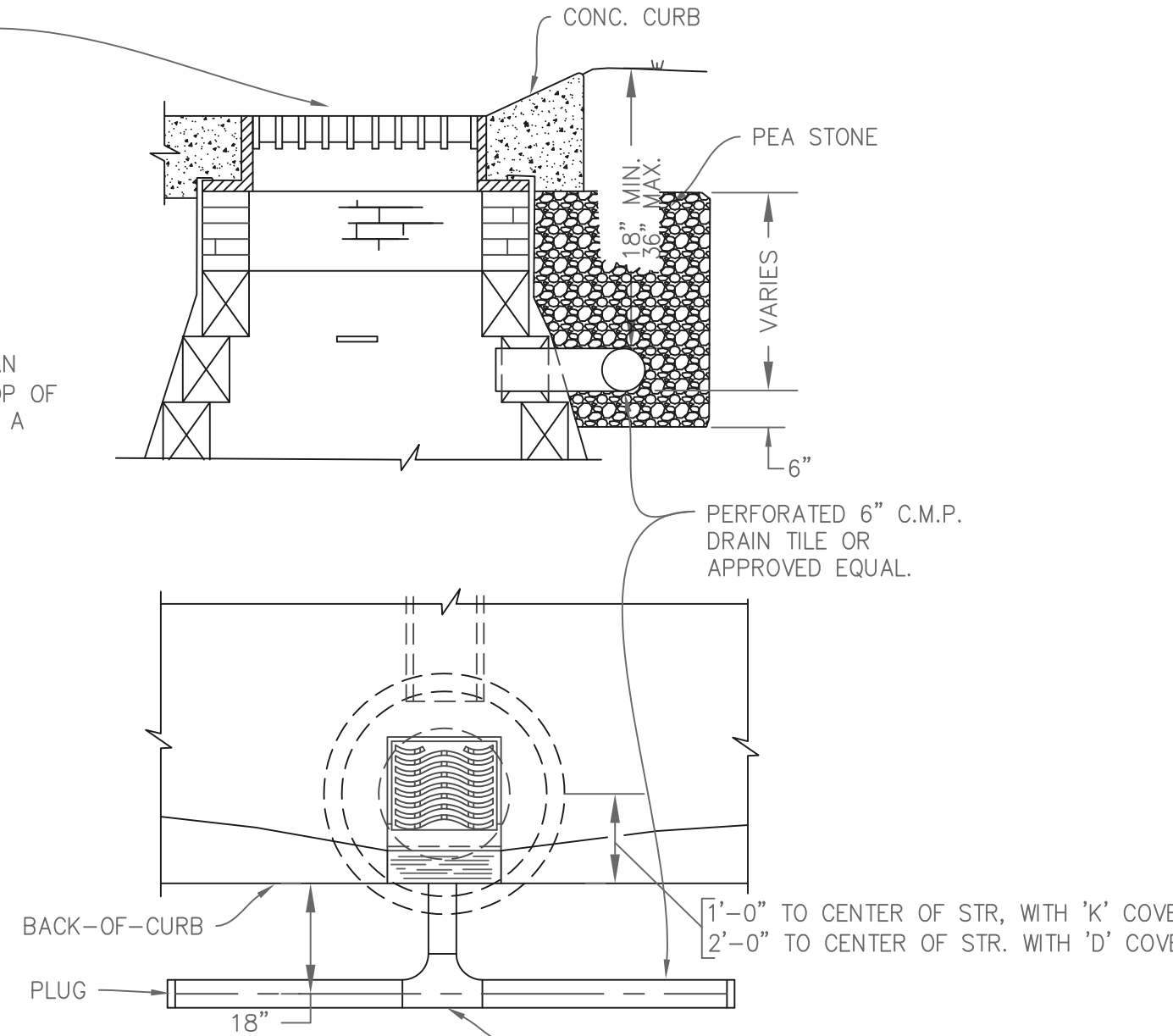
STORM SEWER FRAME & COVER E.J.I.W. NO. 1040 - MANHOLE 'C' COVER -



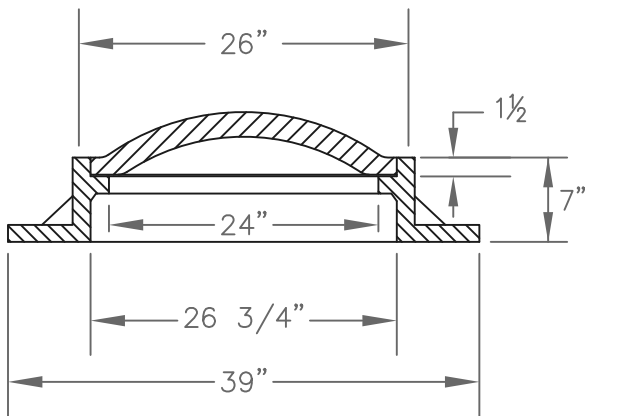
- NOTES:
1. LENGTH OF 6" EDGE DRAIN TO BE 10 FT. EACH WAY UNLESS OTHERWISE DETERMINED BY THE FIELD ENGINEER.
 2. EDGE DRAIN SHALL BE INSTALLED AT ALL CATCH BASINS & INLETS.
 3. 6" EDGE DRAIN TO BE CORRUGATED METAL PIPE WITH FOUR ROWS OF 5/16" DIA. PERFORATIONS, OR APPROVED EQUAL.

6" EDGE DRAIN

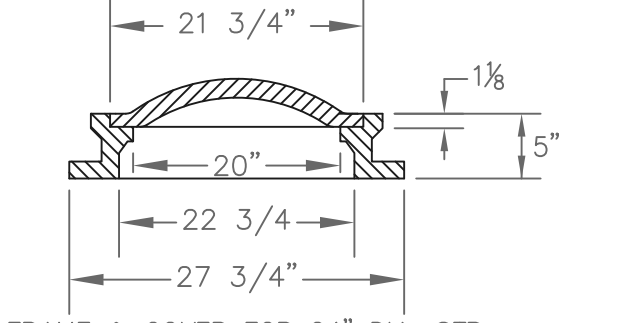
NO SCALE



- 'K' COVER -



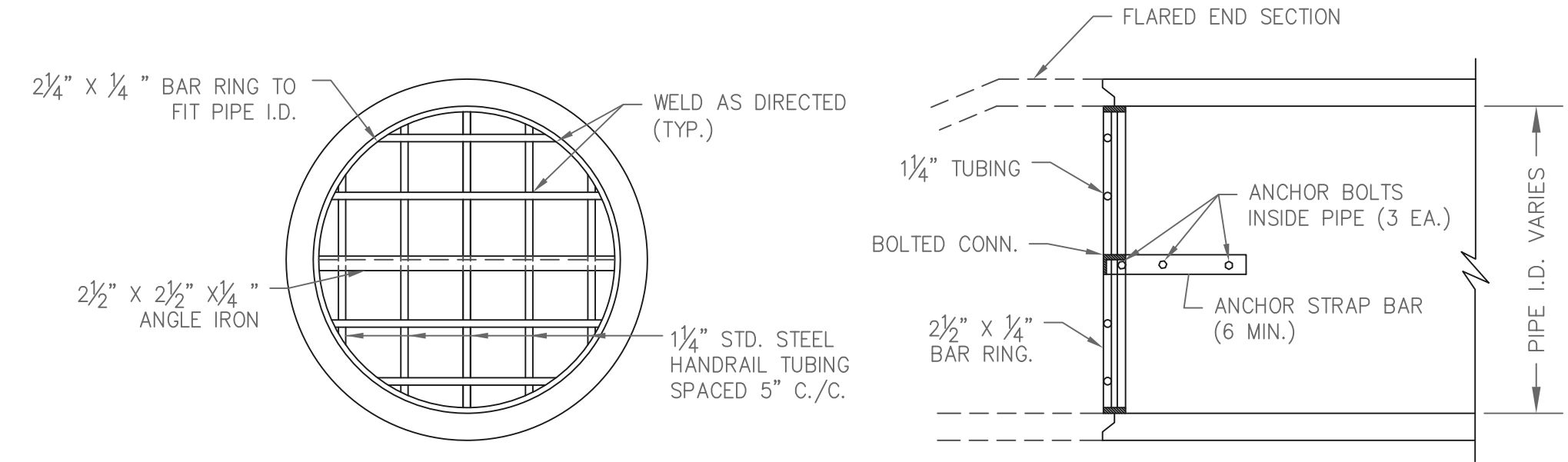
- 'N' COVER -



- 'N' COVER -

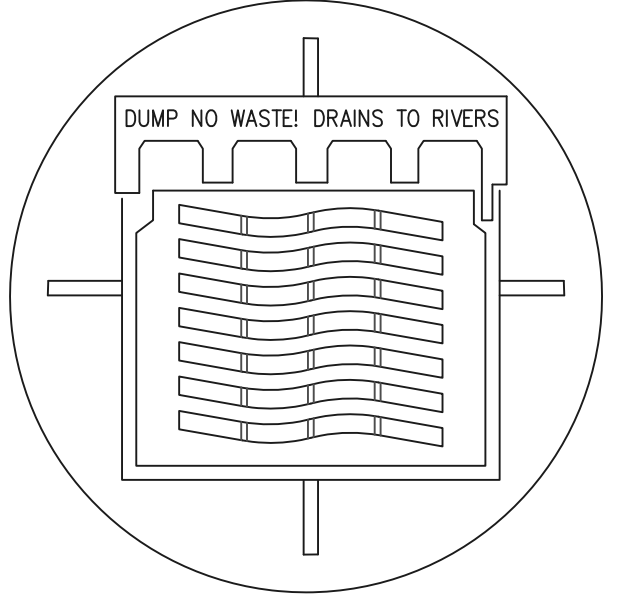
STORM STRUCTURE FRAME & COVER

NO SCALE



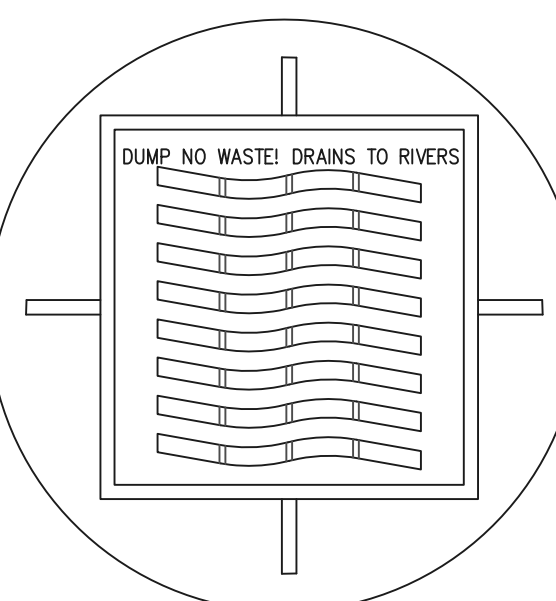
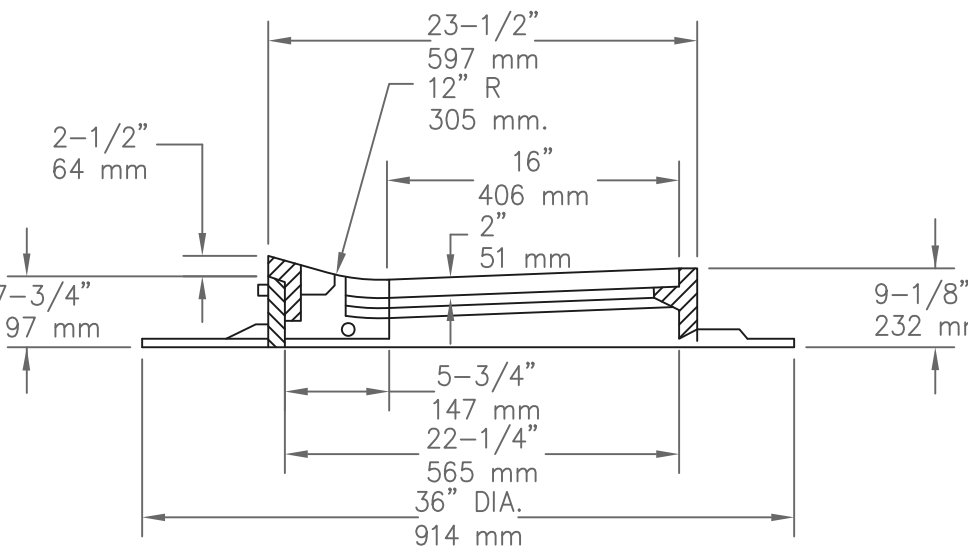
TYPICAL STEEL GRATE DETAIL

NO SCALE



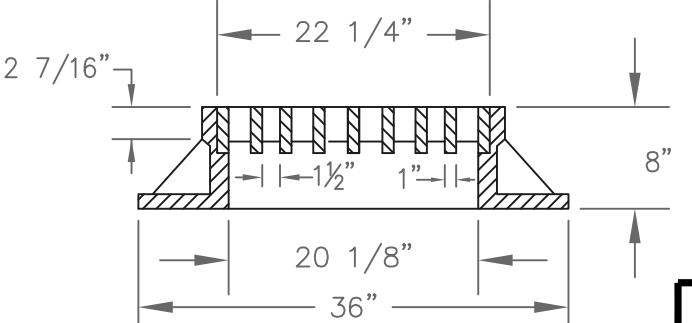
CATCH BASIN CURB INLET FRAME & COVER E.J.I.W. NO. 7065 ONLY AS PER PLAN

NO SCALE



FARMINGTON HILLS STANDARD CATCH BASIN & INLET FRAME & COVER E.J.I.W. NO. 5105

NO SCALE



NOTE: FOR TRENCH REQUIREMENTS SEE GENERAL STANDARD SHEET

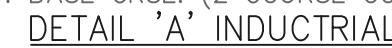
CITY OF FARMINGTON HILLS OAKLAND COUNTY, MI		ENGINEERING DIVISION	
STANDARD DETAIL DRAWINGS		JOB NO.	VERT. NA
SCALE: HORIZ. NA		SCALE: CADATOMIC	DATE: 7/1/13
DESIGNED BY: FH		CHECKED BY:	DATE:
APPROVED BY:		DATE:	
SHEET 1 OF 1		DIRECTOR, PUBLIC SERVICES DEPT.	



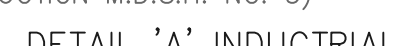
Plan view of a proposed concrete pavement section. The diagram shows a cross-section of a road with various layers and dimensions. Key features include:

- Dimensions:**
 - 2'-0" = 6'-0" (Total width of the proposed pavement varies)
 - 25'-6" STANDARD PAVEMENT WIDENING
 - 24'-0" STANDARD PAVEMENT WIDTH
 - 5'-0" - 8'-0" 8" DEPTH SHDLR. MATERIAL AS SPECIFIED
 - 5' WD. SIDEWALK AS REQUIRED
 - 1'-0" (TYP.)
 - 1/4"/FT.
- Construction Details:**
 - PROPOSED PAVEMENT VARIES
 - EX. PAVEMENT VARIES
 - EX. PAVEMENT VARIES @ EX. PAVEMENT
 - PROPOSED CURB & GUTTER (SEE DETAIL)
 - PROPOSED CONCRETE PAVEMENT (SEE DETAIL 'A' & 'B')
 - SAWCUT & REMOVE 1'-0" WD. BIT. FOR BUTT JOINT
 - 2.00% (Slope)
 - 2.00% MIN.
 - 5.00%
 - BUTT JOINT SOD
 - SUB-GRADE TO BE COMPACTED TO 95%
 - BITUMINOUS PRIME COAT (MS-OP)(INCIDENTAL)
 - HOOK BOLT - 40" O.C. (SEE DETAIL)
 - WIDENING OFF CONC. PAVEMENT
 - WIDENING OFF BIT. PAVEMENT
 - BITUMINOUS PRIME COAT (MS-OP)(INCIDENTAL)
 - CURB & GUTTER SECTION IS REQUIRED WITH ENCLOSED DRAINAGE WHEN EXISTING RIGHT OF WAY IS INSUFFICIENT TO ACCOMMODATE THE WIDENING WITH SHOULDER, DITCH DRAINING & SIDEWALK CONSTRUCTION.
- Other Labels:**
 - R/W
 - RIGHT-OF-WAY VARIES

BITUMINOUS WIDENING SECTION NO. 3



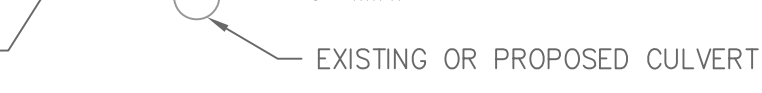
DETAIL 'B' PARKING LOT



DETAIL 'B' RESIDENTIAL



BITUMINOUS
AGGREGATE PAVEMENT BASE REPAIR
NO SCALE



CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MI

STANDARD DETAIL DRAWINGS

ASPHALT PAVING STANDARDS

SHEET 1 OF 1

ENGINEERING DIVISION

JOB NO.	
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SCALE: HORIZ. NA	VERT. NA
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DRAWN: CADATOMIC DATE: 7 / 1 / 1

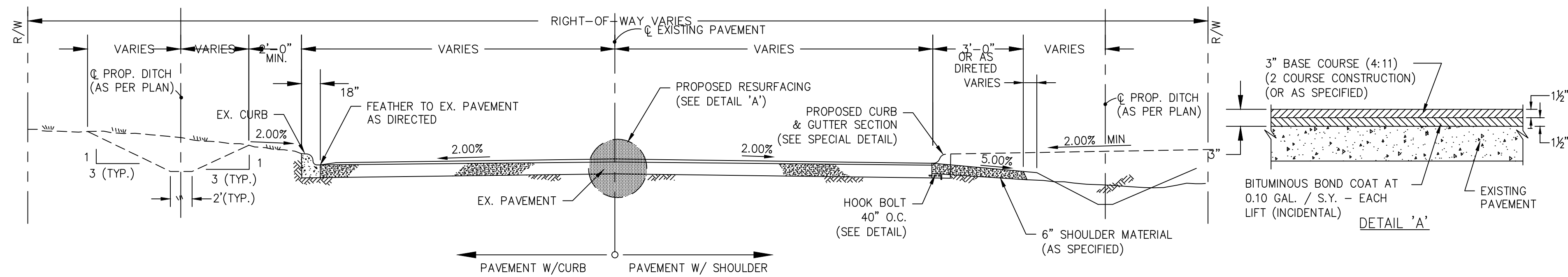
DESIGNED BY: FH DATE: 7/1/1

CHECKED BY: _____ DATE: _____

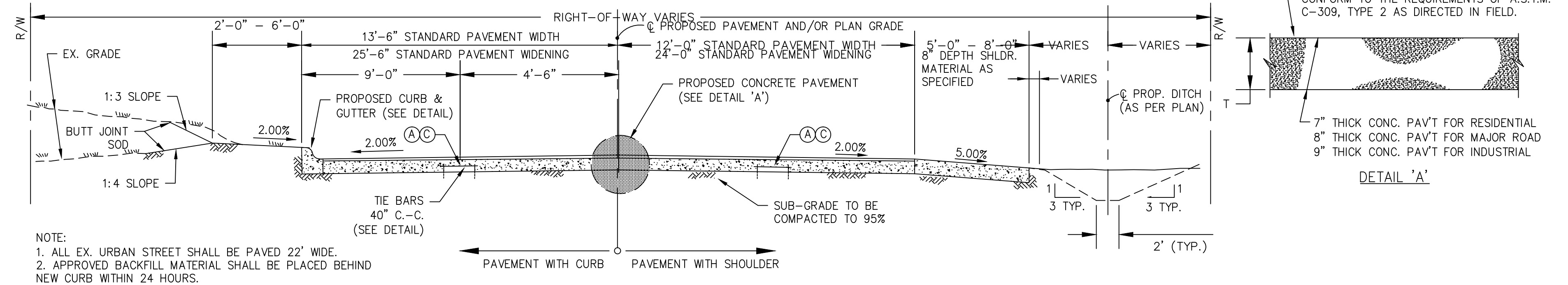
APPROVED BY: _____ DATE: _____

APPROVED BY:	DATE:
_____	_____

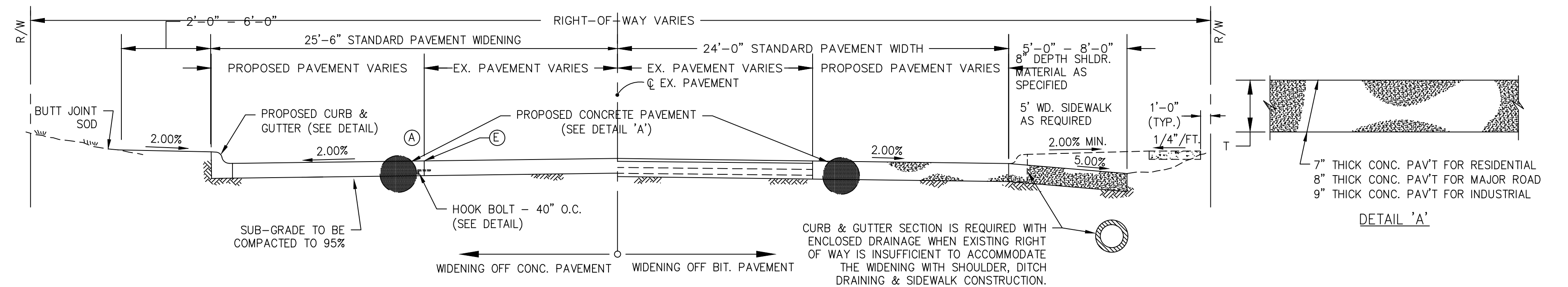
DIRECTOR, PUBLIC SERVICES DEPT.



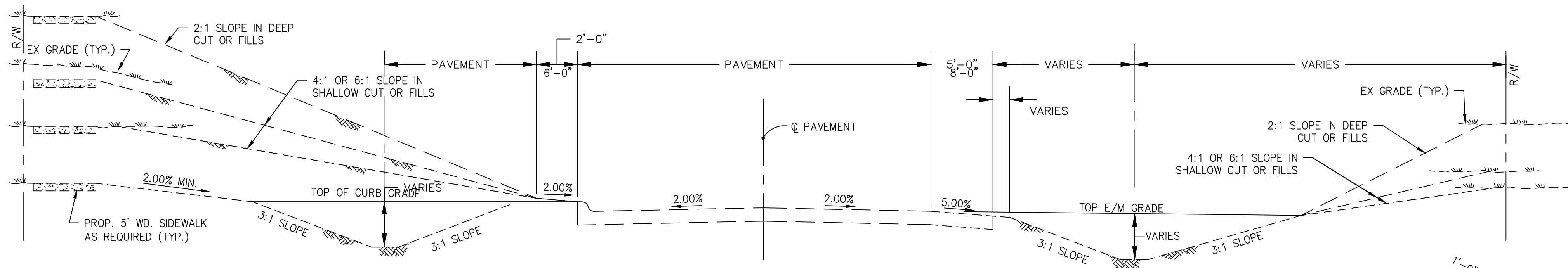
PAVEMENT RESURFACING SECTION NO. 1
NO SCALE



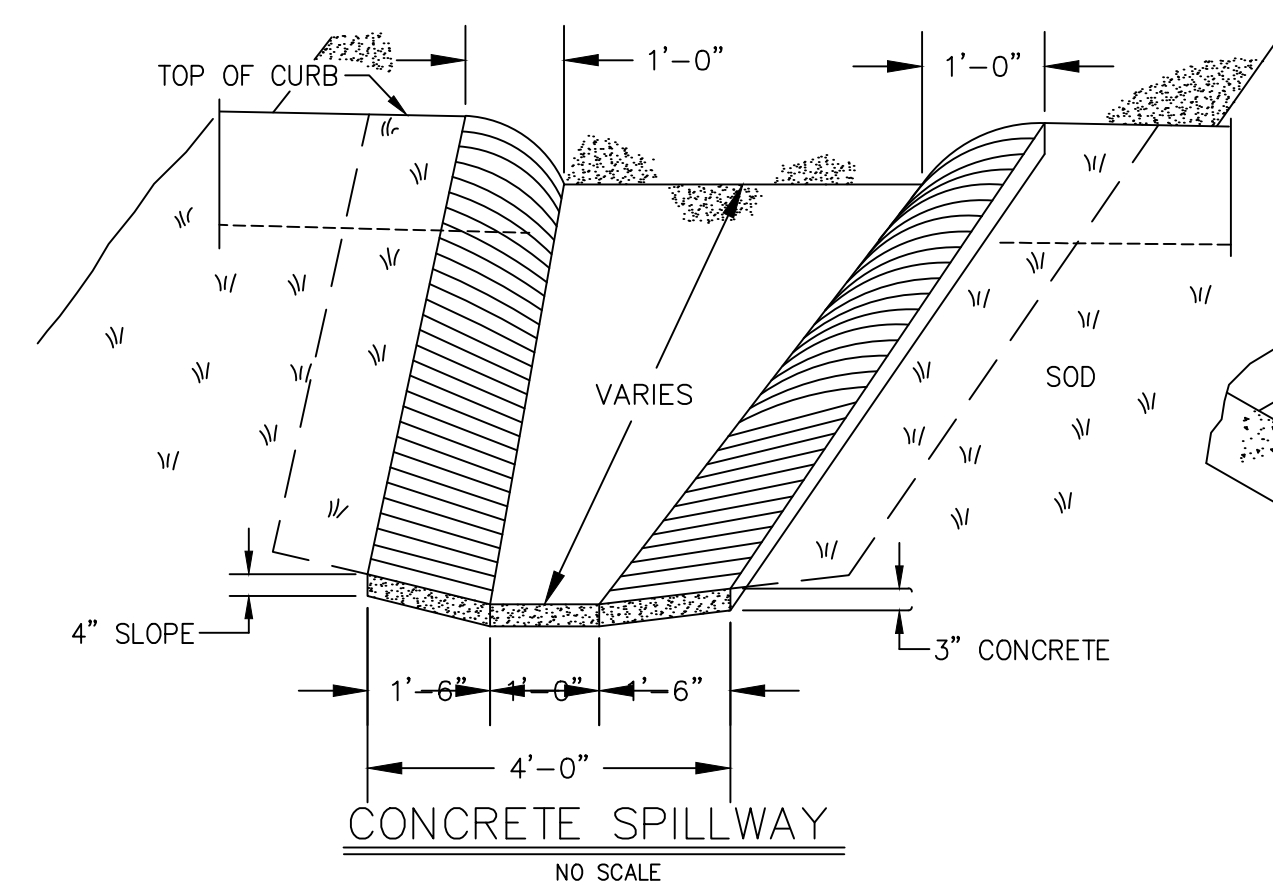
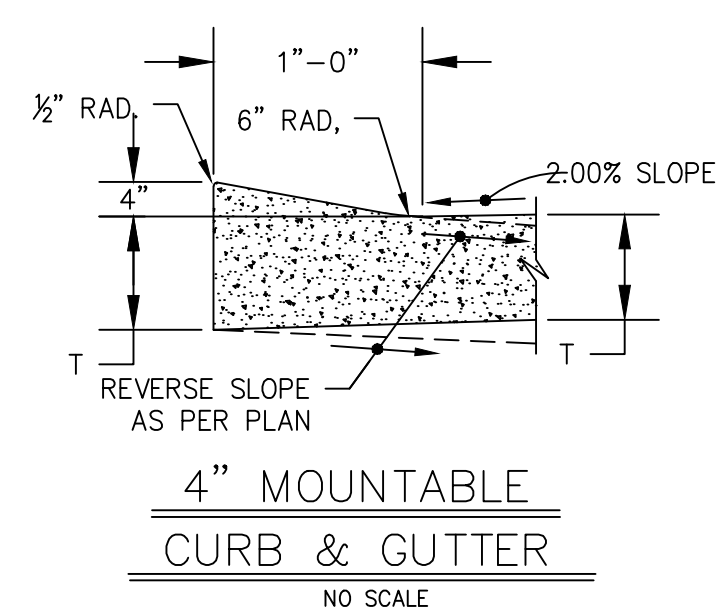
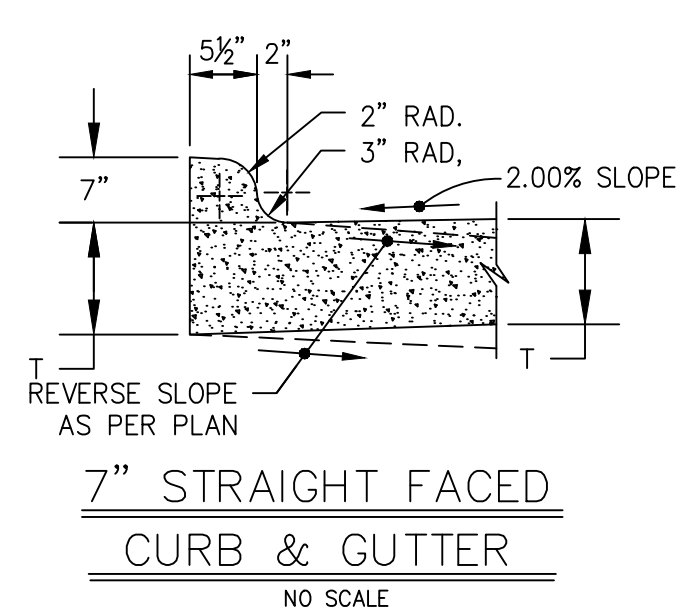
CONCRETE PAVEMENT SECTION NO. 2
NO SCALE



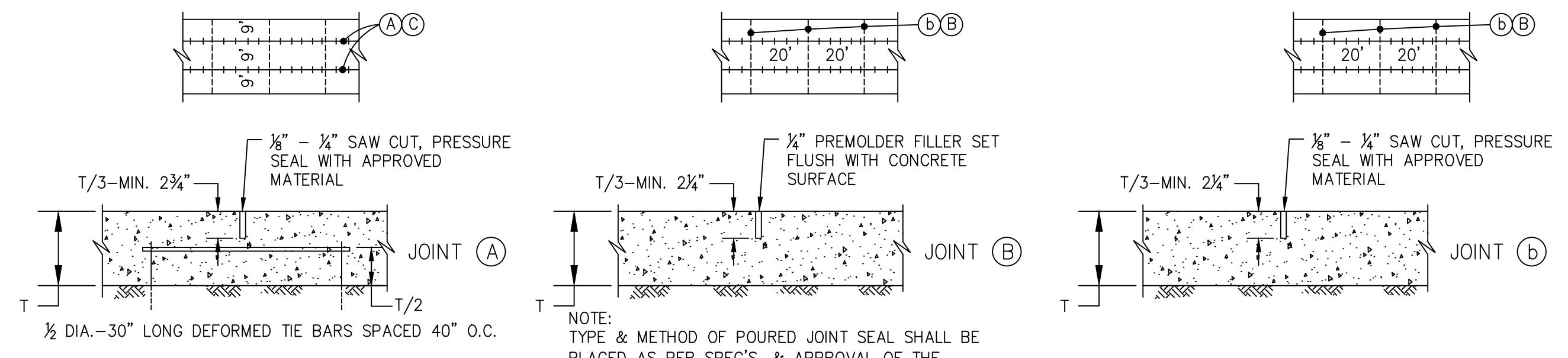
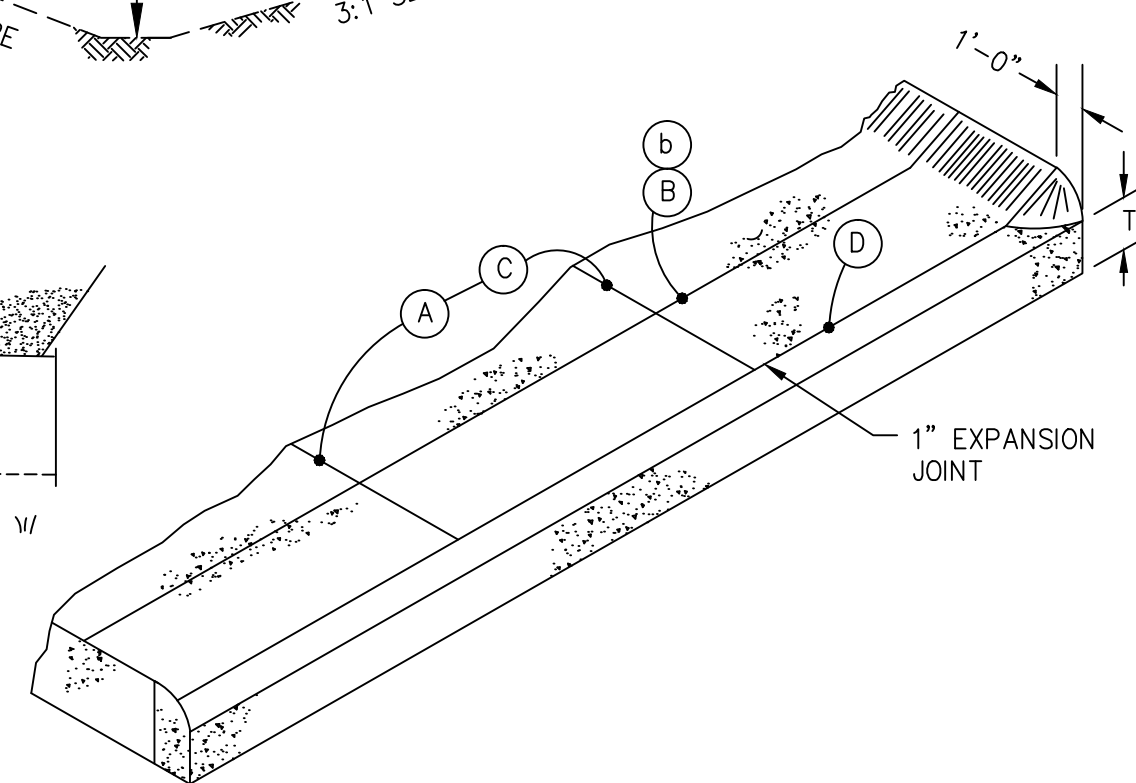
CONCRETE WIDENING SECTION NO. 3
NO SCALE



PAVEMENT SIDE SLOPES
NO SCALE



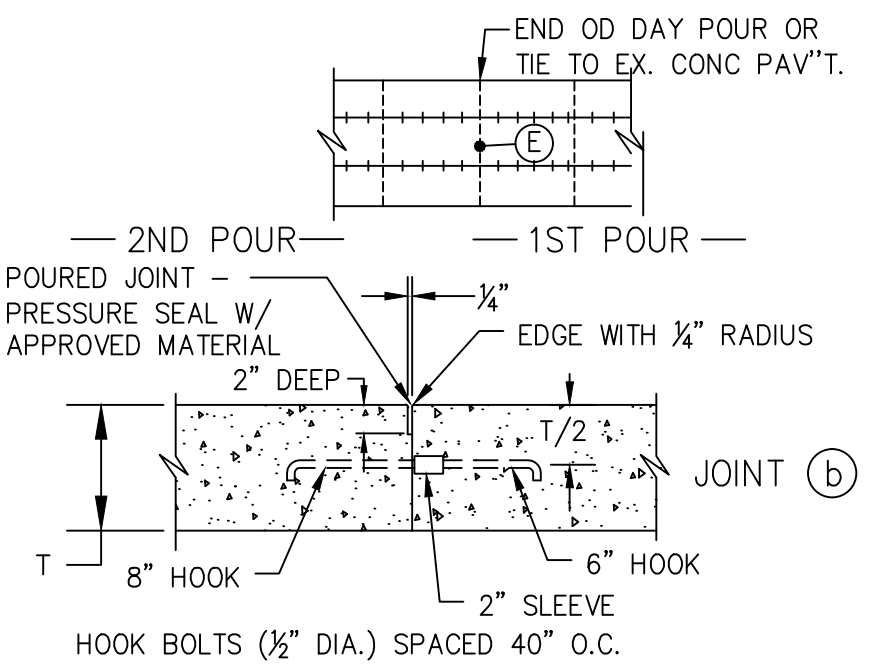
1' WIDE CONCRETE END HEADER
NO SCALE



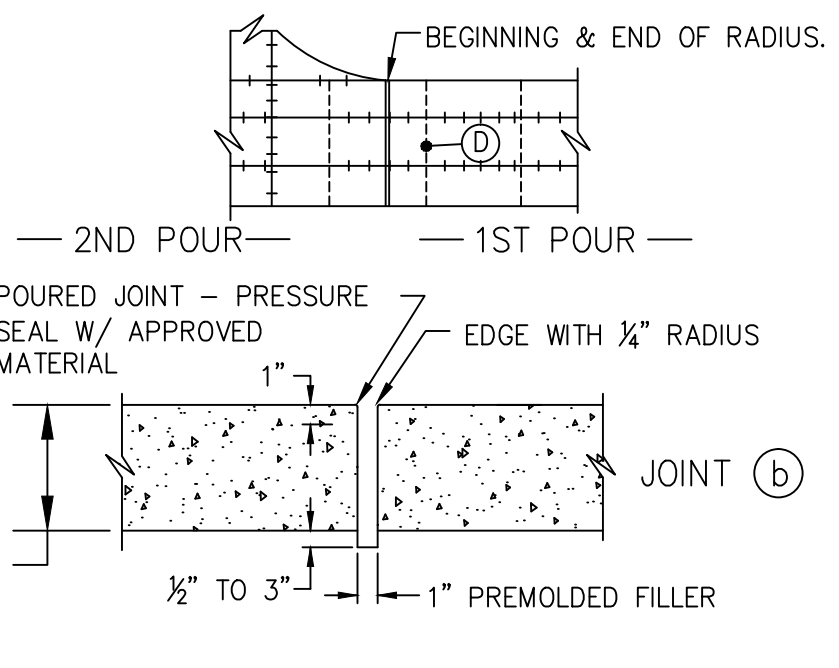
LONGITUDINAL CONTRACTION JOINT
NO SCALE

PREMOLDED CONTRACTION JOINT
NO SCALE

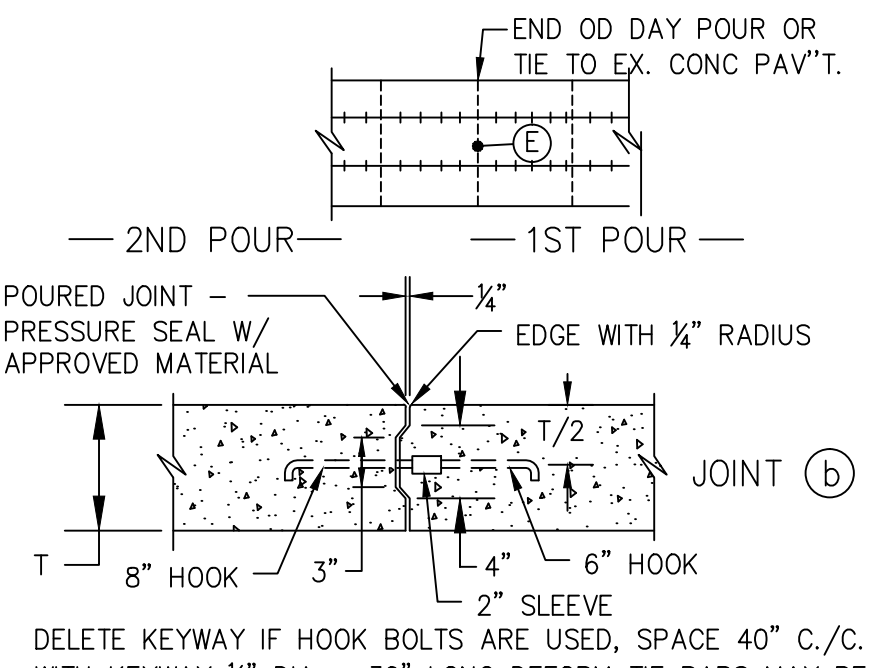
SAWED CONTRACTION JOINT
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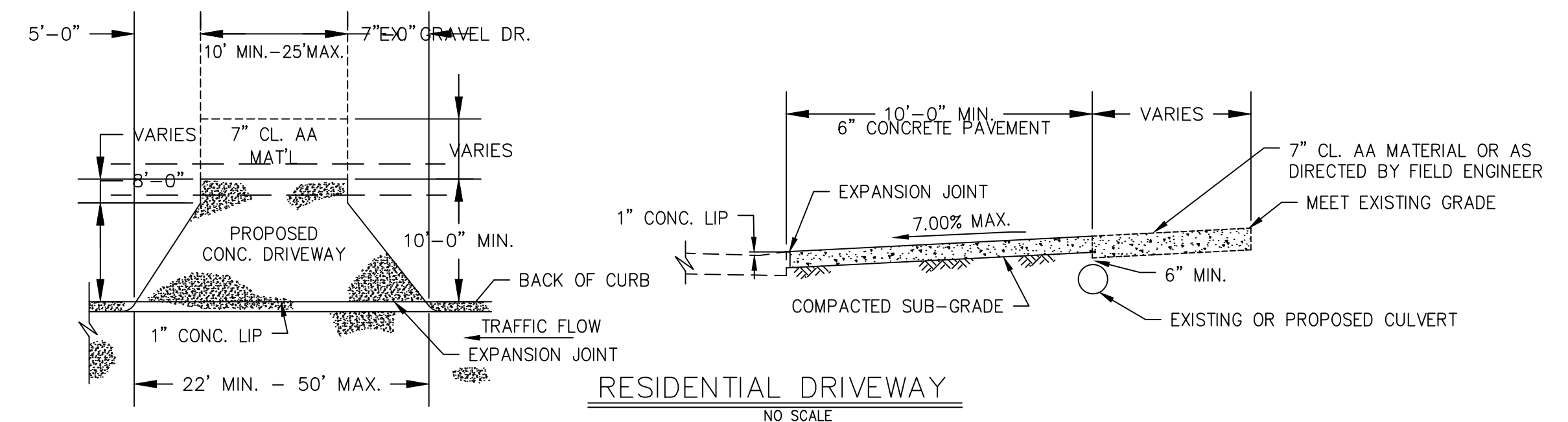
LONGITUDINAL CONSTRUCTION JOINT
NO SCALE



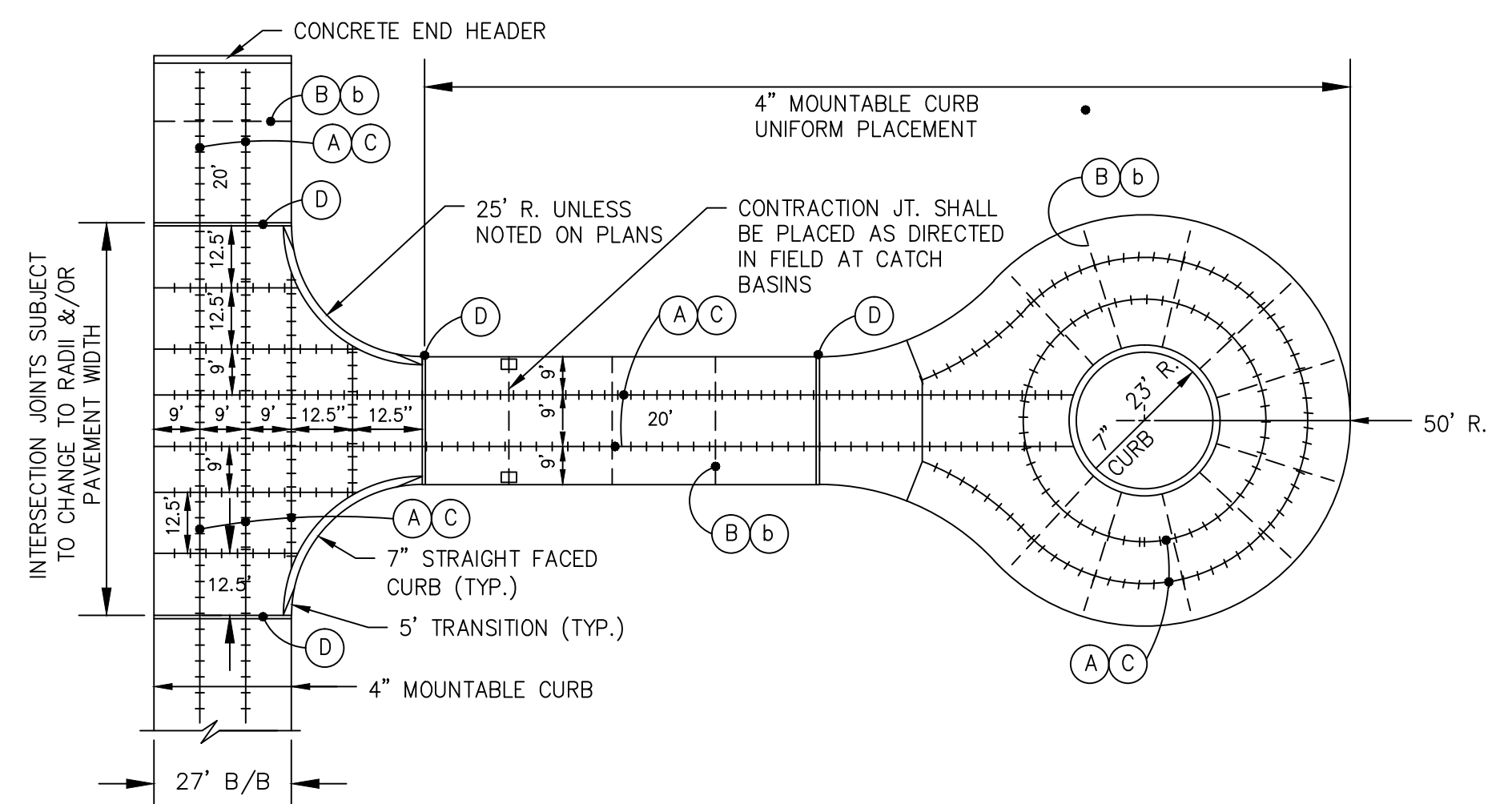
EXPANSION JOINT
NO SCALE



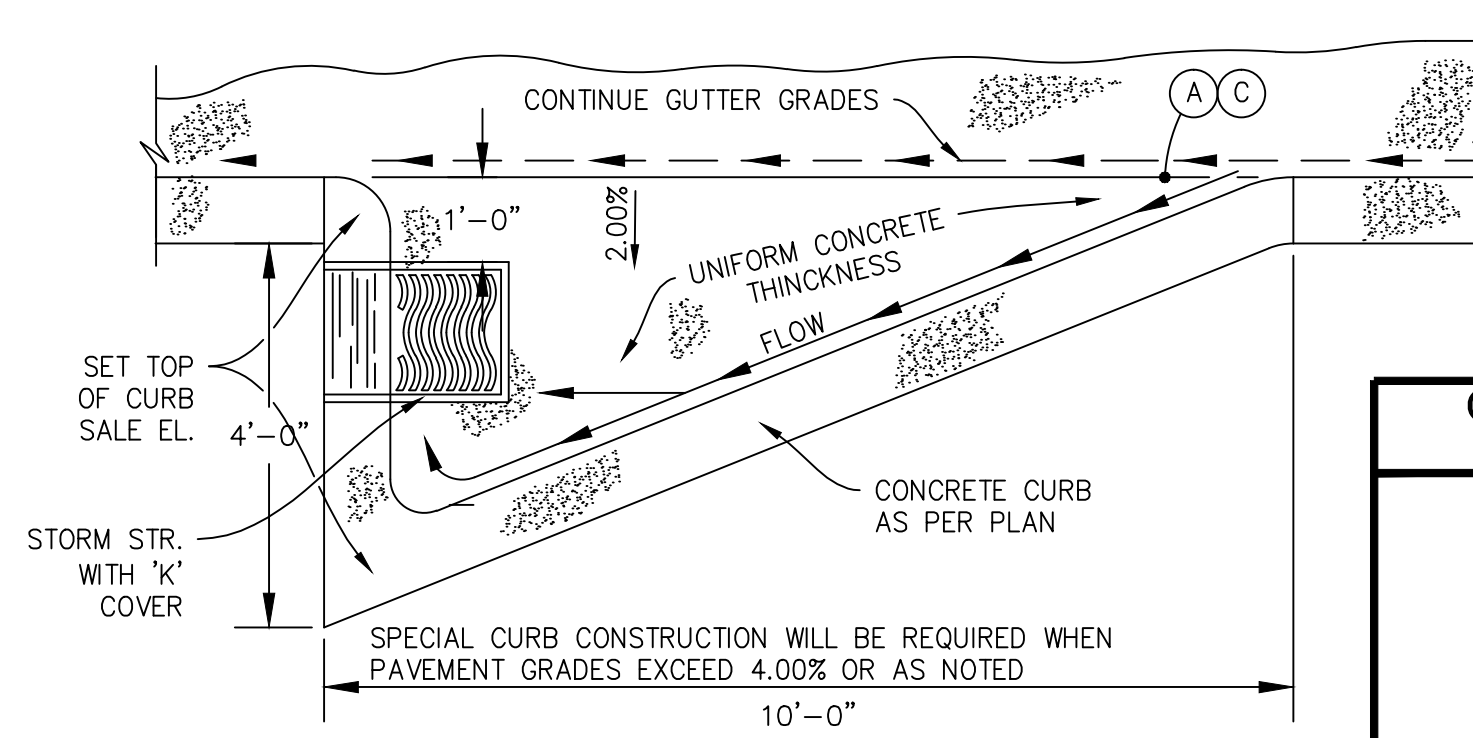
TRANSVERSE CONSTRUCTION JOINT
NO SCALE



RESIDENTIAL DRIVEWAY
NO SCALE

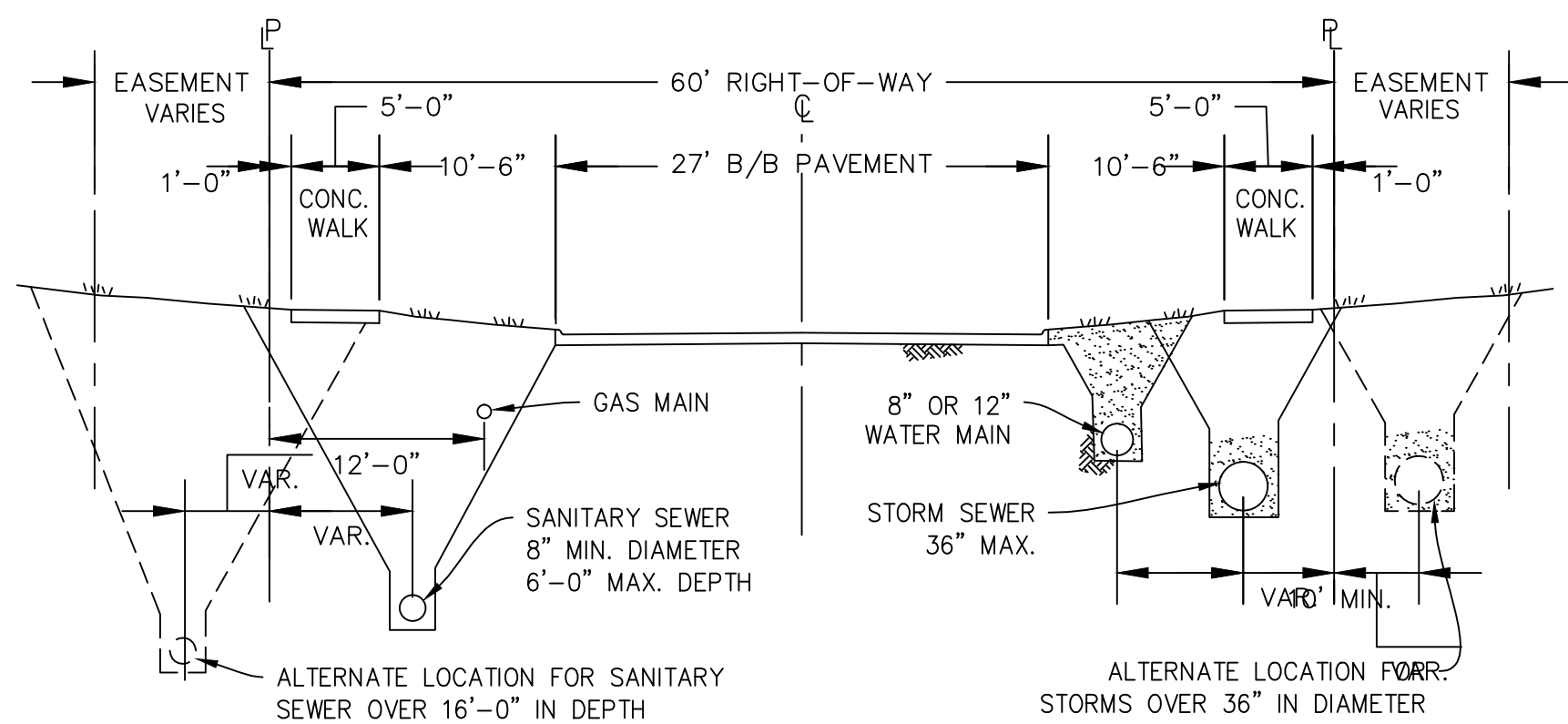


CONCRETE PAVEMENT JOINTS
NO SCALE



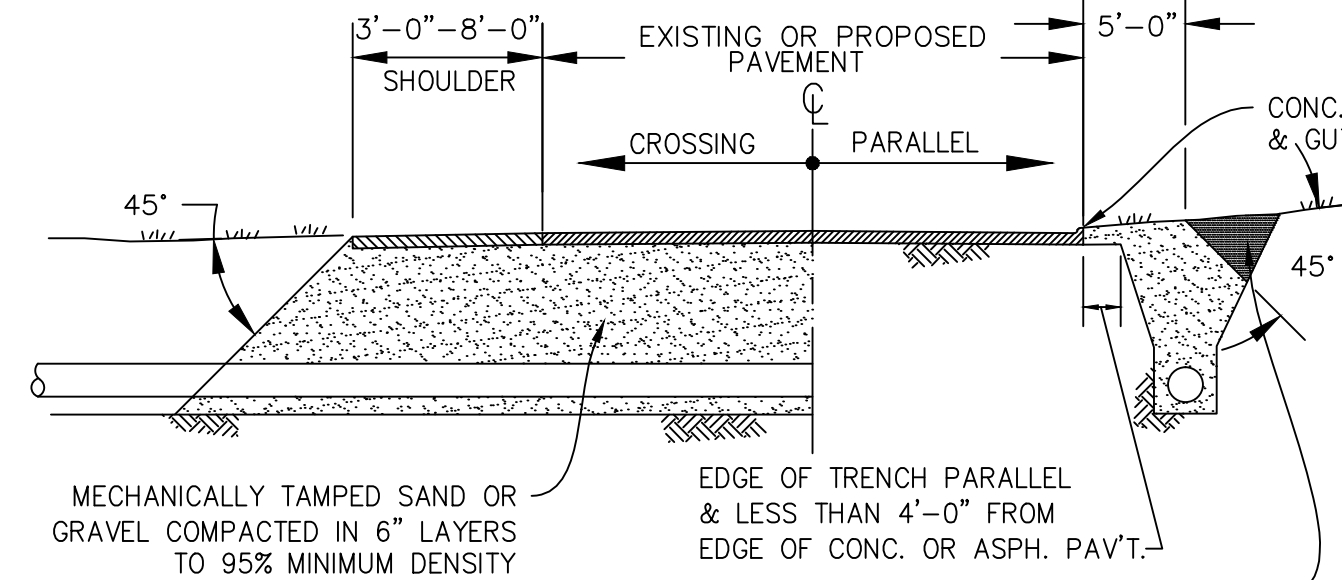
SPECIAL CURB SECTION 'A'
NO SCALE

CITY OF FARMINGTON HILLS OAKLAND COUNTY, MI		ENGINEERING DIVISION	
STANDARD DETAIL DRAWINGS		JOB NO.	VERT. NA
SCALE: HORIZ. NA		DATE: 7/1/13	DATE: 7/1/13
DRAWN: CADATOMIC		CHECKED BY: FH	DATE: 7/1/13
DESIGNED BY: FH		APPROVED BY: DATE:	DATE:
CONCRETE PAVING STANDARDS		DIRECTOR, PUBLIC SERVICES DEPT.	



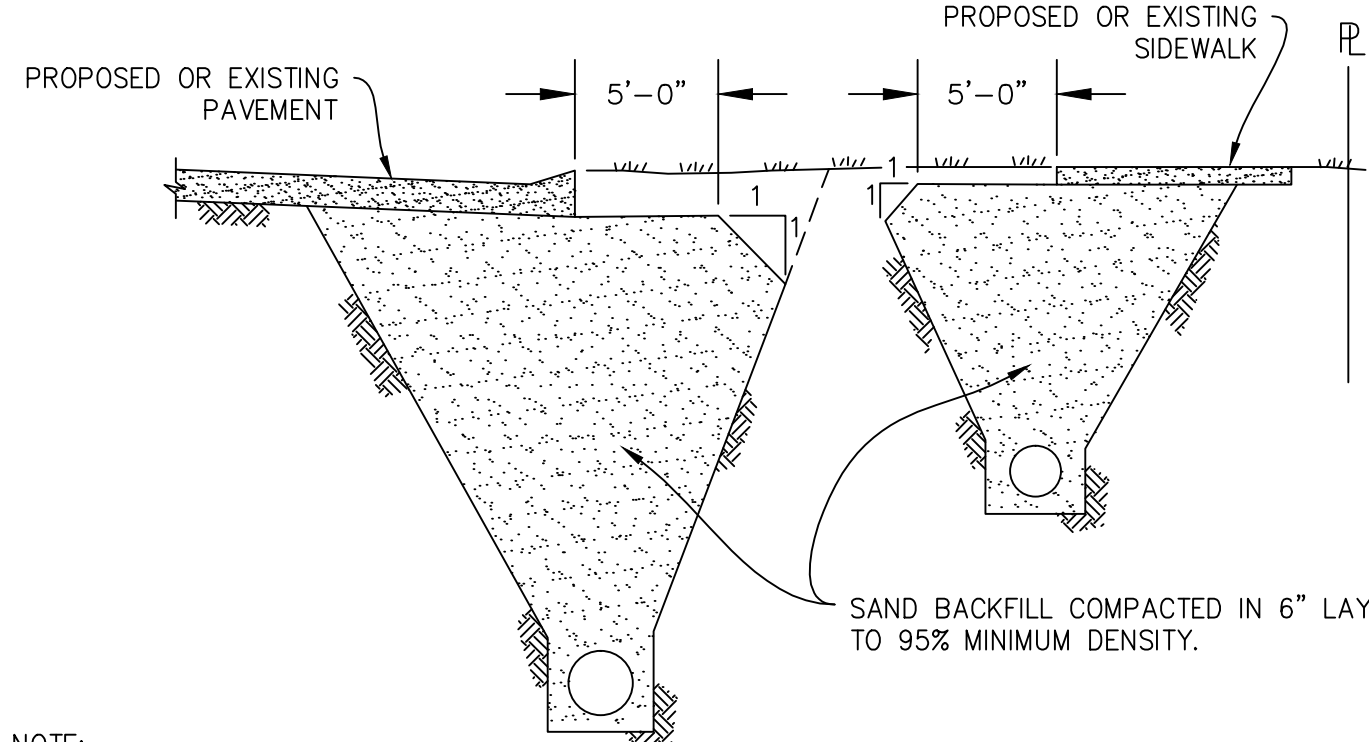
TYPICAL SECTION FOR SUBDIVISION LOCAL ROAD R.O.W.

NO SCALE
MINIMUM SAND OR GRAVEL BACKFILL UNDER EX. OR PROP. PAVEMENTS, SIDEWALKS, DRIVEWAYS AND PARKING LOTS



SAND BACKFILL DETAIL

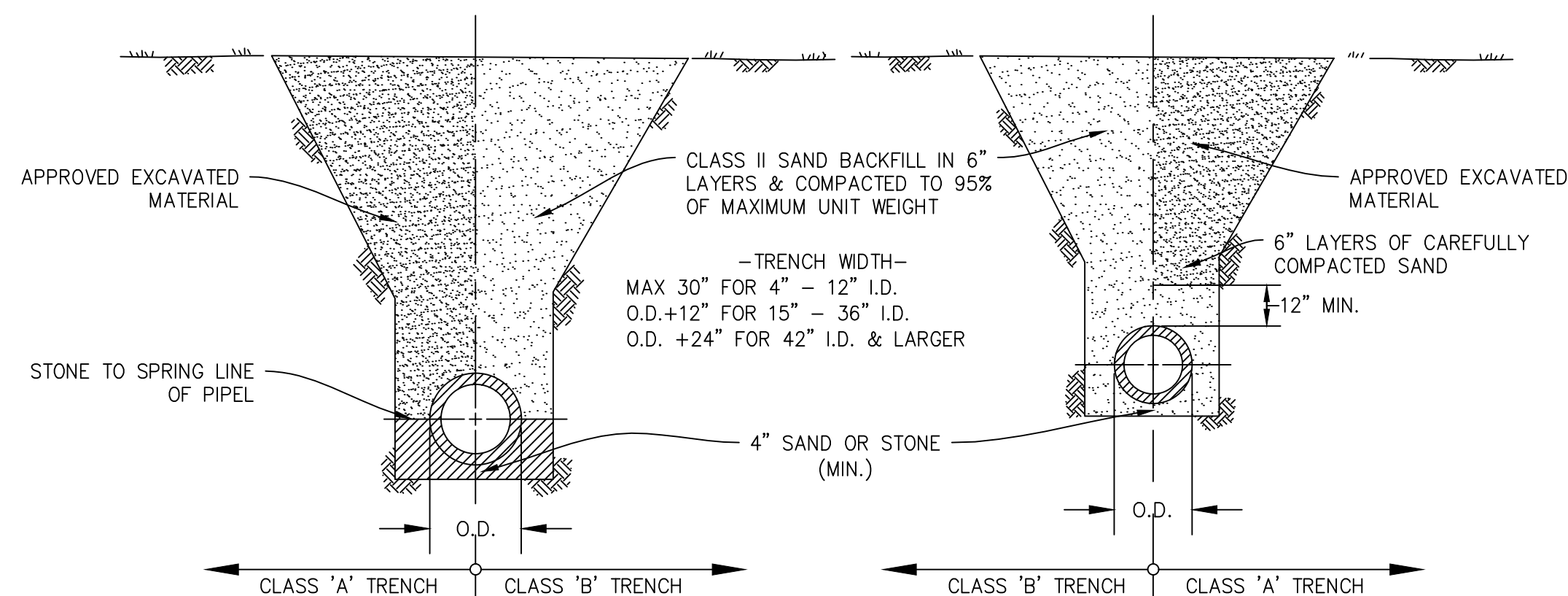
NO SCALE



NOTE: SAND BACKFILL REQUIRED UNDER ALL PROPOSED OR EXISTING PAVED AREAS AND EXTENDING 5'-0" BEYOND THE EDGE OF THE SLAB THAN TAPERING AT 1 ON 1 SLOPE TO ORIGINAL GROUND.

SAND BACKFILL UNDER PAVED AREAS

NO SCALE



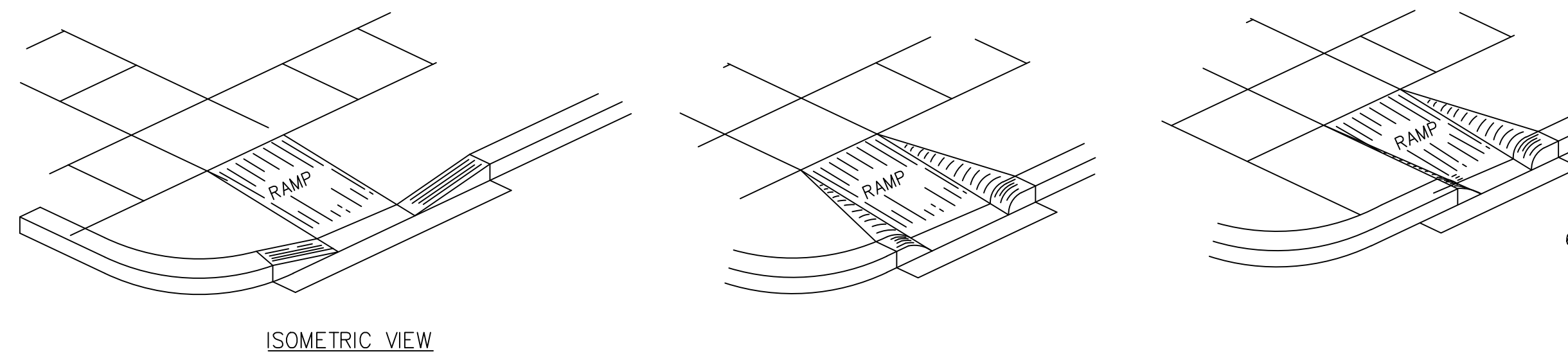
PIPE 30" AND OVER

PIPE 27" AND UNDER

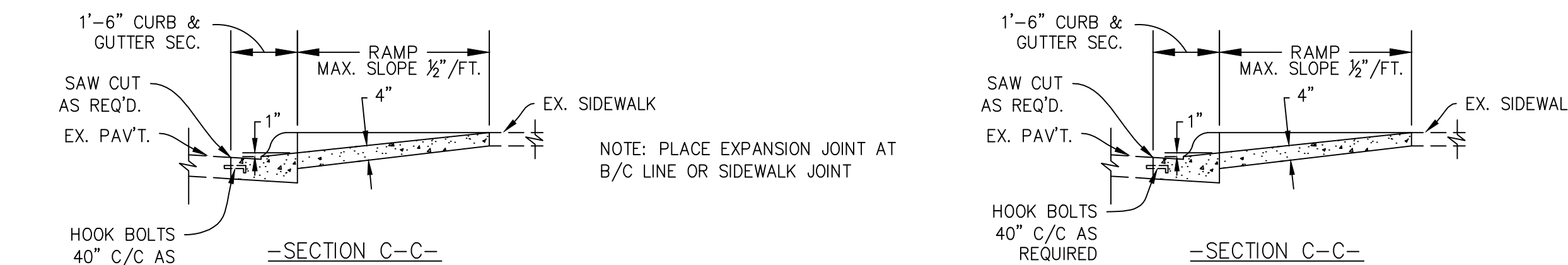
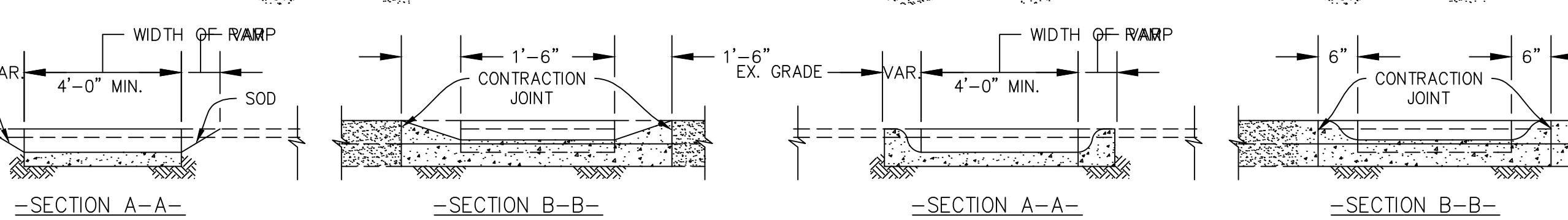
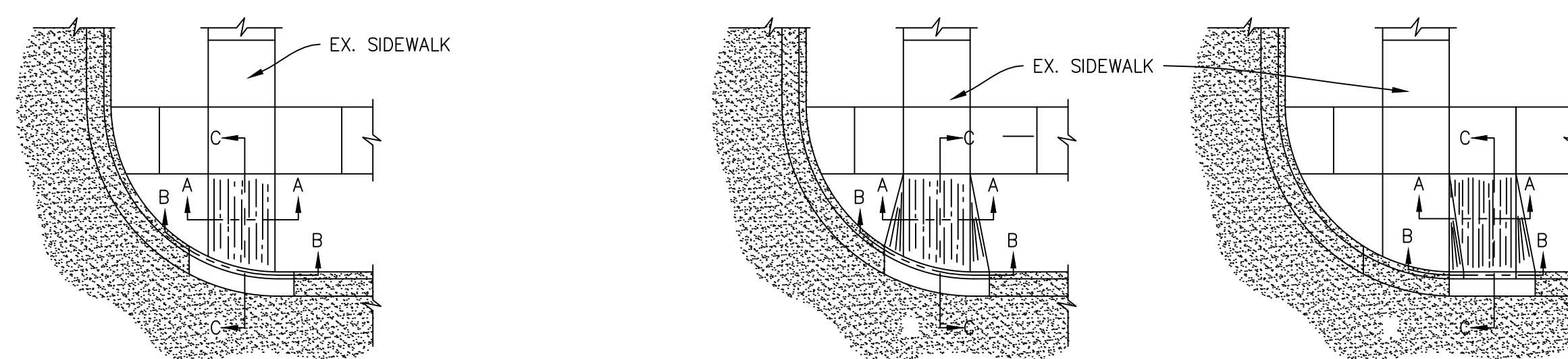
NOTE: APPROVAL MAY BE GIVEN TO MATERIAL EQUAL OR BETTER THAN CL. II SAND & METHODS TO ACHIEVE CL. 'A' OR CL. 'B' BEDDING

SEWER PIPE TRENCH DETAILS

NO SCALE



ISOMETRIC VIEW



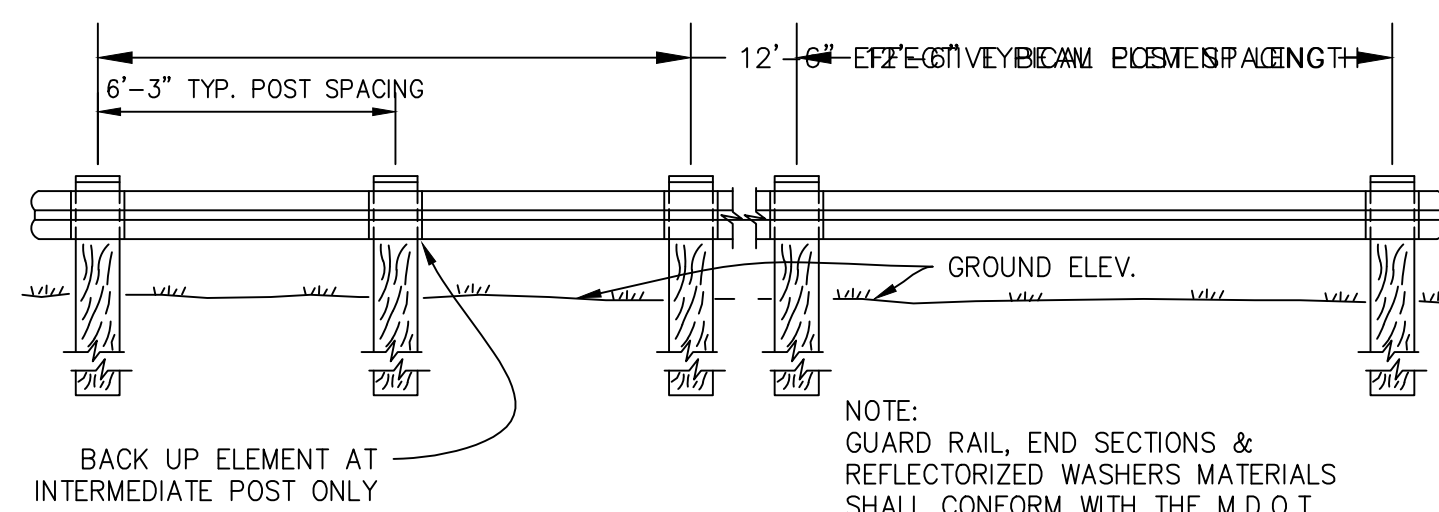
TYPE I-A

TYPE I

TYPE 2

SIDEWALK RAMPS

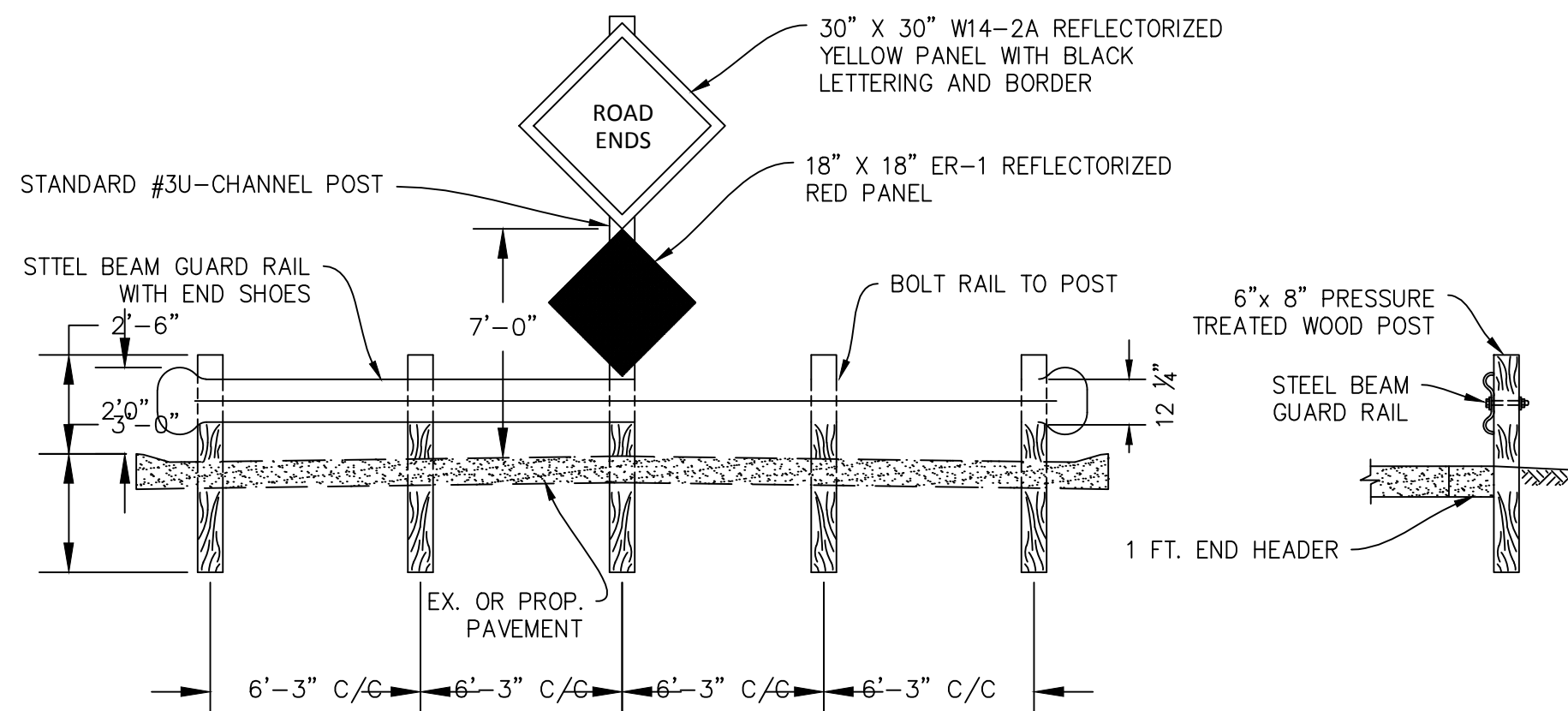
NO SCALE



NOTE: GUARD RAIL, END SECTIONS & REFLECTORIZED WASHERS MATERIALS SHALL CONFORM WITH THE M.D.O.T. STANDARDS (II-60C) (TYPE 'B')

BEAM GUARD RAIL TYPE 'B'

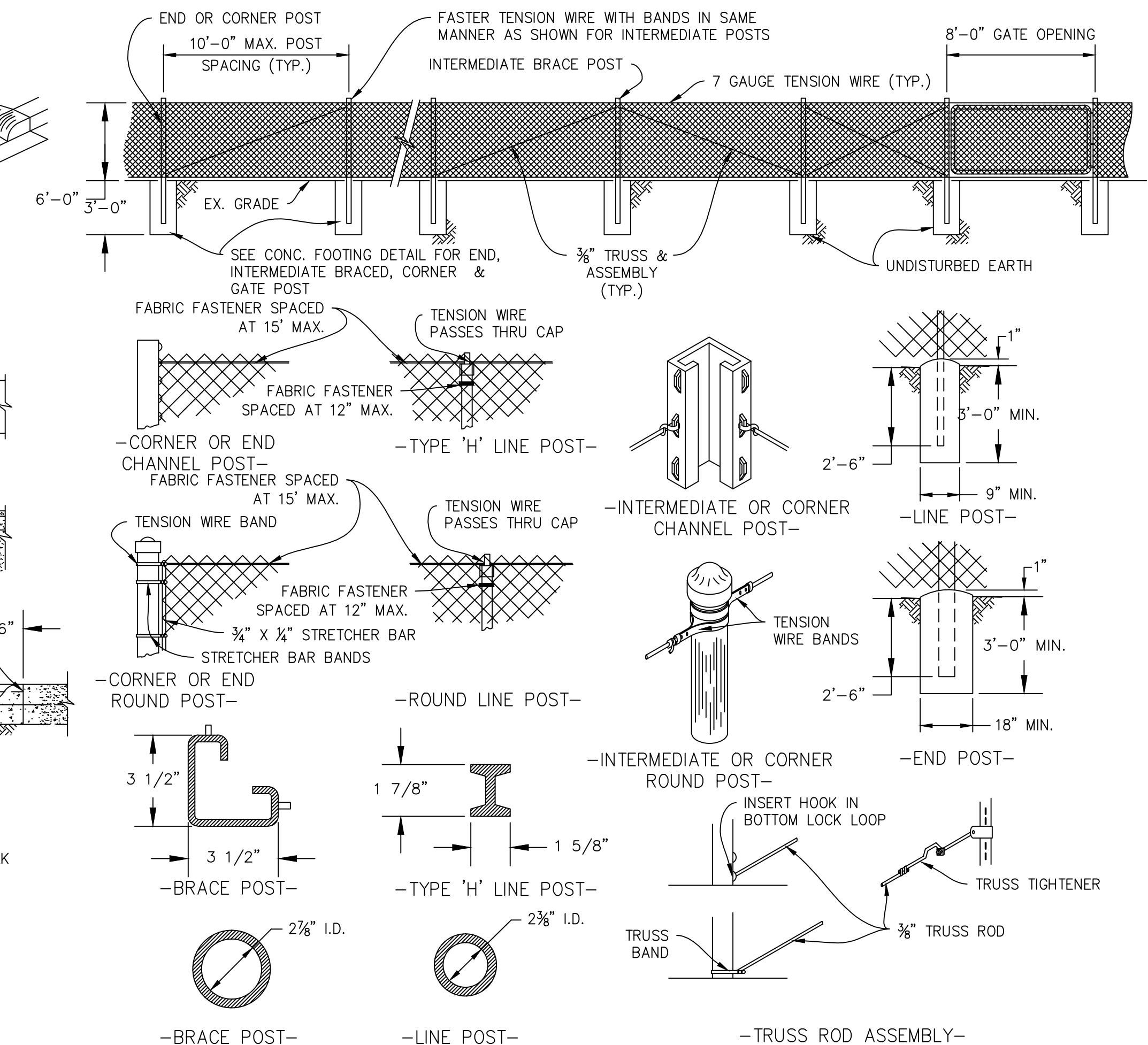
NO SCALE



NOTES:
1. X6X9 STEEL POST MAY REPLACE WOOD POSTS.
2. CHANNEL TO BE BOLTED TO POSTS.
3. GUARD RAIL AND FITTINGS TO CONFORM TO M.D.O.T. STANDARDS

ROAD END STEEL BEAM GUARD RAIL & SIGNING

NO SCALE



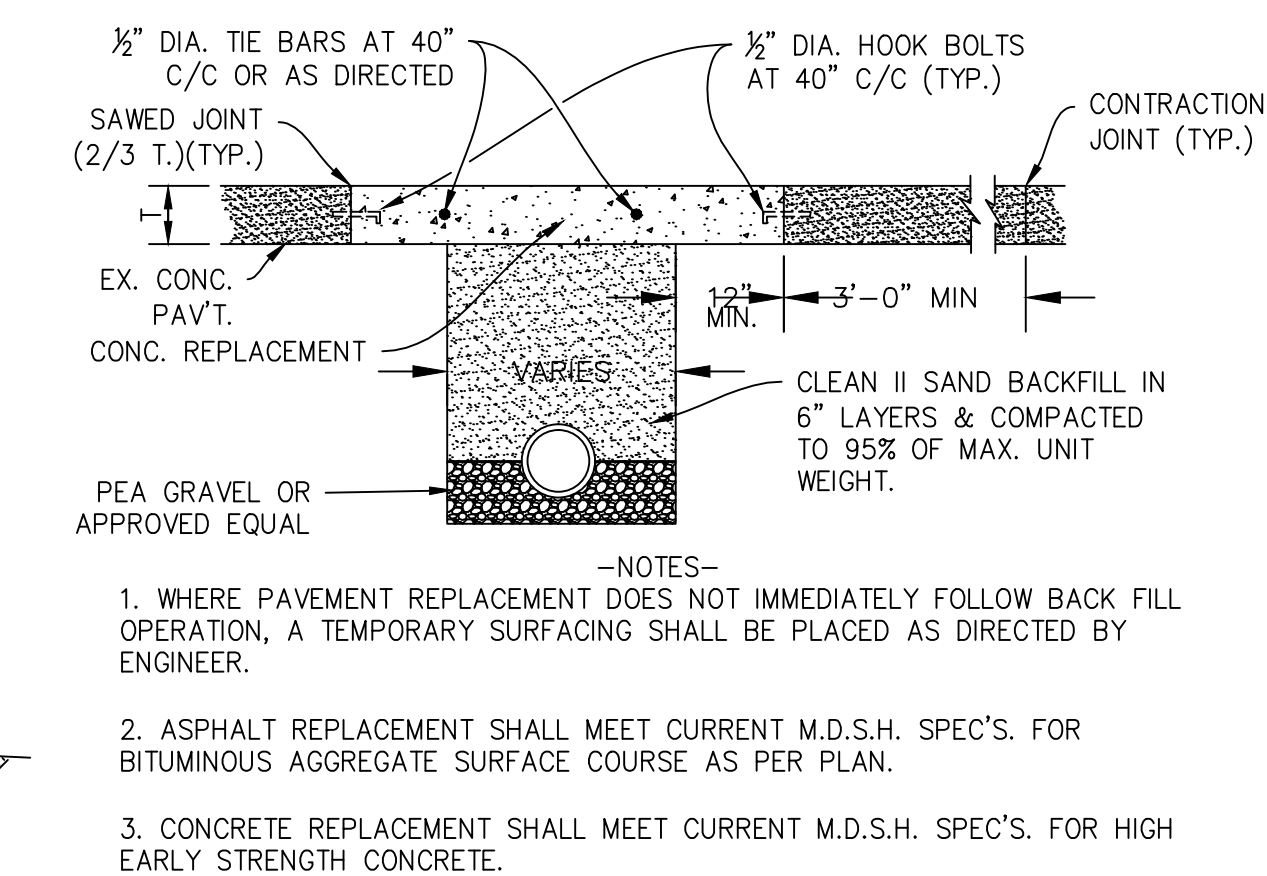
NOTES:

- INTERMEDIATE BRACED POSTS SHALL BE PLACED AT 660 FT. INTERVALS OR MIDWAY BETWEEN END AND CORNER POSTS, WHEN THE DISTANCE IS LESS THAN 1320 FT. AND MORE THAN 660 FT.
- TENSION WIRE WILL BE STRETCHED TAUT.
- TOP & BOTTOM SELVAGES OF FENCE FABRIC SHALL HAVE A KNUCKLED FINISH.
- ALTERNATE MATERIALS MAY BE USED WITH THE APPROVAL OF THE CITY ENGINEER.

- FENCE FABRIC SHALL BE FASTENED TO TOP TENSION WIRE AND TO EACH POST.
- IF HOG RINGS ARE USED, THEY SHALL BE 12 GAUGE IF TIGHTLY CRIMPED ABOUT BOTH THE TENSION WIRE AND THE FABRIC WIRE, OR 11 GAUGE IF UNCRIMPED.
- TENSION WIRE WILL BE 7 GAUGE.

CHAIN LINK FENCE AND POST CONSTRUCTION

NO SCALE



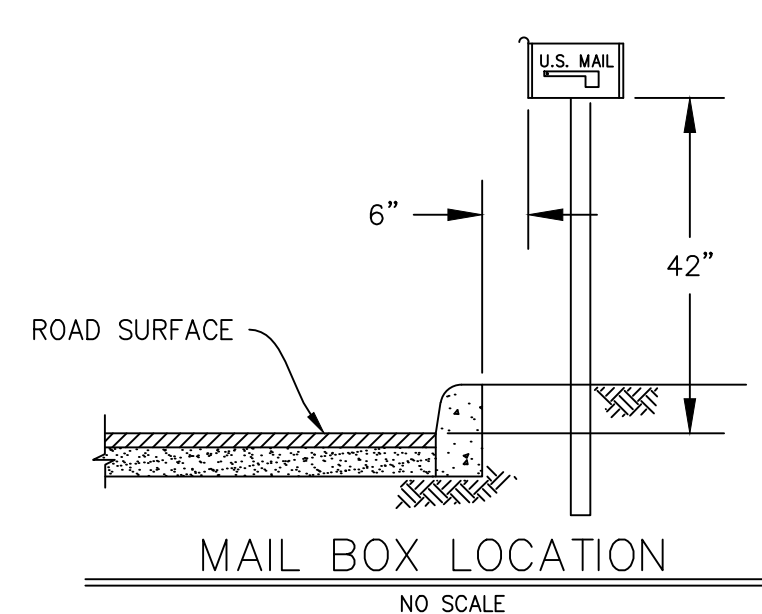
- NOTES:
- WHERE PAVEMENT REPLACEMENT DOES NOT IMMEDIATELY FOLLOW BACK FILL OPERATION, A TEMPORARY SURFACING SHALL BE PLACED AS DIRECTED BY ENGINEER.
 - ASPHALT REPLACEMENT SHALL MEET CURRENT M.D.S.H. SPEC'S. FOR BITUMINOUS AGGREGATE SURFACE COURSE AS PER PLAN.
 - CONCRETE REPLACEMENT SHALL MEET CURRENT M.D.S.H. SPEC'S. FOR HIGH EARLY STRENGTH CONCRETE.

PAVEMENT REPLACEMENT

NO SCALE

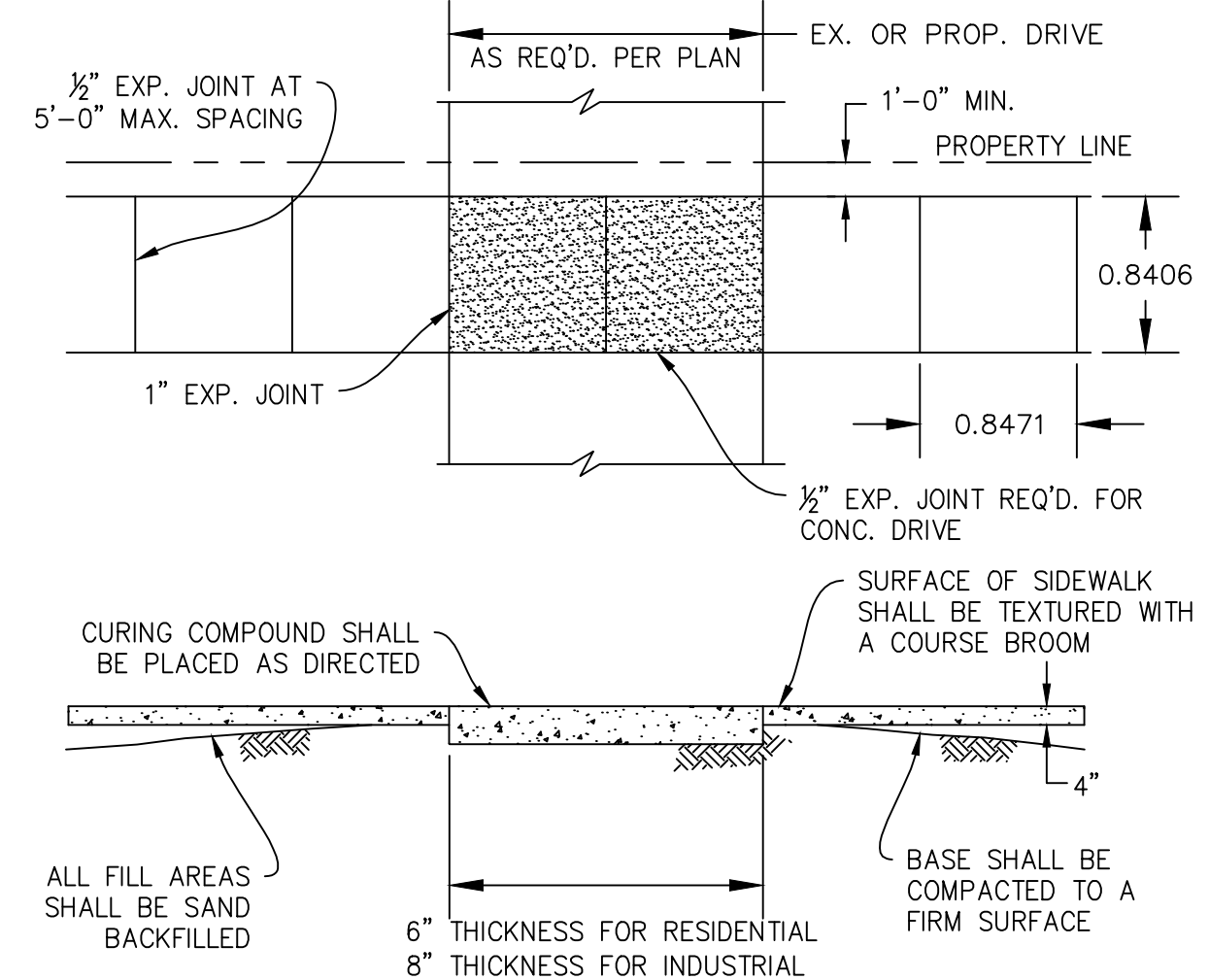
NOTE:

- HEIGHT OF MAILBOX IS 42" FROM SURFACE OF ROAD.
- ON ROADS WITH GRAVEL SHOULDERS, LOCATE FACE OF MAILBOX 6" FROM EDGE OF SHOULDER.
- ON ROADS WITH SOD SHOULDER LOCATE FACE OF MAILBOX 6" FROM EDGE OF PAVEMENT.
- ROADS WITH CURBS, LOCATE OF MAILBOX 6" FROM BACK OF CURB.



MAIL BOX LOCATION

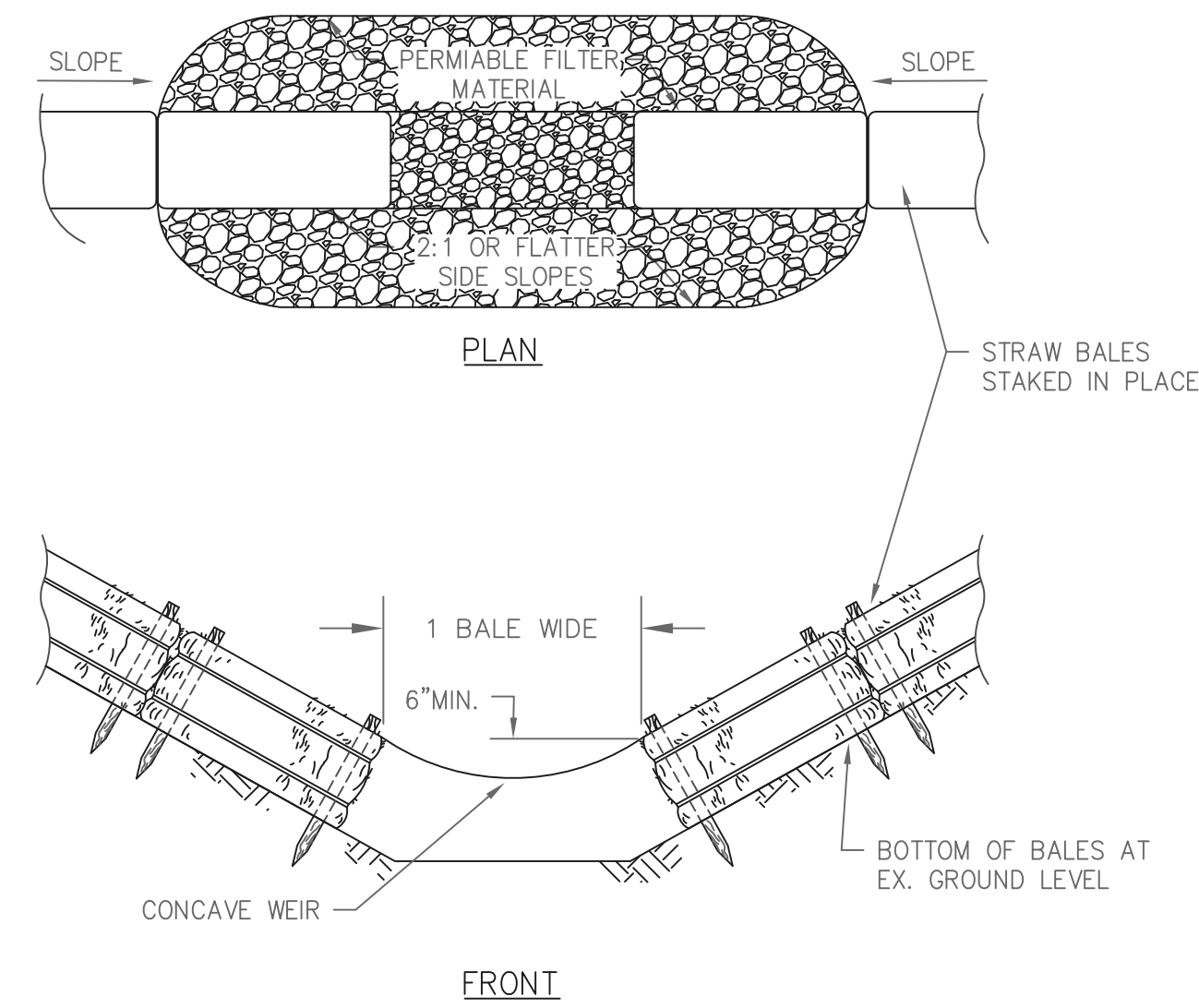
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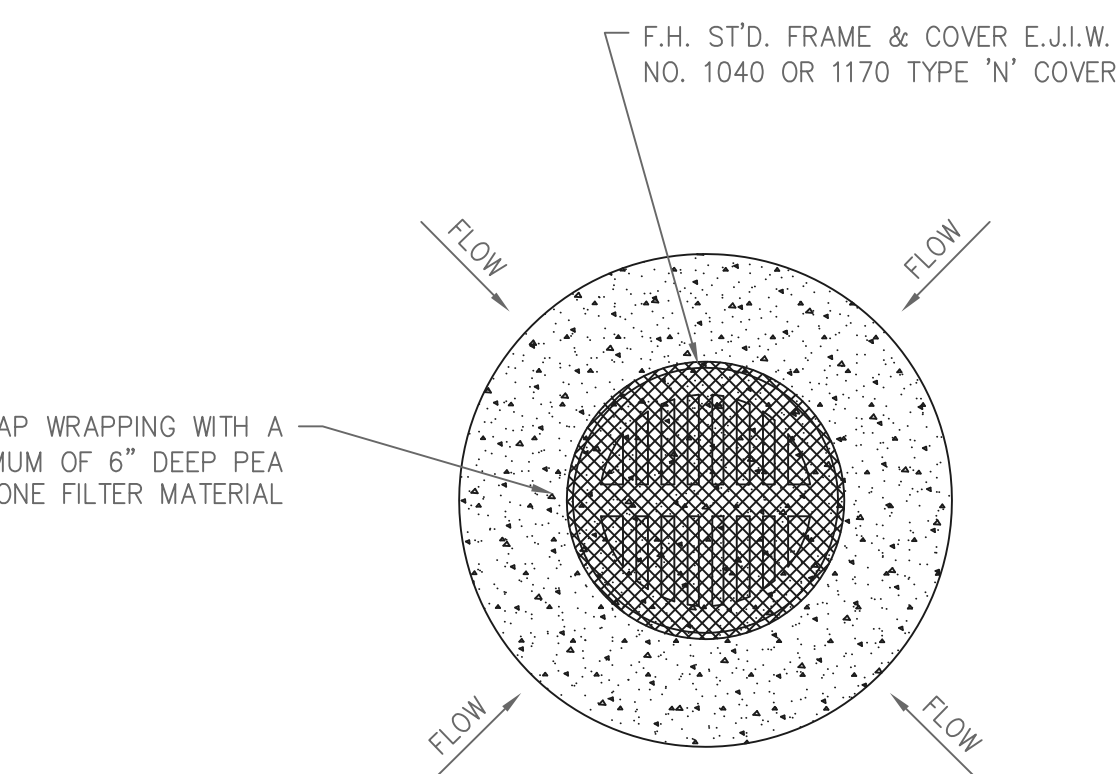
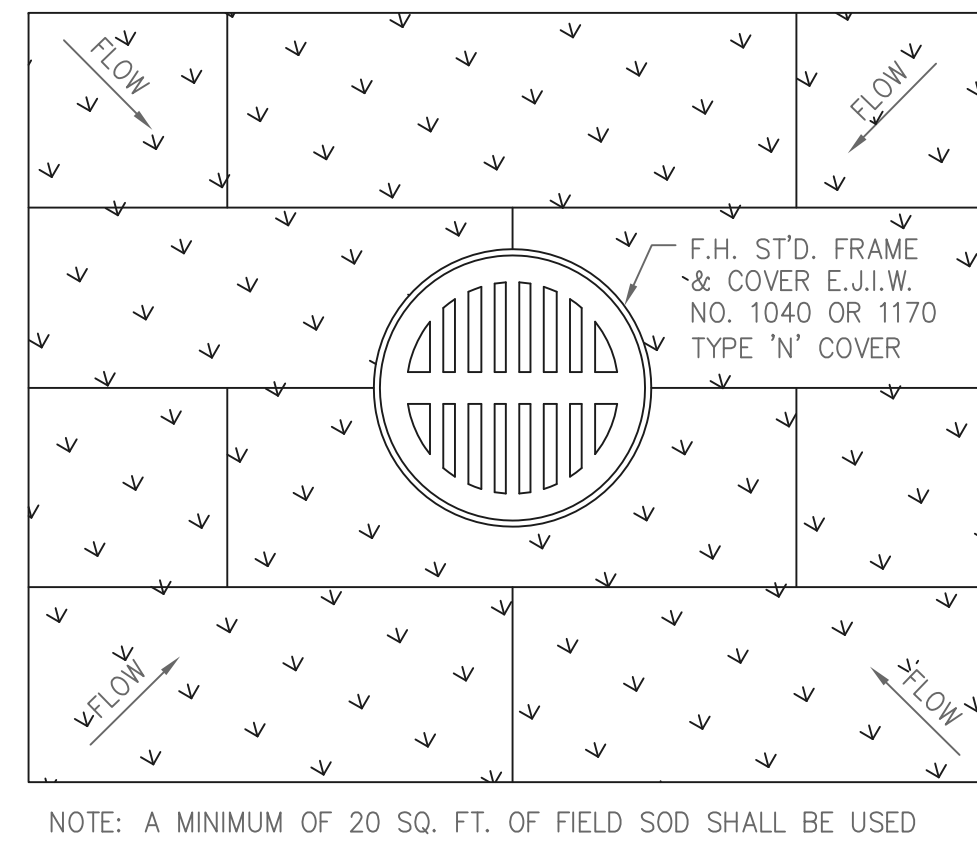
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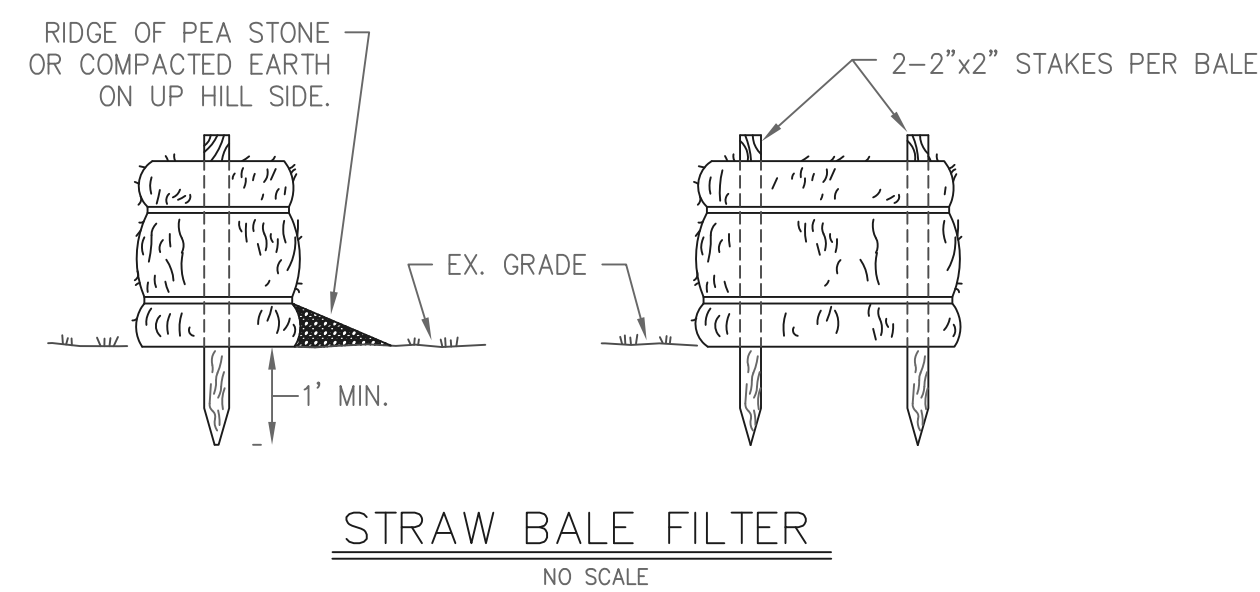
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		DRAWN: CADATOMIC	DATE: 7/1/13
		DESIGNED BY: FH	DATE: 2/28/14
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SHEET 1 OF 1		DIRECTOR, PUBLIC SERVICES DEPT.	



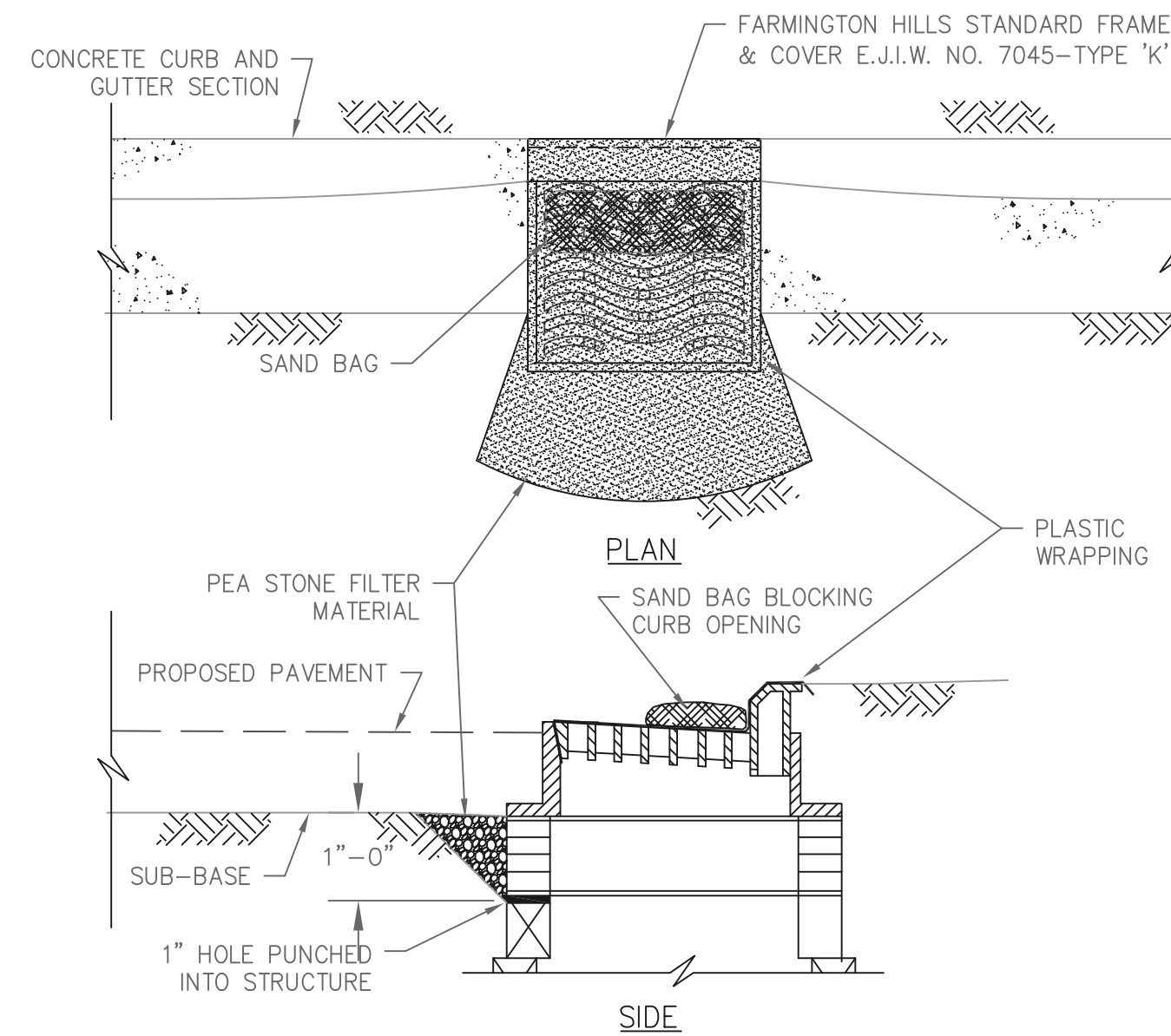
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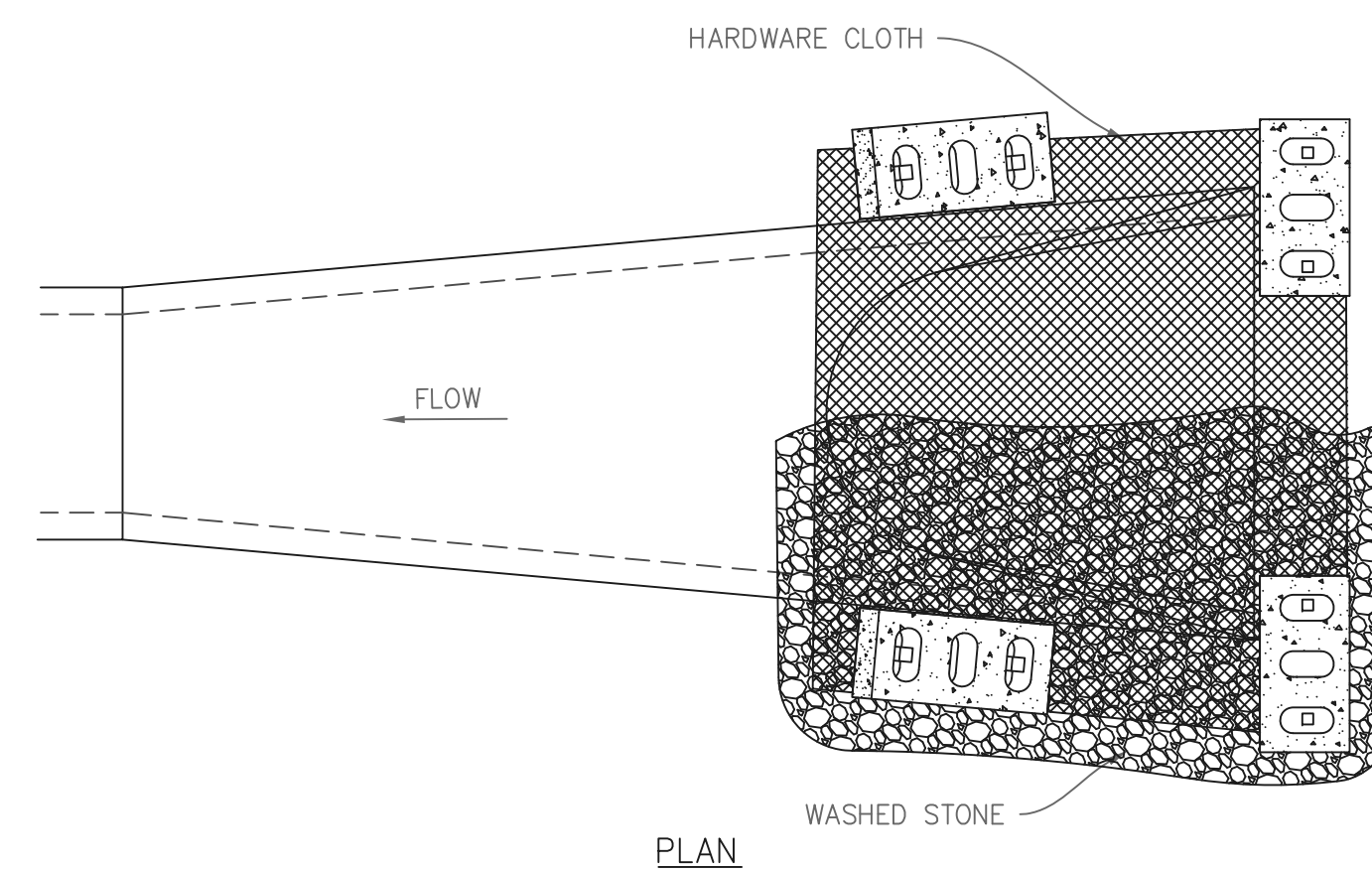
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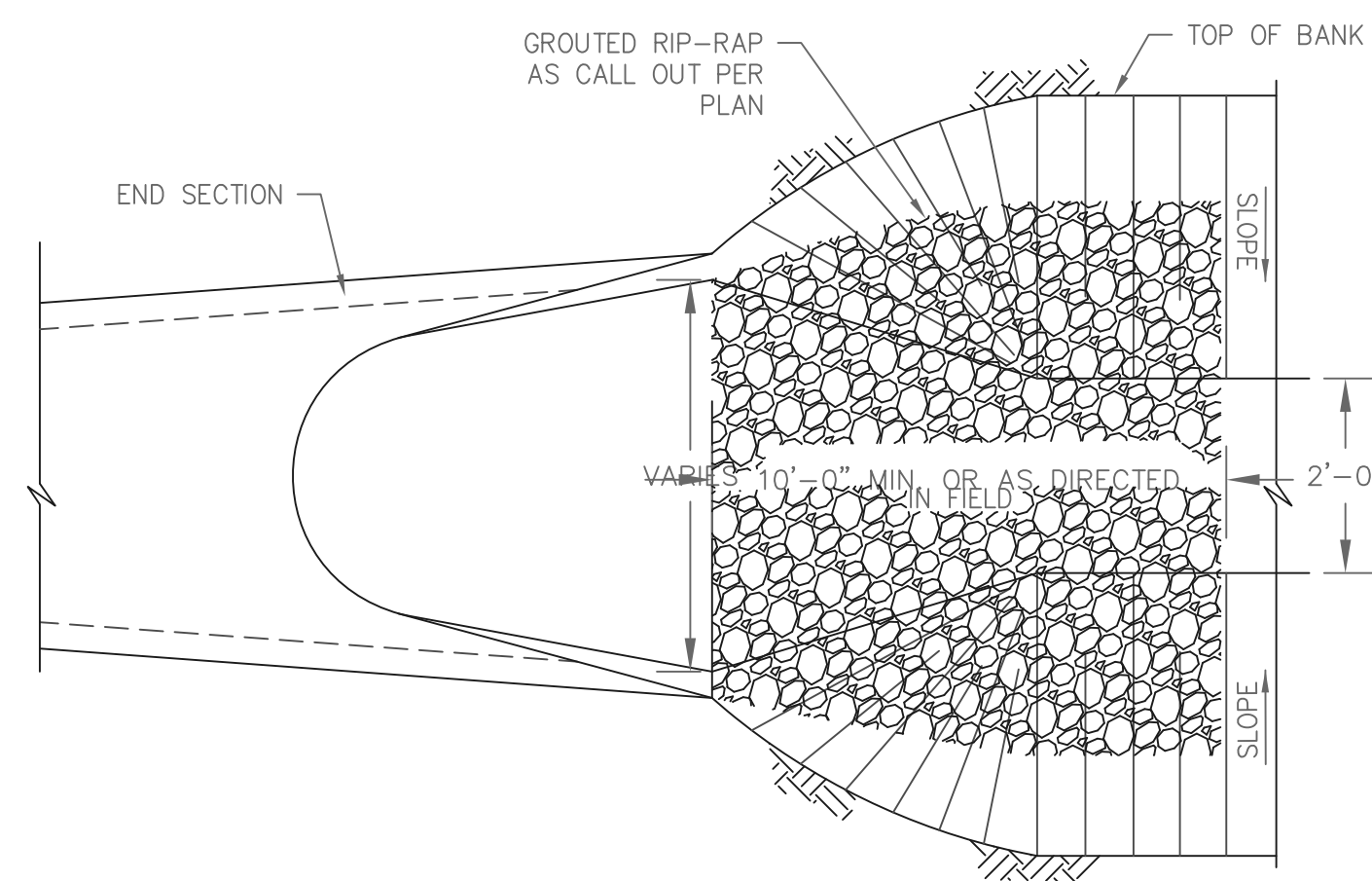
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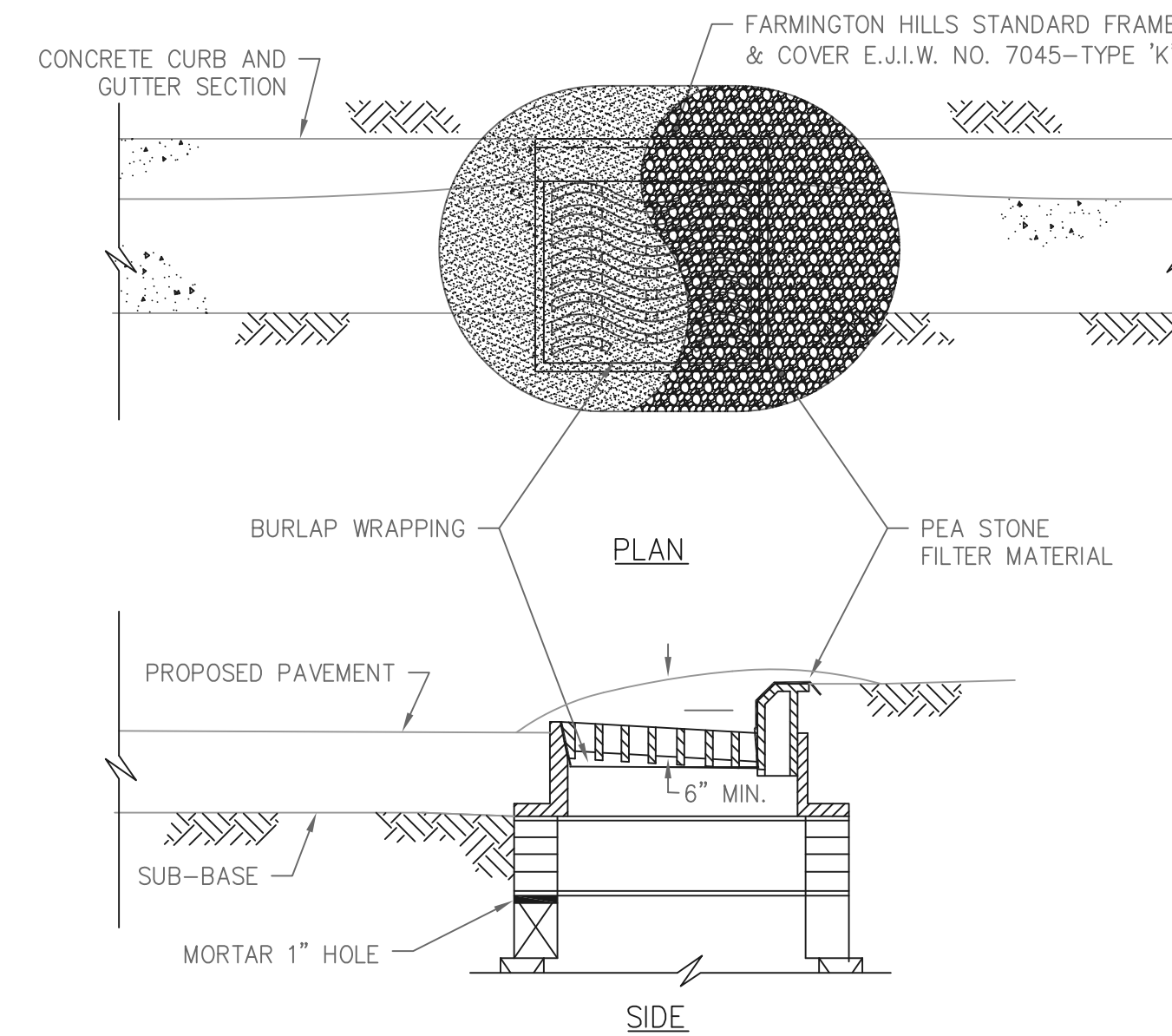
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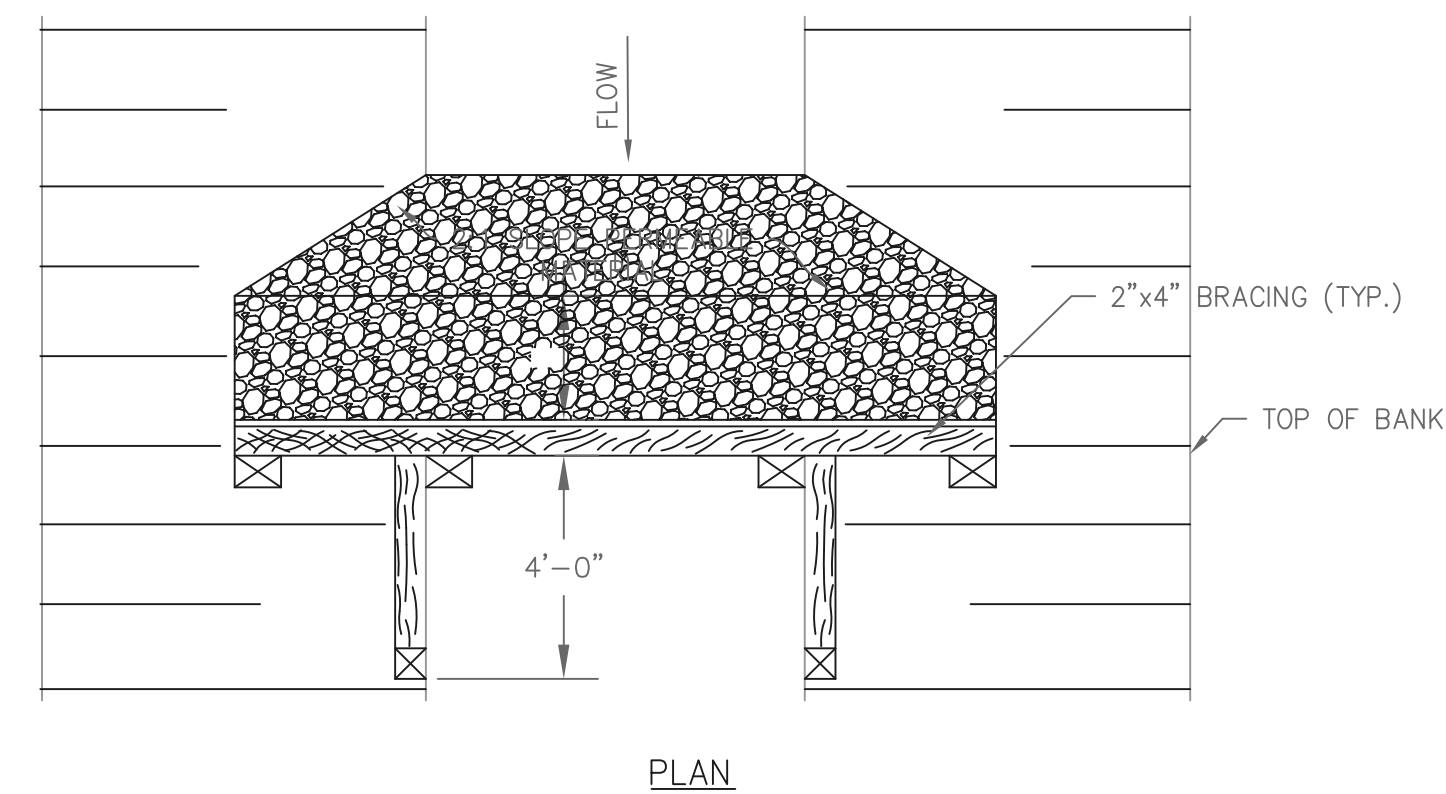
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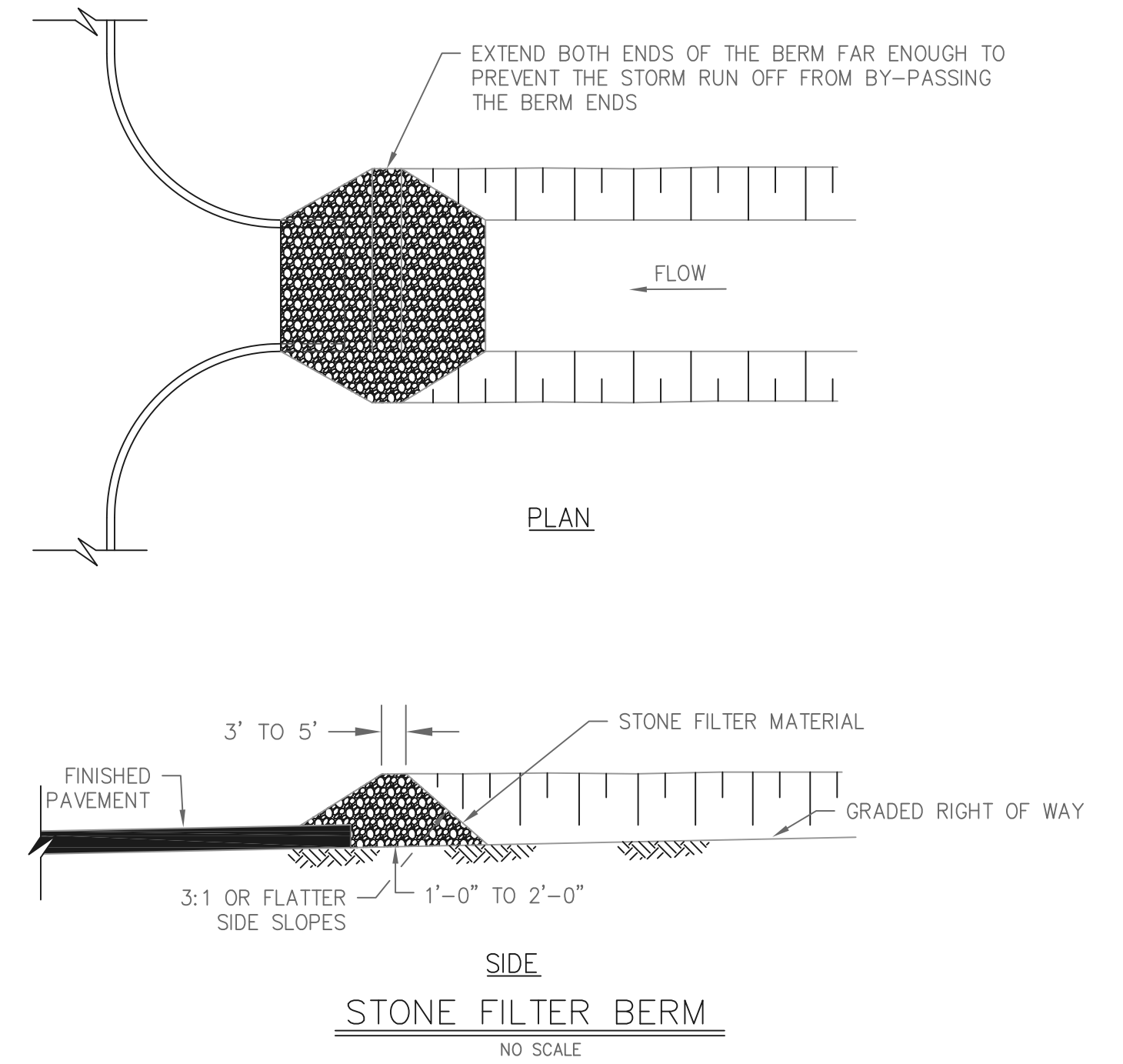
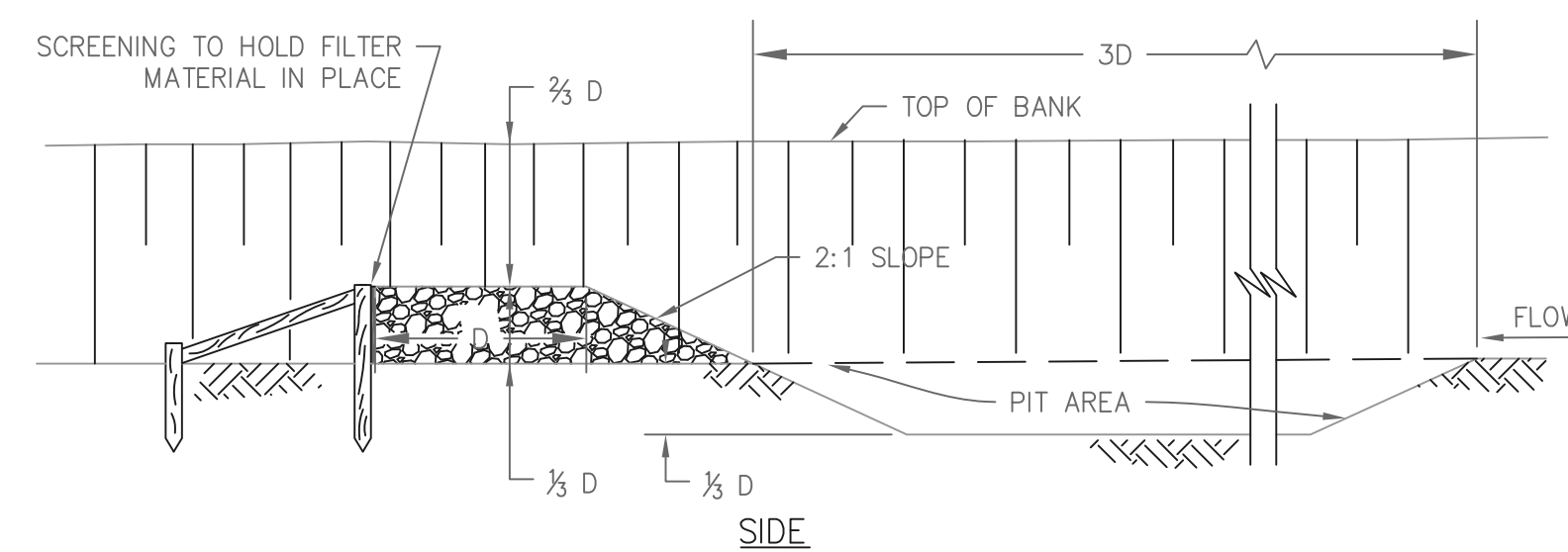
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CURB AND GUTTER INLET FILTER AFTER PAVING
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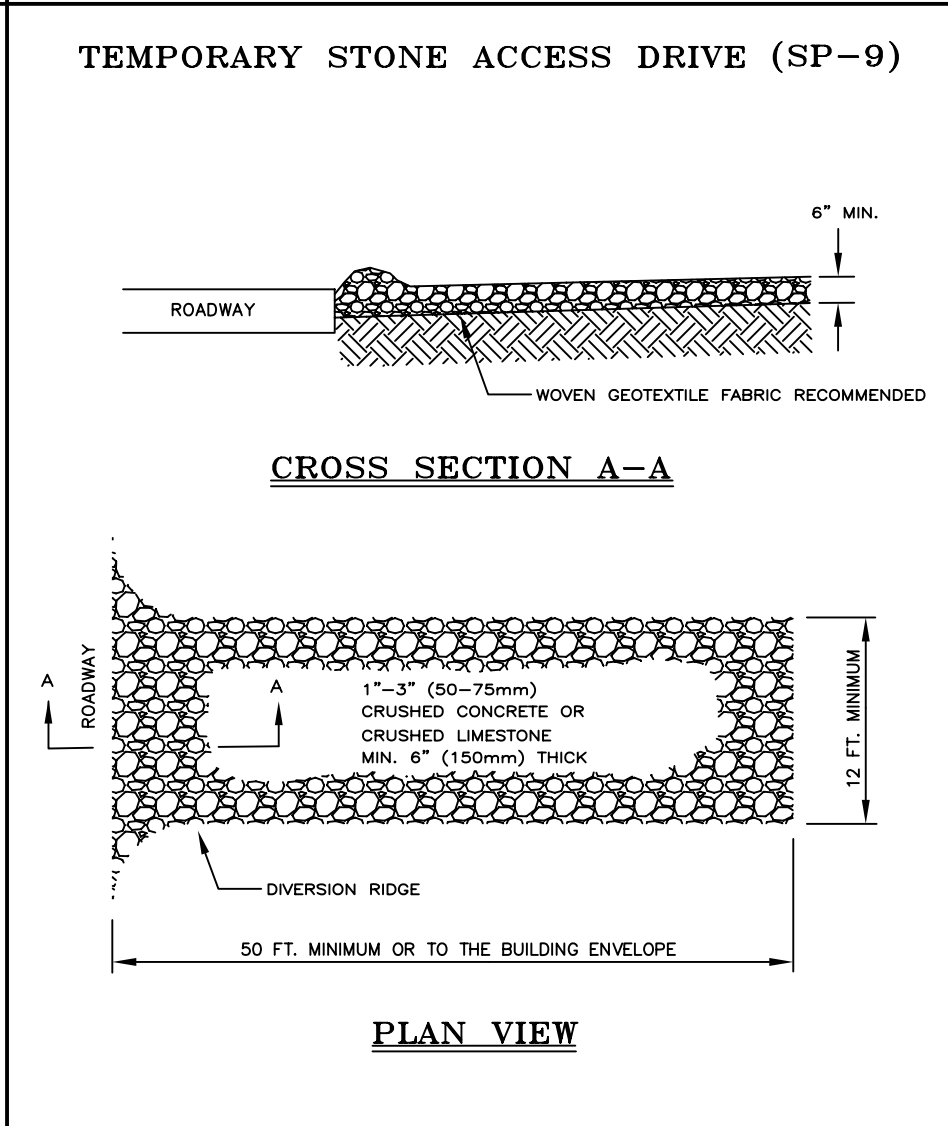
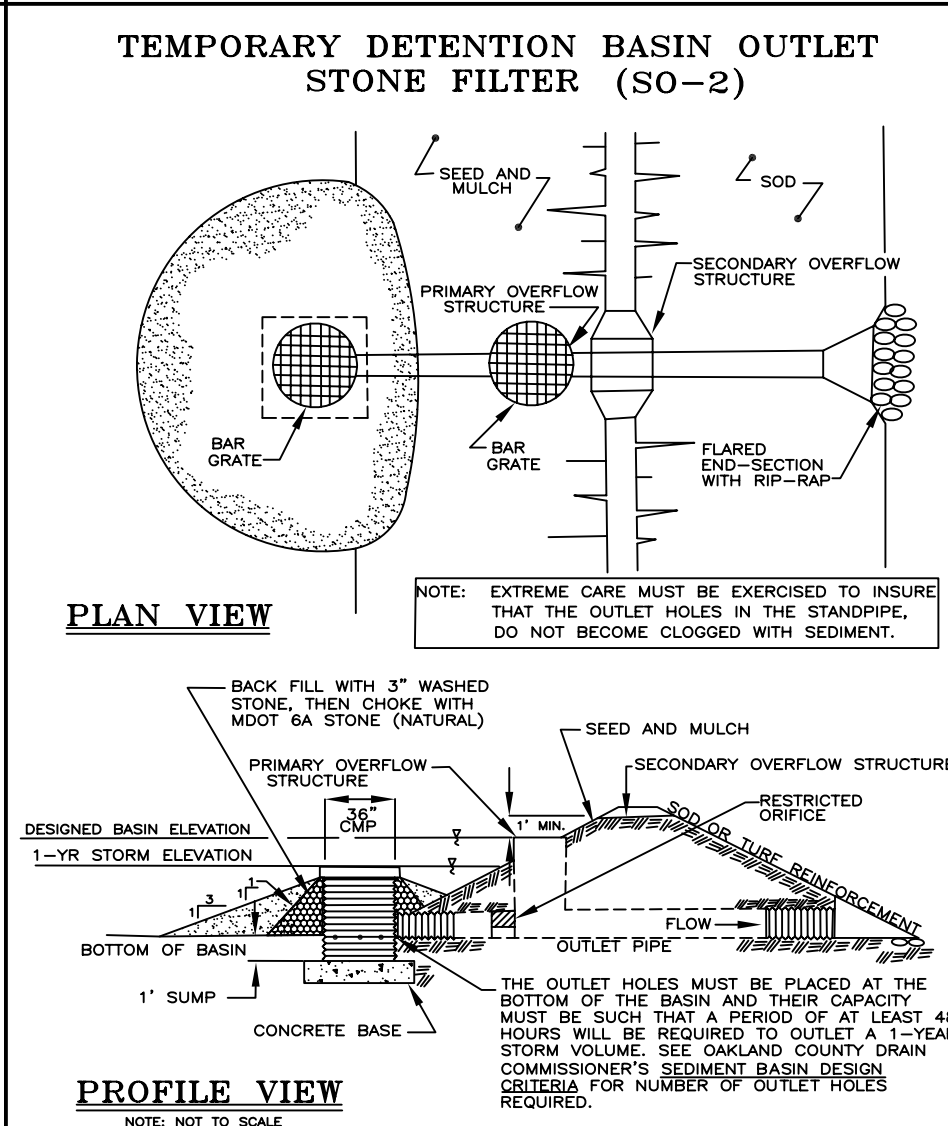
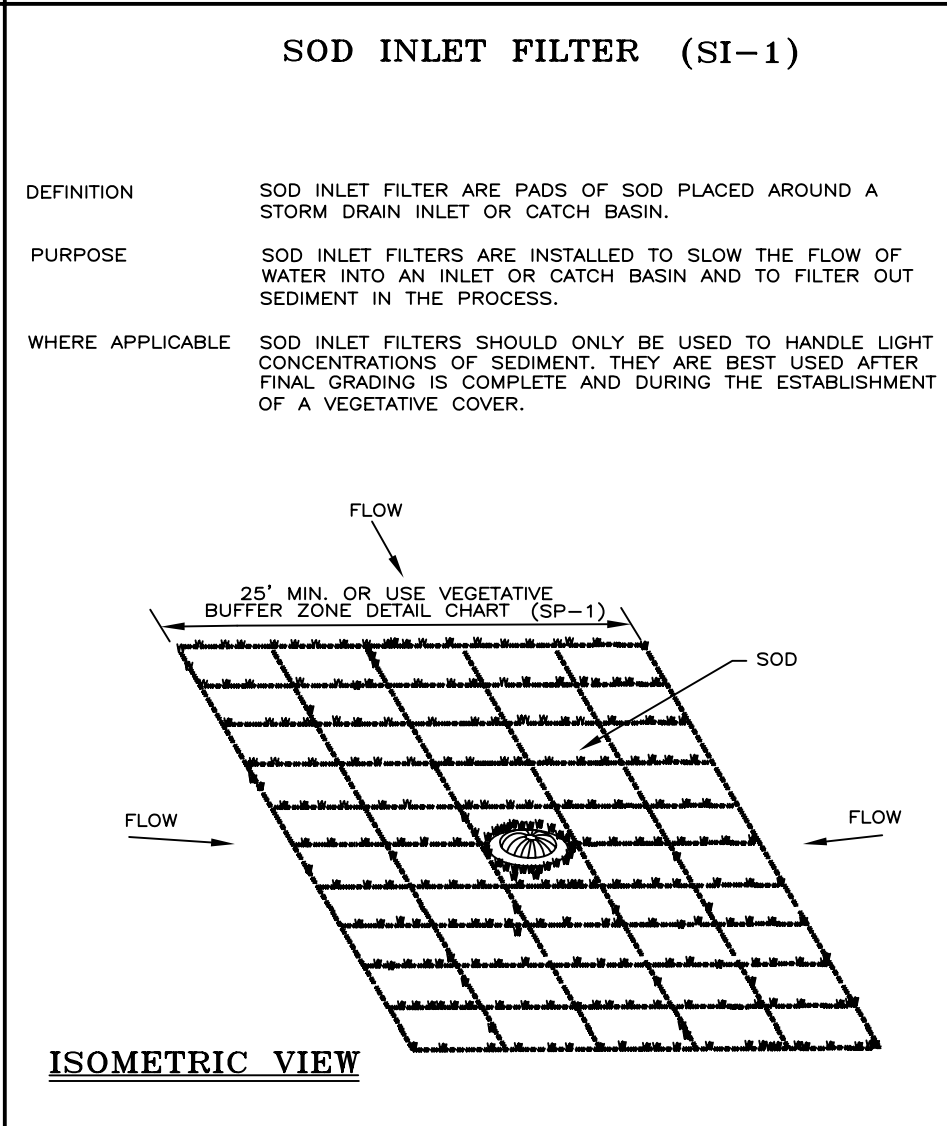
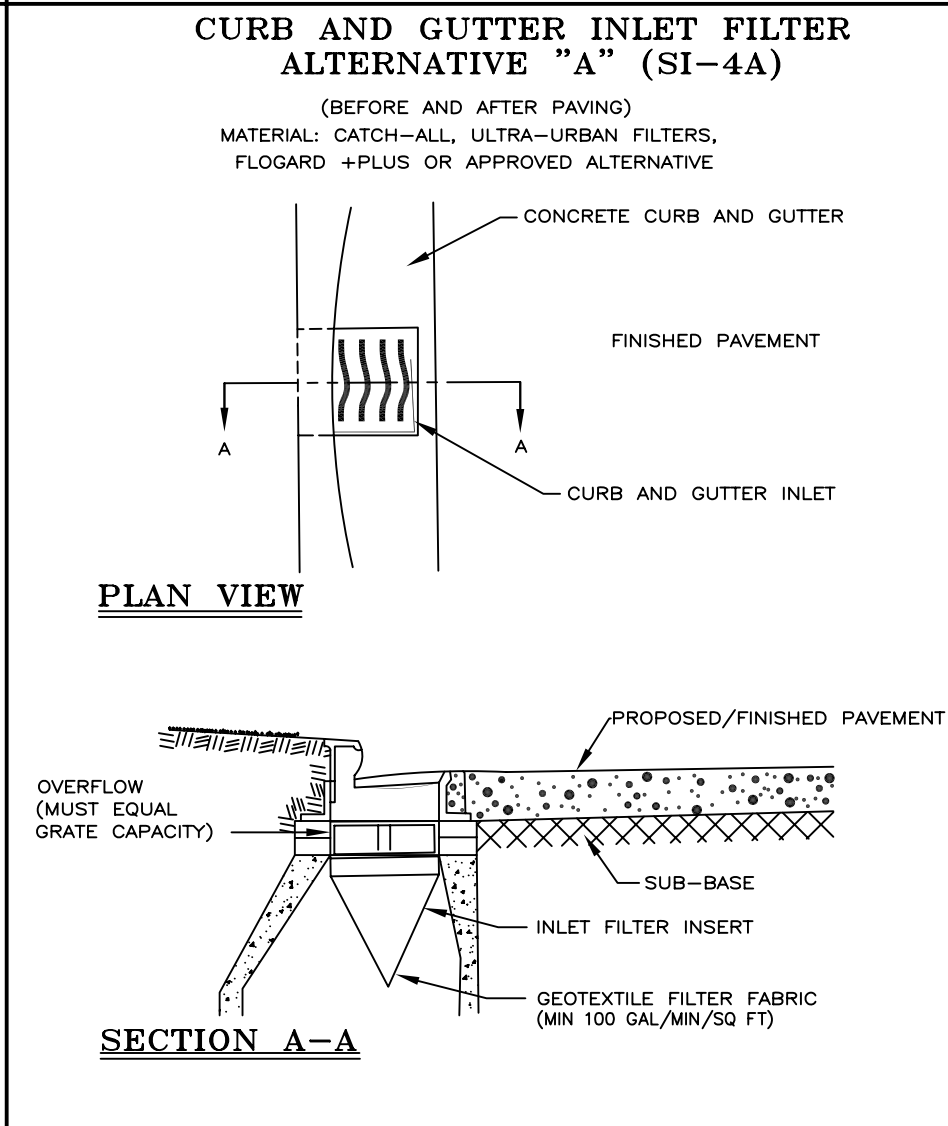
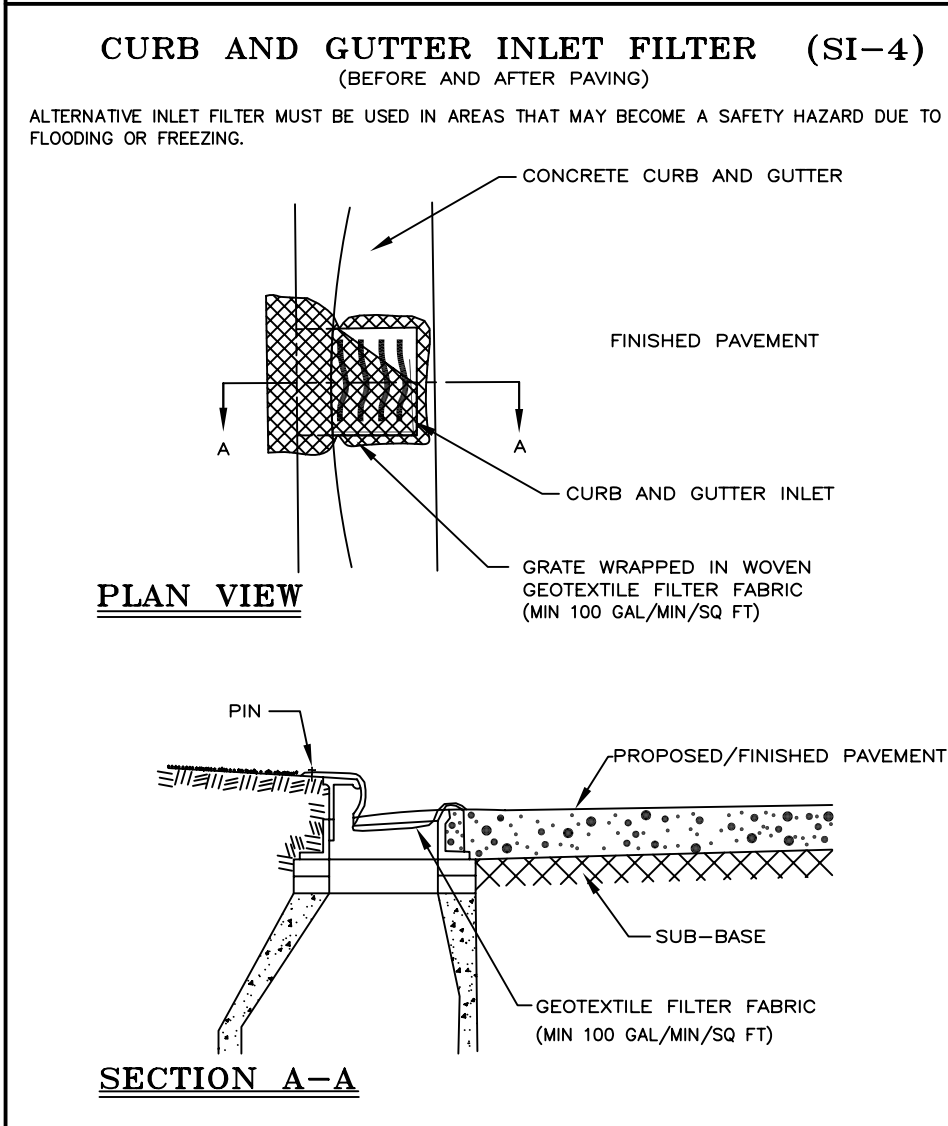
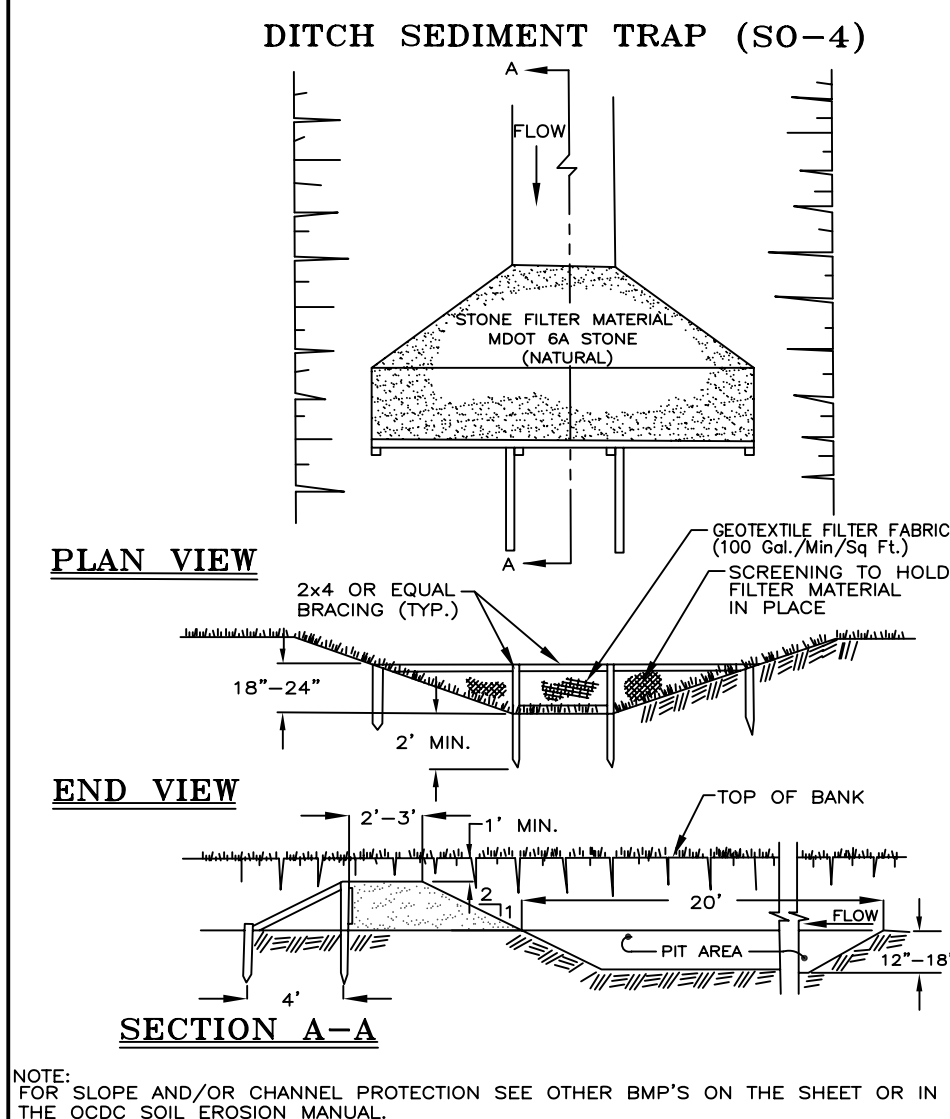
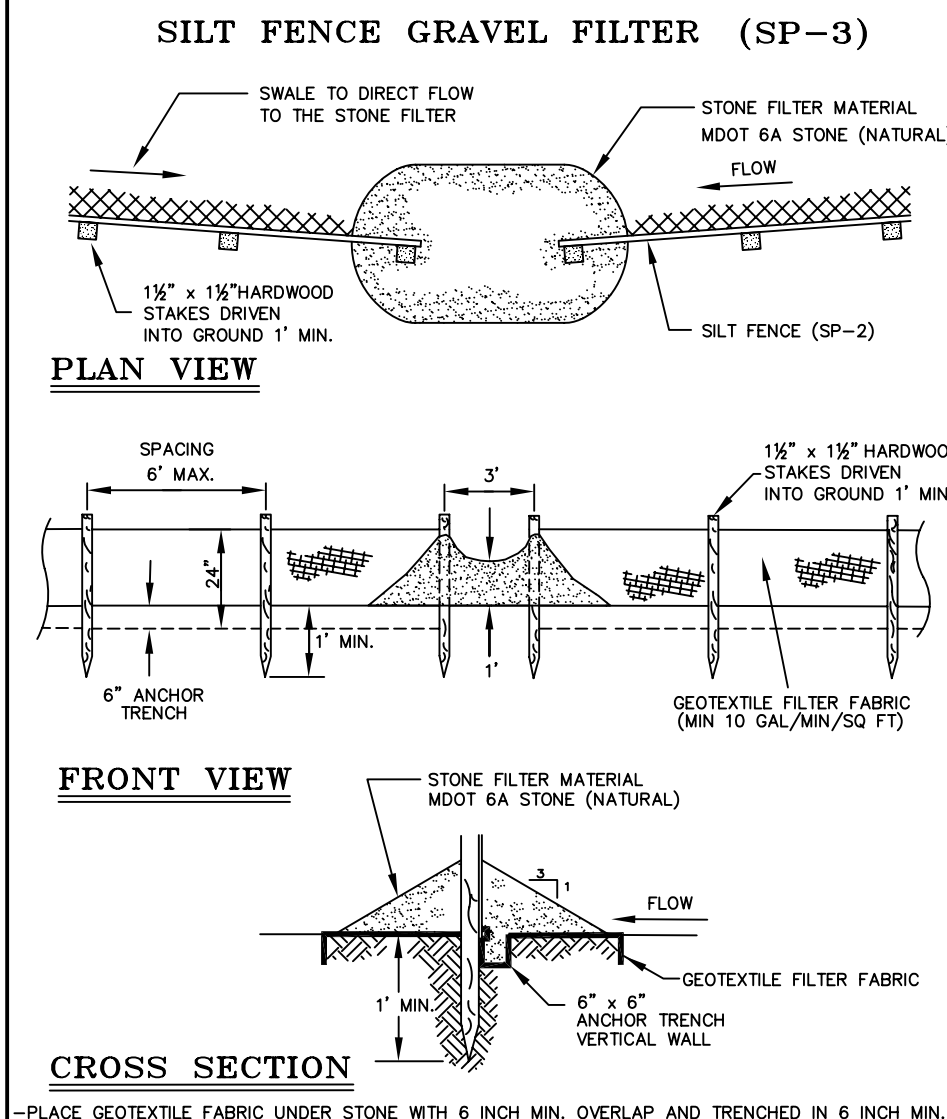
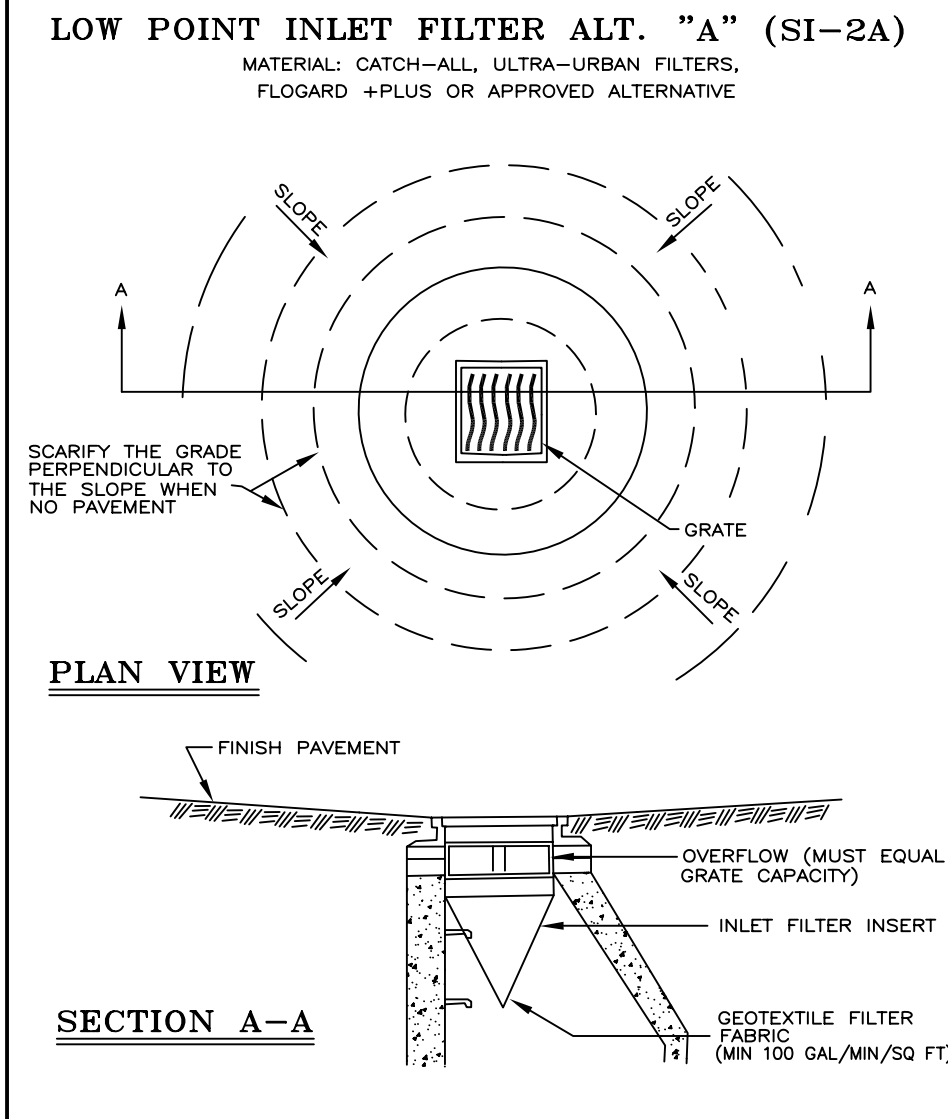
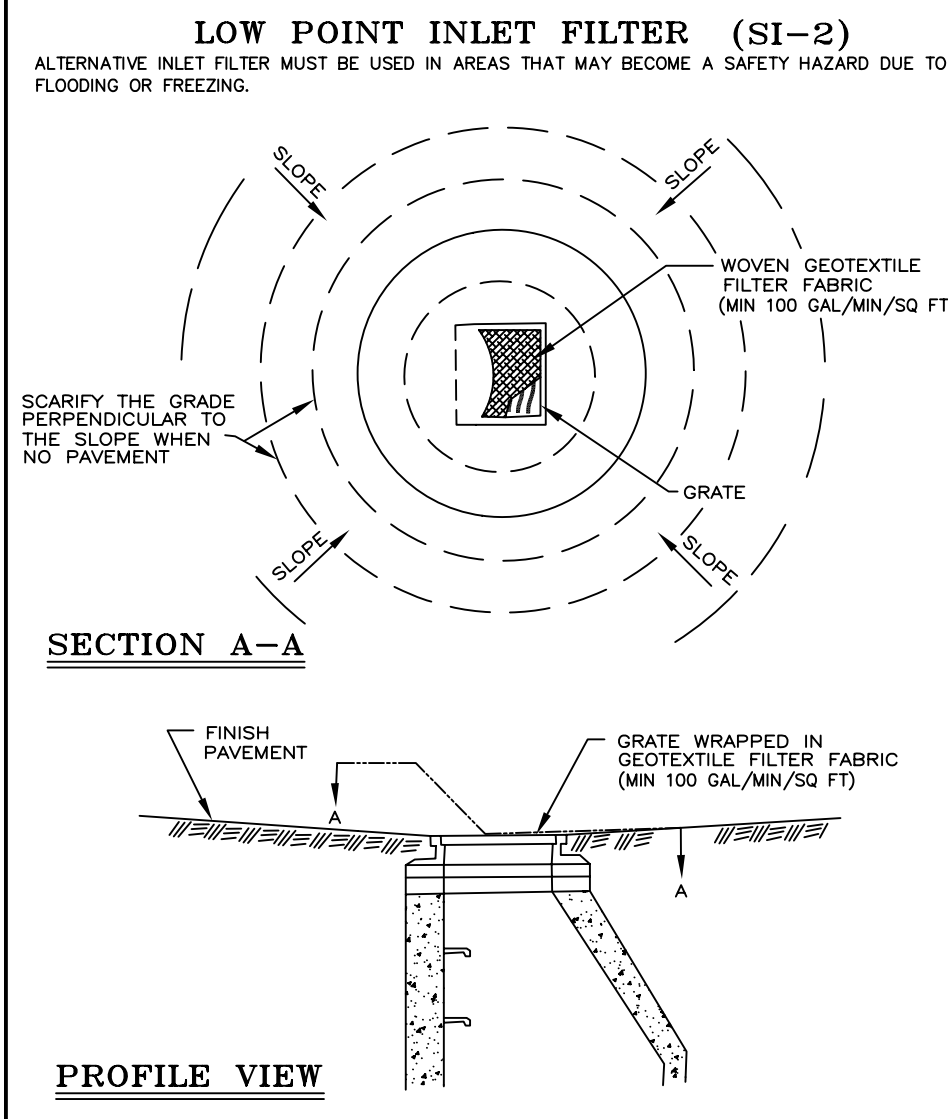
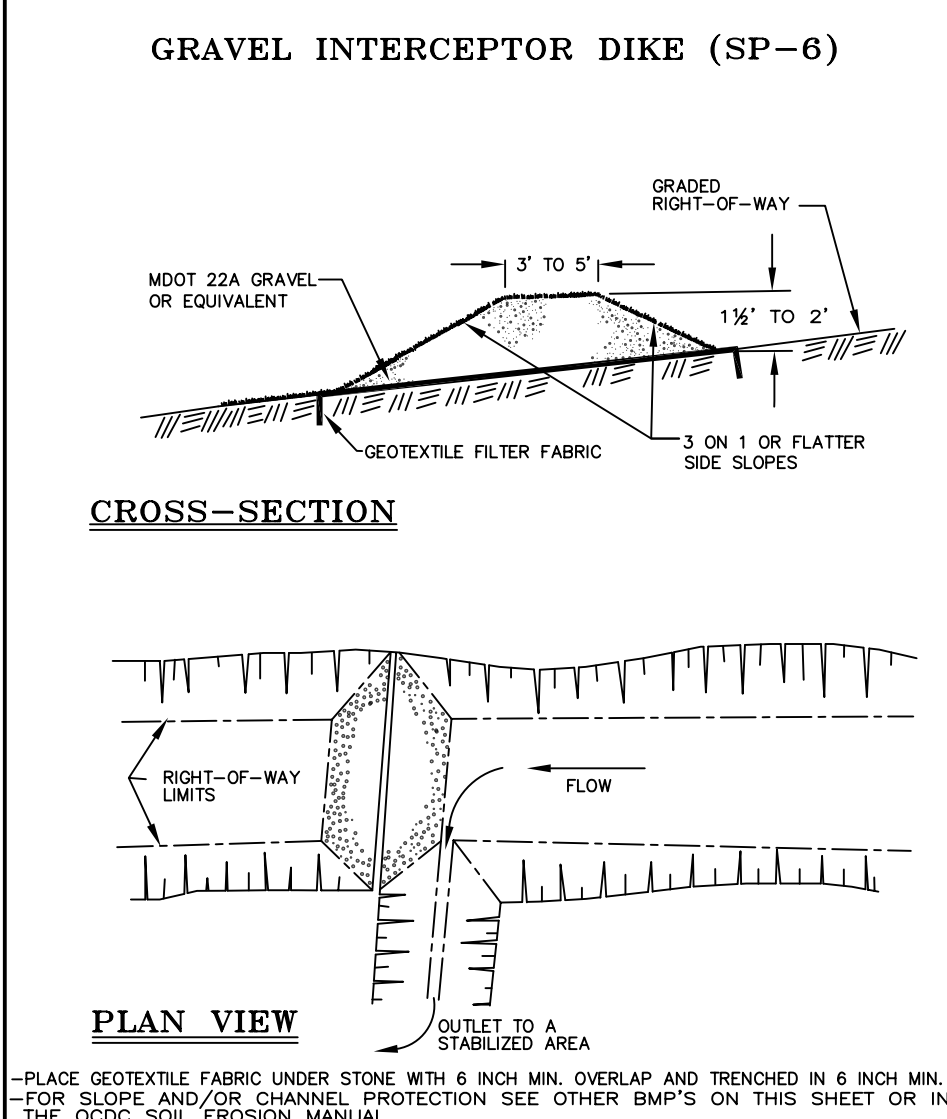
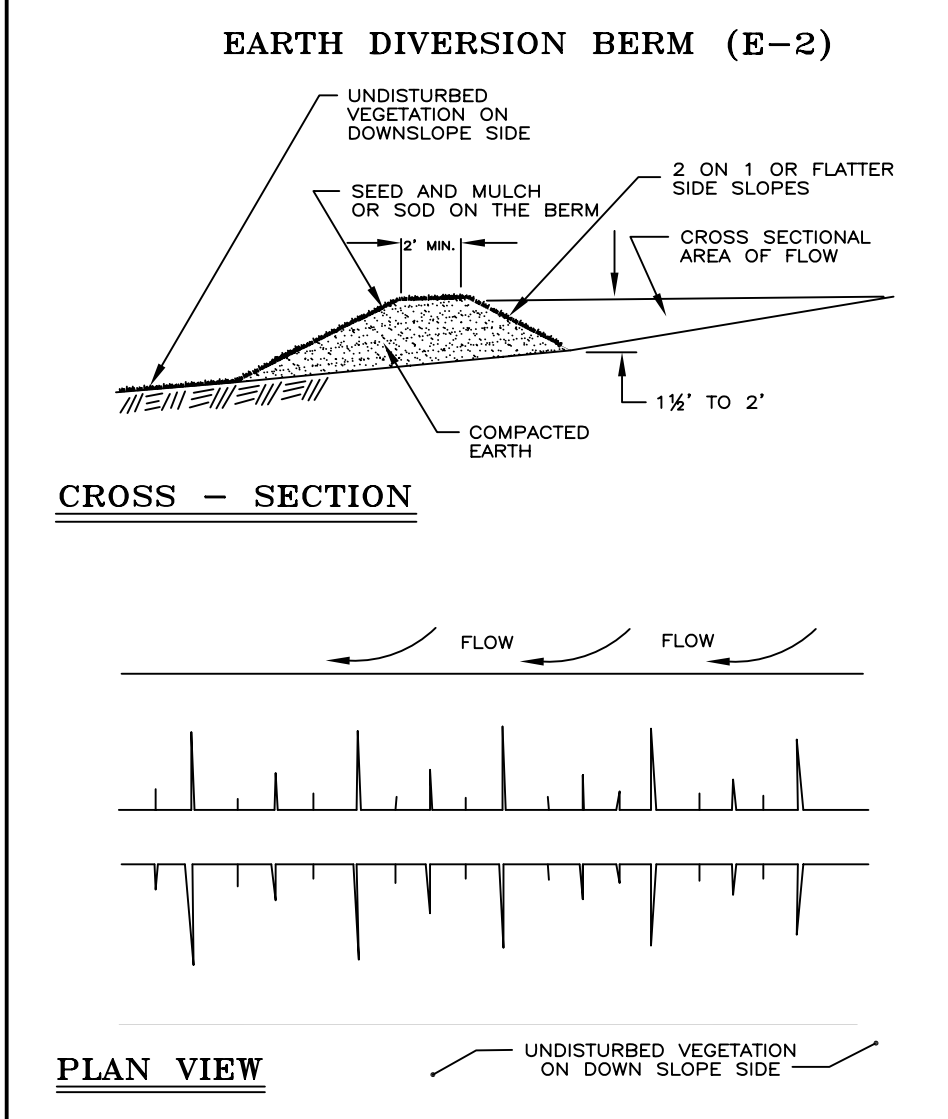
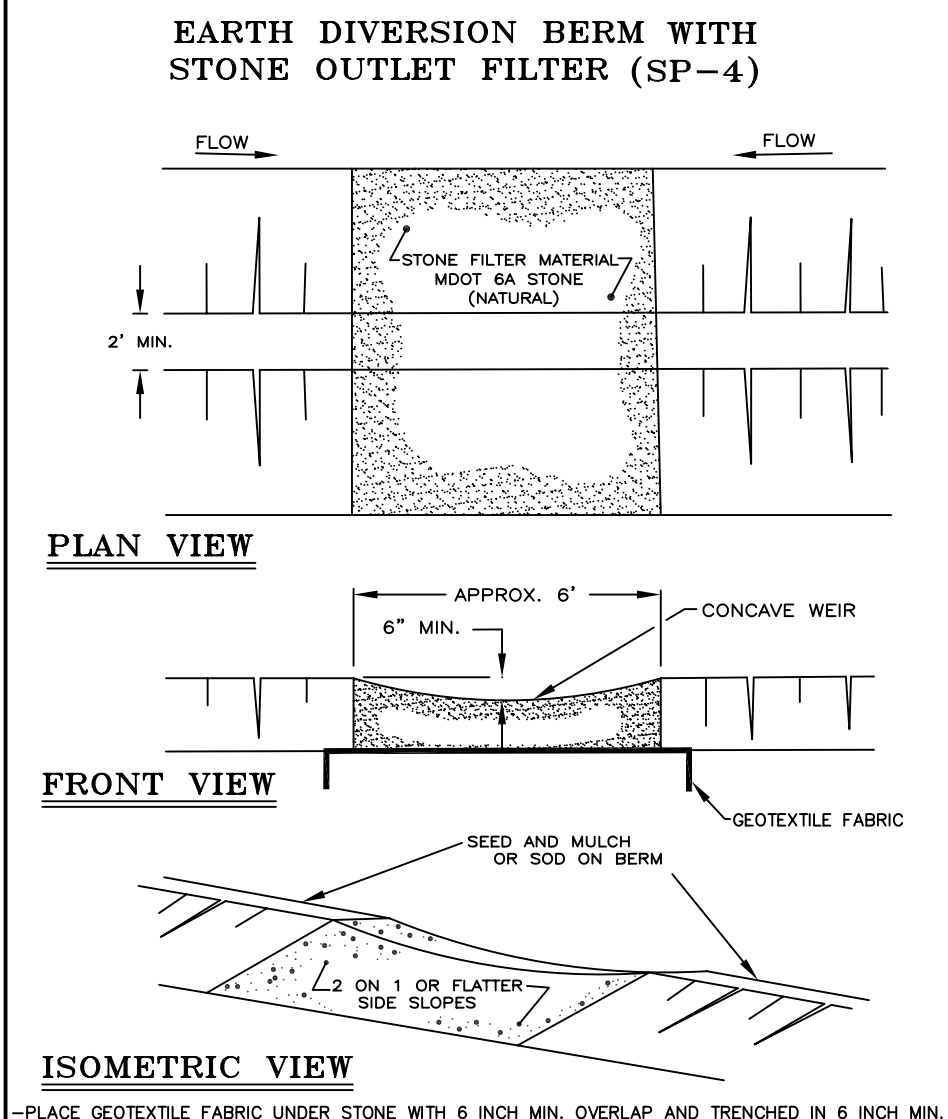
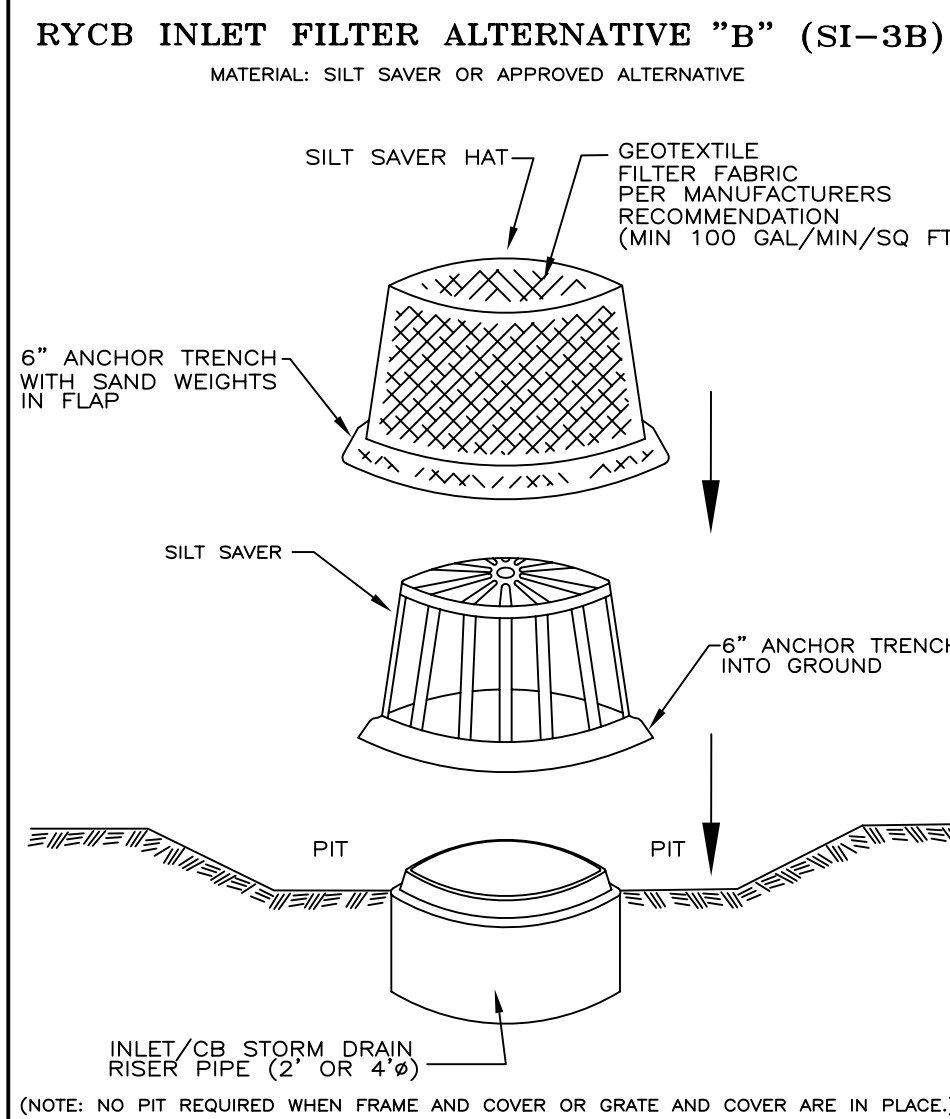
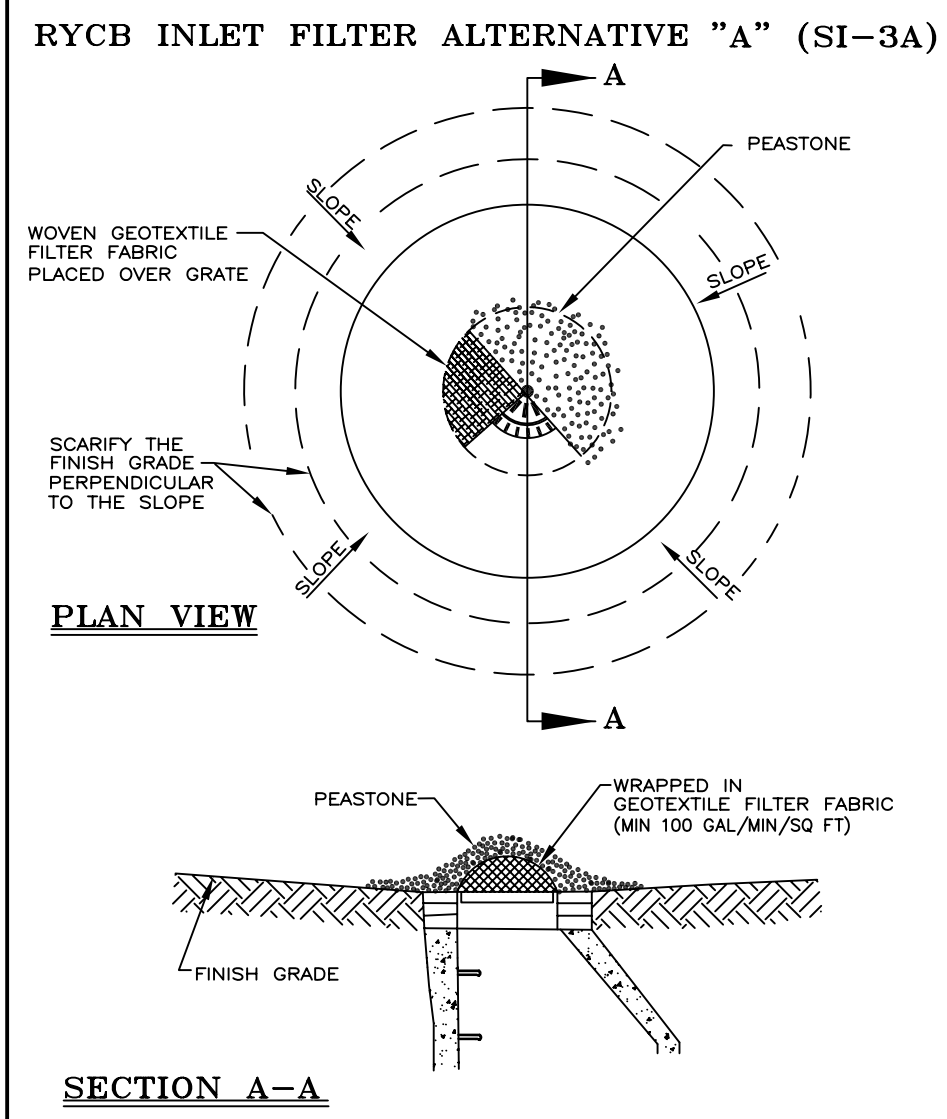
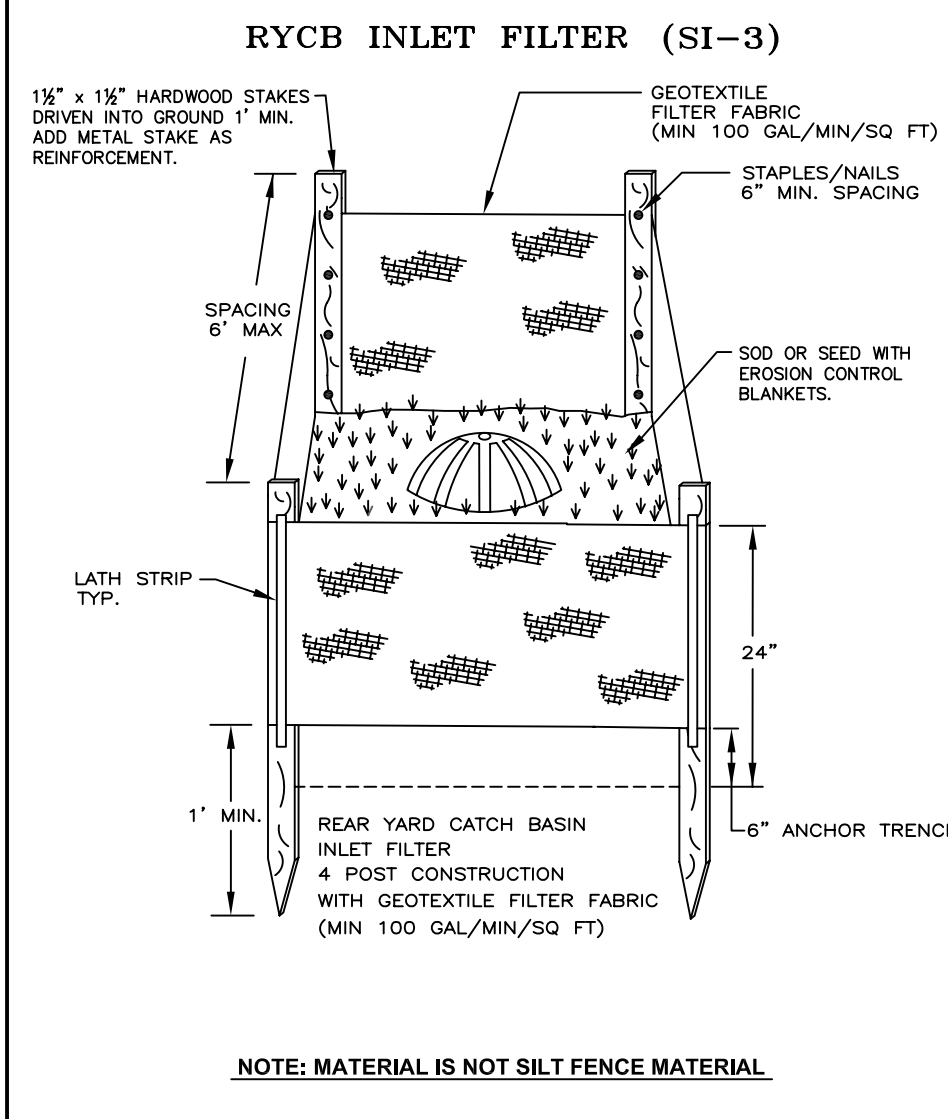
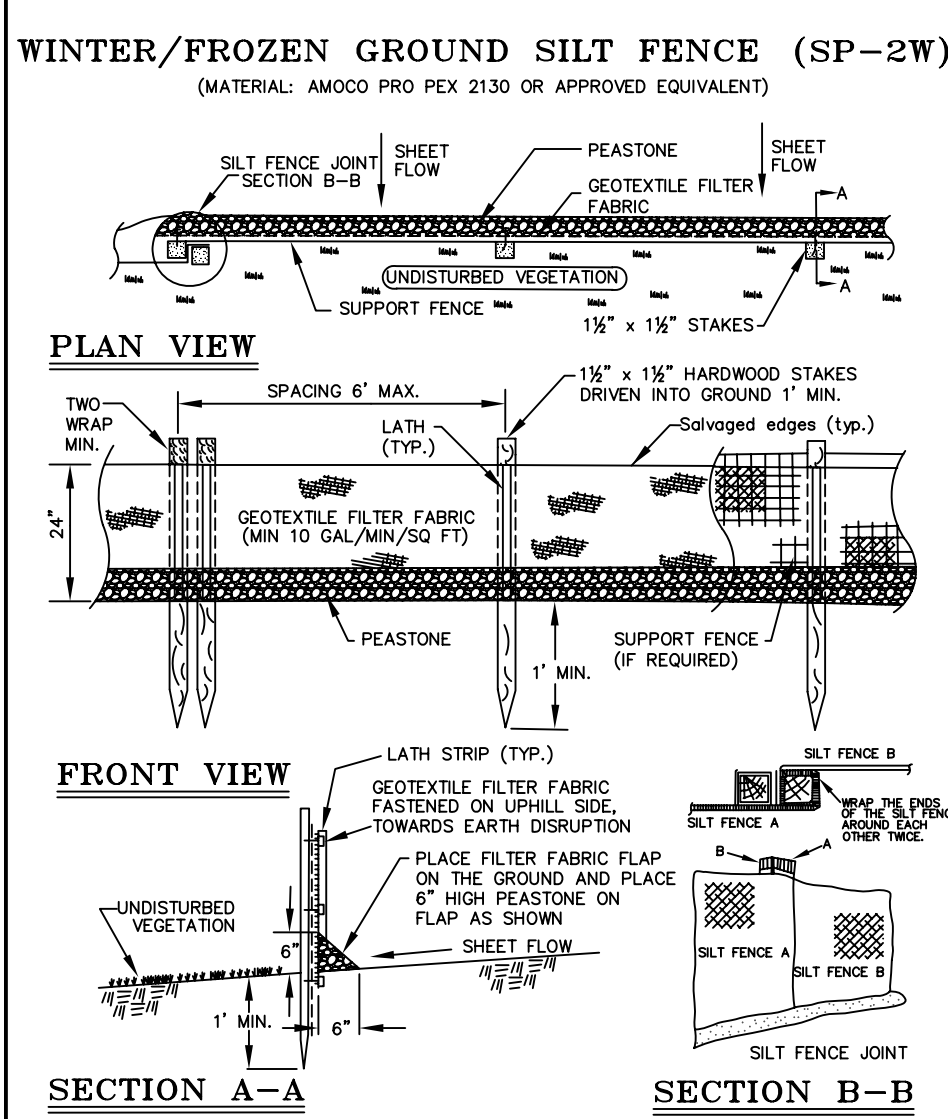
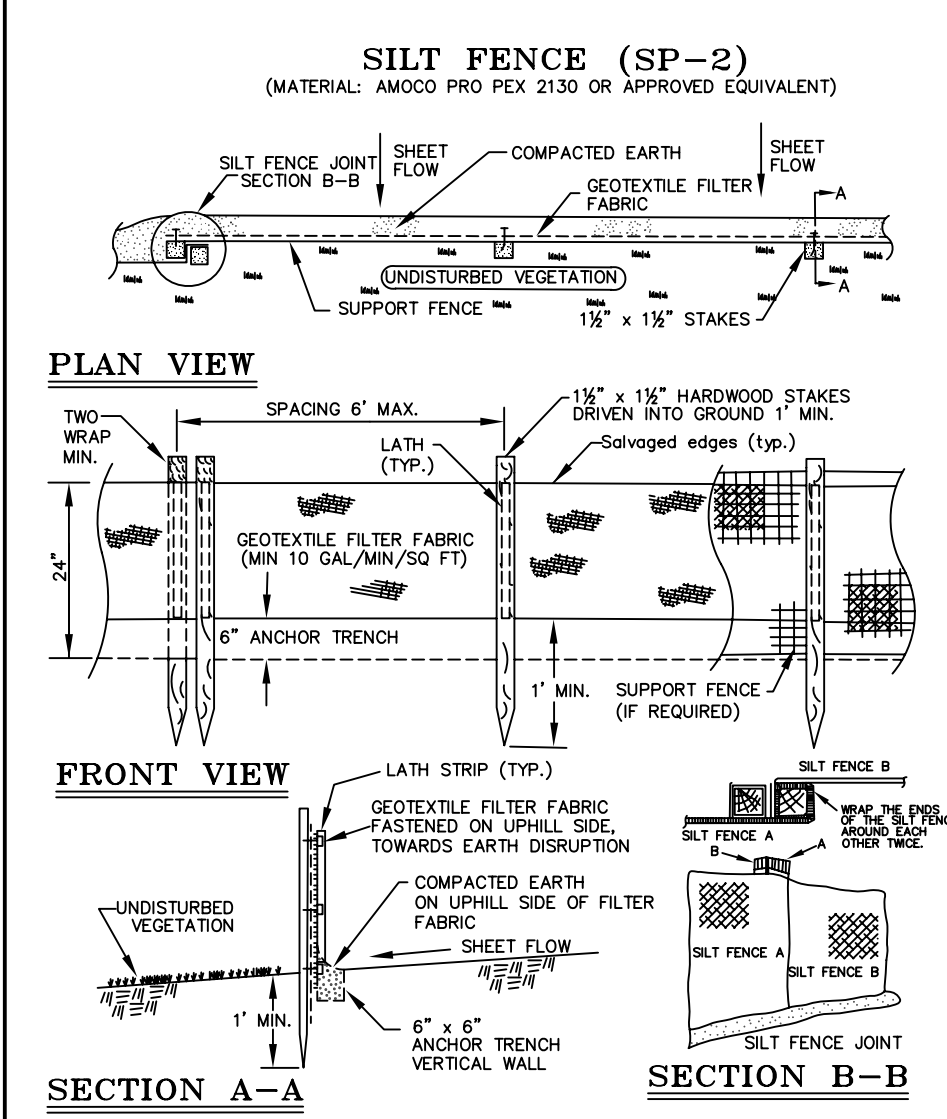
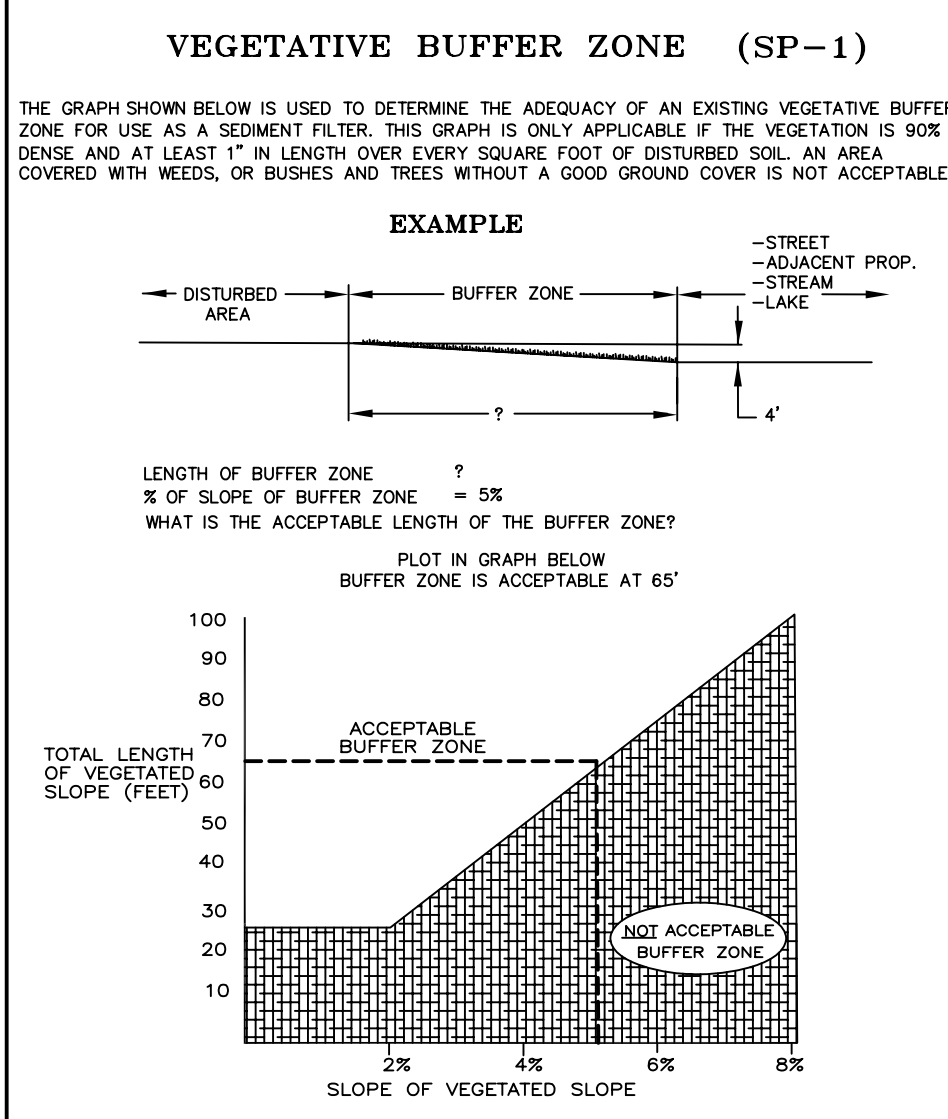
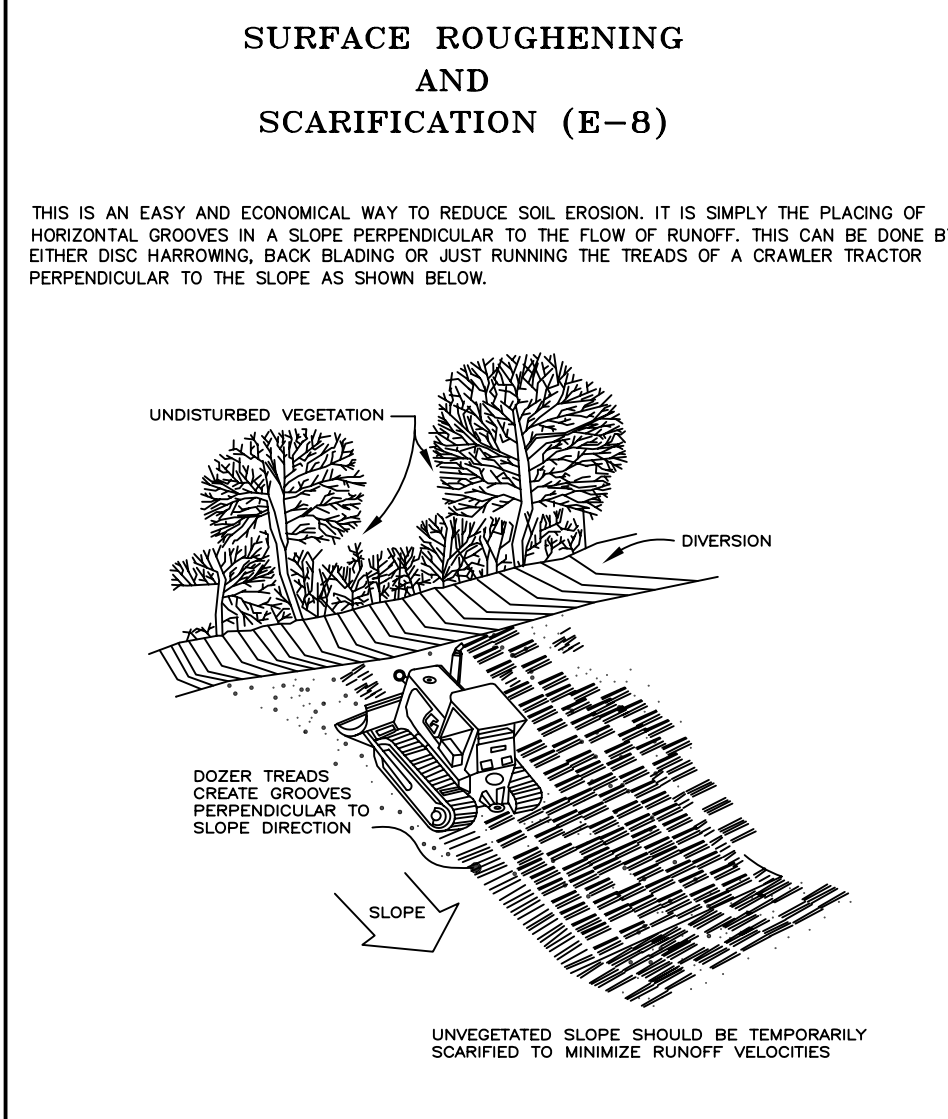
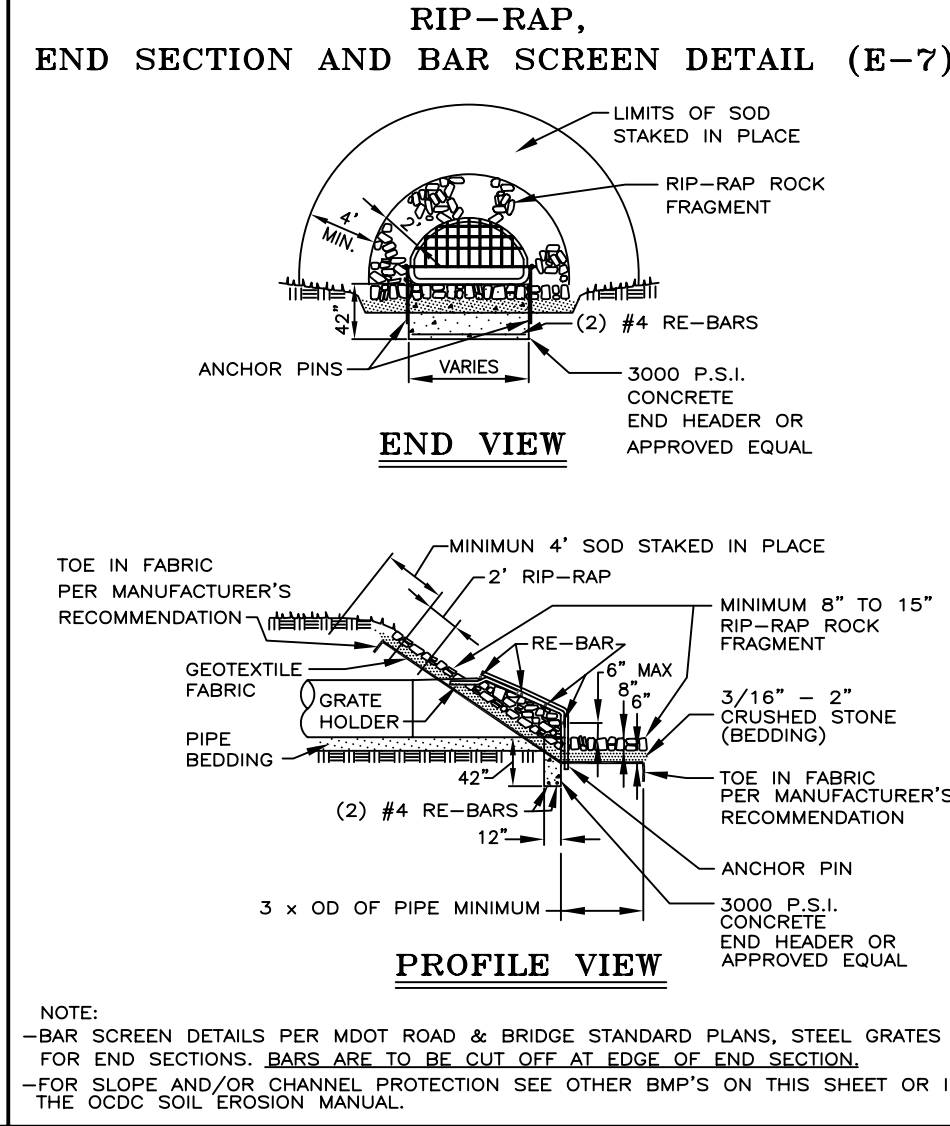
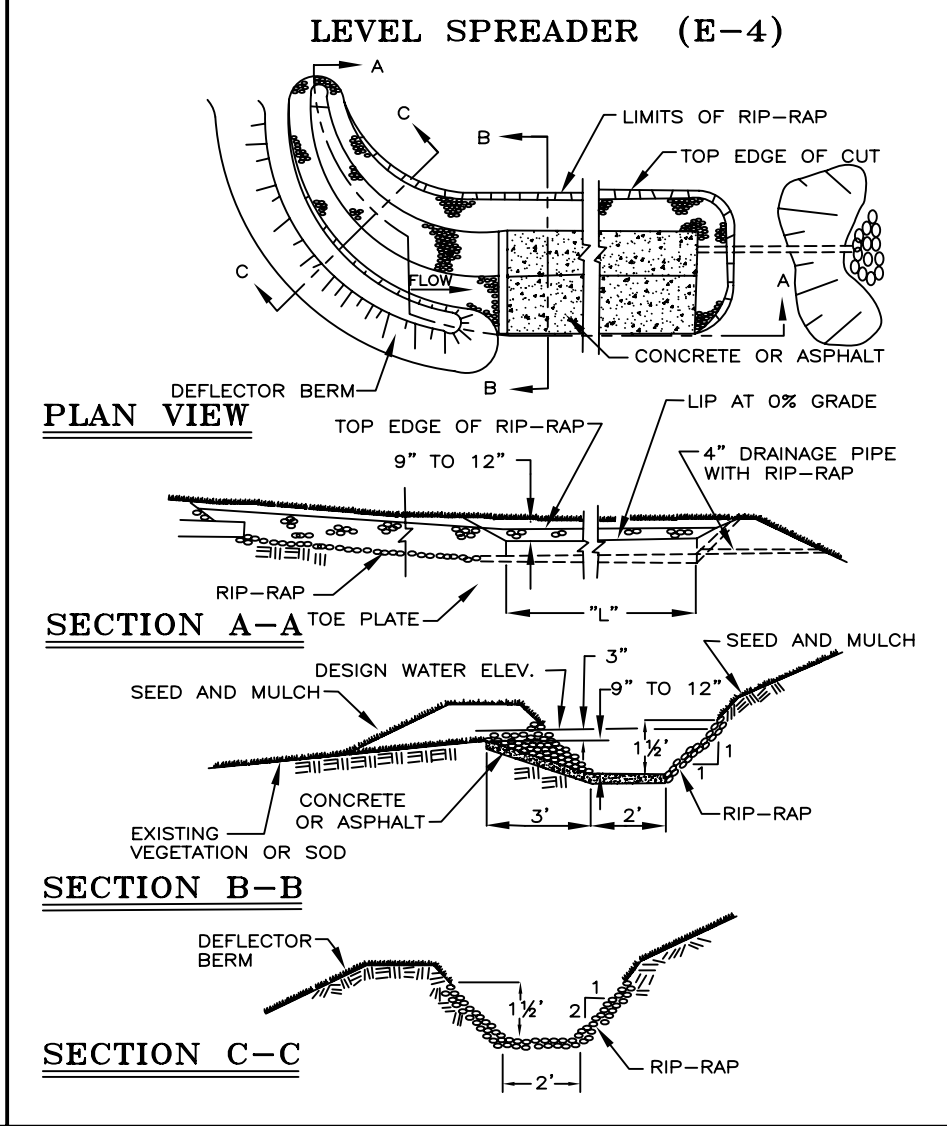
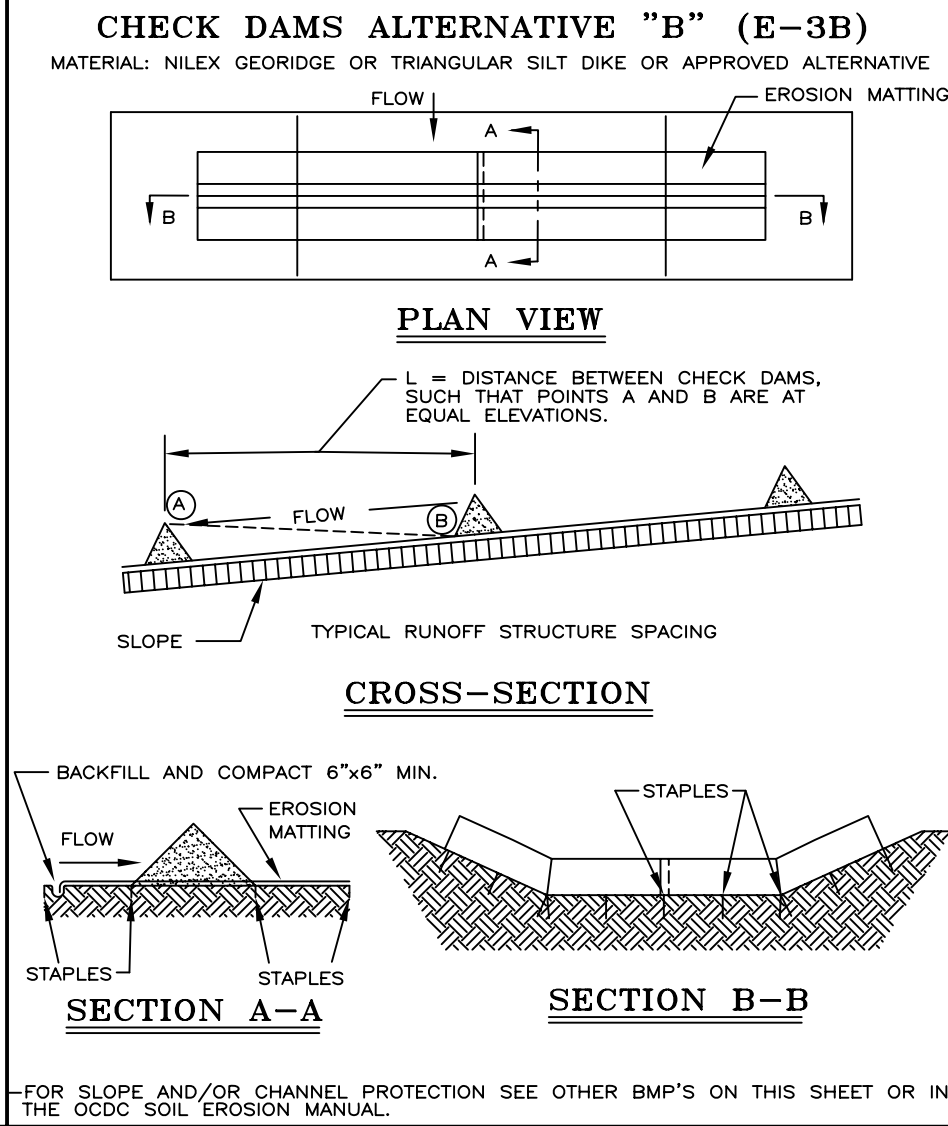
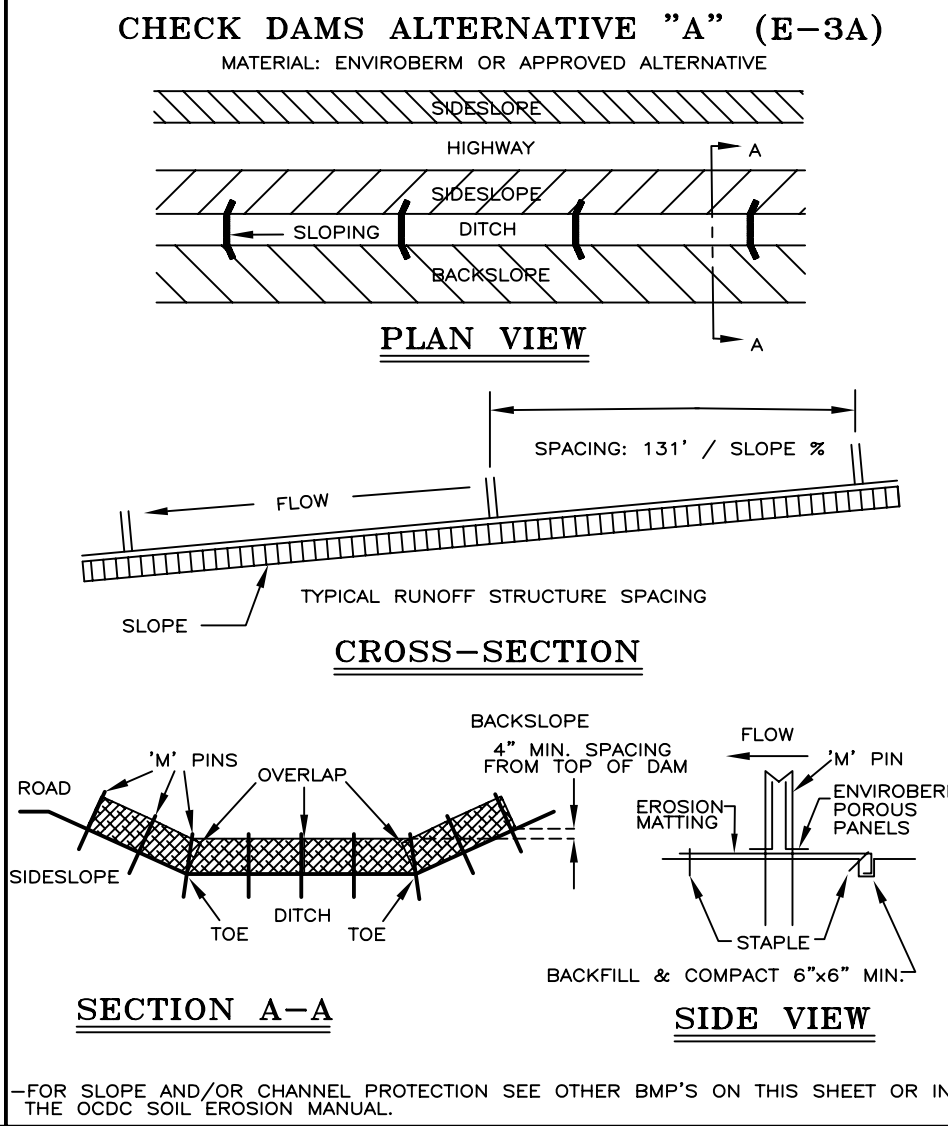
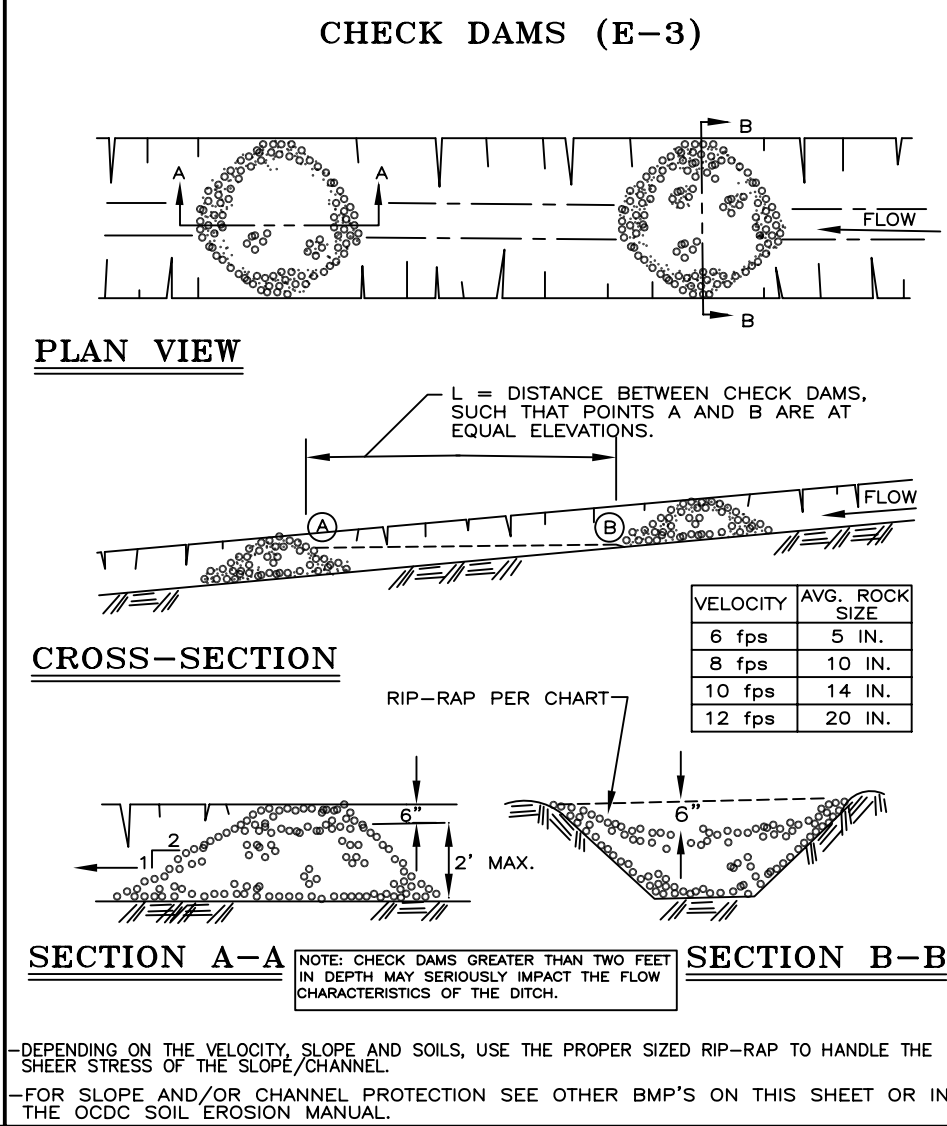
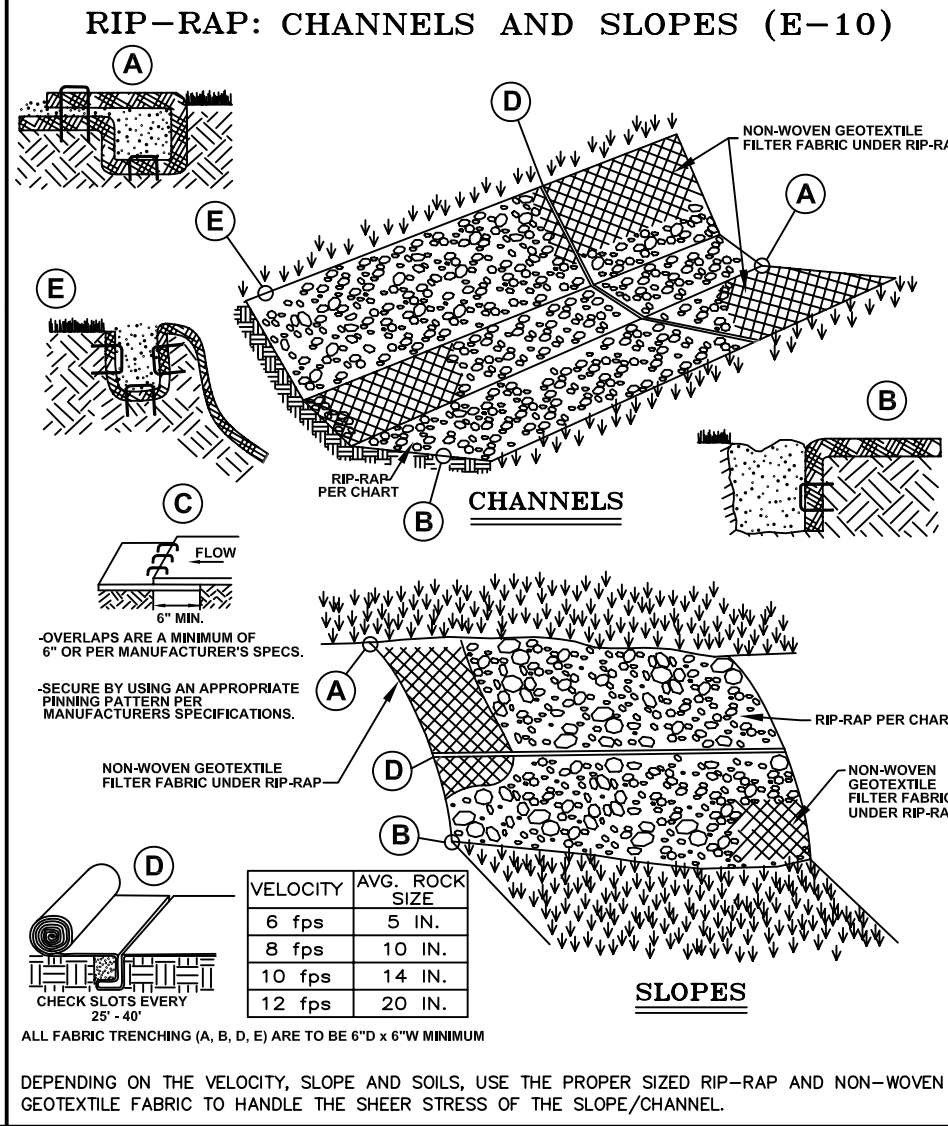
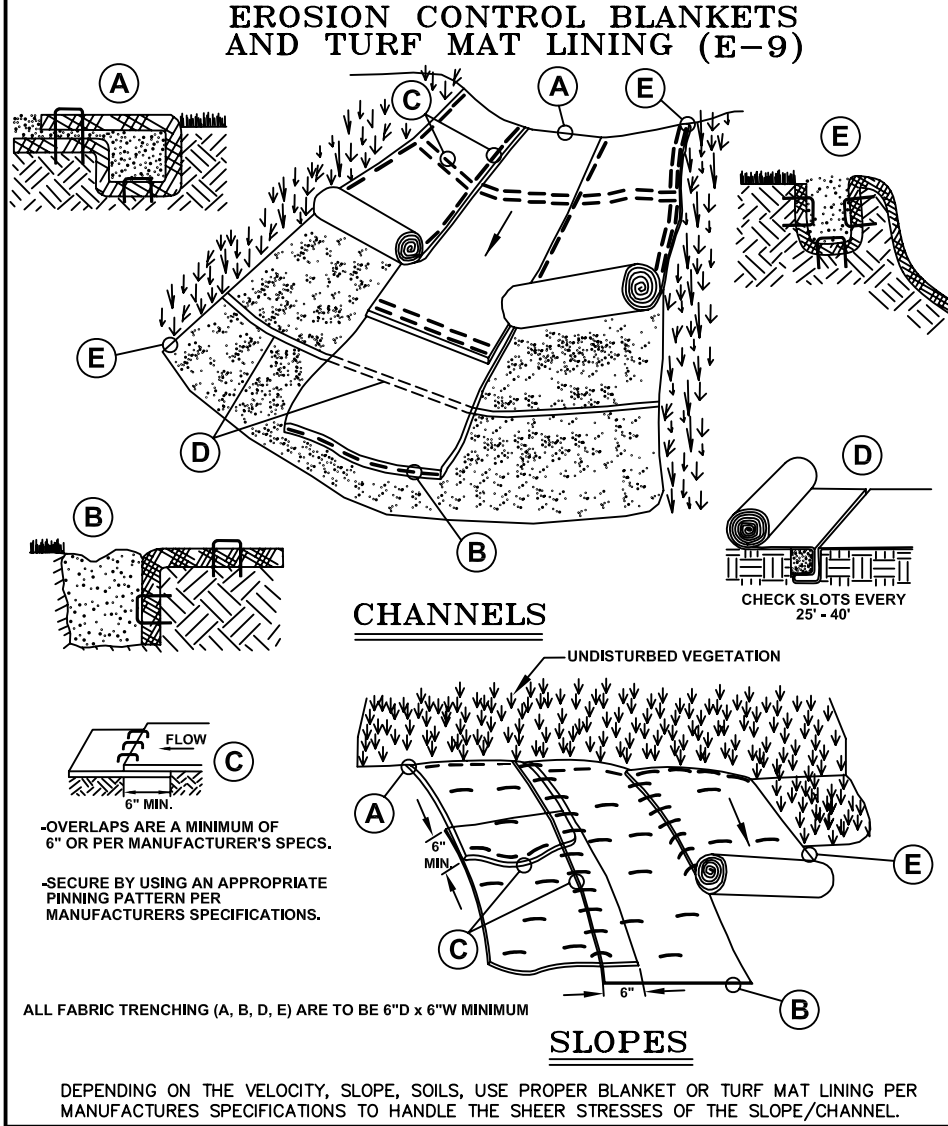


DITCH SEDIMENT TRAP
NO SCALE



STONE FILTER BERM
NO SCALE

CITY OF FARMINGTON HILLS OAKLAND COUNTY, MI		ENGINEERING DIVISION	
STANDARD DETAIL DRAWINGS		JOB NO.	SCALE: HORIZ. NA VERT. NA
		DRAWN: CADATOMIC	DATE: 7/1/13
		DESIGNED BY: FH	DATE: 7/1/13
		CHECKED BY:	DATE:
		APPROVED BY:	DATE:
SHEET 1 OF 1		DIRECTOR, PUBLIC SERVICES DEPT.	



NOTE:

ALL OF THE DETAILS SHOWN ON THIS SHEET, ALONG WITH INFORMATION PERTAINING TO PLAN PREPARATION, DESIGN CRITERIA AND GENERAL NOTES, ETC., ARE INCLUDED IN THE OAKLAND COUNTY DRAIN COMMISSIONER'S EROSION CONTROL MANUAL. PLEASE CONTACT THE EROSION CONTROL UNIT AT (248) 858-5389 TO OBTAIN A COPY OF THE MANUAL.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REVISION BLOCK			
Rev.	By	Date	Description
1	OCDC	01/01/01	APPROVAL
2	OCDC	01/01/01	APPROVAL
3	OCDC	01/01/01	APPROVAL
4	OCDC	01/01/01	APPROVAL

ORG. DATE: 01/01/01

SCALE: NONE

DESIGNED BY: OCDC

DRAWN BY: OCDC Mapping

OAKLAND COUNTY DRAIN COMMISSIONER (248) 858-5389

ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907

SHEET NO.: 1 of 1

December 5, 2025

Farmington Hills Planning Commission
31555 W 11 Mile Rd
Farmington Hills, MI 48336

Site Plan Review

Case: SA 68-11-2025
Site: 24535 Hallwood
Applicant: Allow Investment LLC
Plan Date: 08/04/2025 rev. 10/27/2025
Zoning: LI-1

We have completed a review of the application for site plan approval and a summary of our findings is below. Items in **bold** require specific action. Items in *italics* can be addressed administratively.



SUMMARY OF FINDINGS

Findings requiring administrative corrections:

Findings requiring additional action:

Existing Conditions

1. **Zoning.** The parcel is zoned LI-1, Light Industrial District and the Future Land Use Designation is Freeway Redevelopment.
2. **Existing site.** The site is approximately 2.154 acres and includes an existing 25,939 sf building with access to Hallwood Ct. Existing parking facilities are east of the building, in the side yard. The parcel is irregularly shaped, with a pointed rear yard.
3. **Adjacent properties.**

Direction	Zoning	Land Use
North	LI-1	Industrial
East	LI-1	Industrial
South	M-5 Highway	M-5 Highway
West	LI-1	Industrial

4. **Site configuration and access.** The plan proposes to maintain the existing curbcut onto Hallwood ct.

Site Plan & Use:

1. **Proposed.** The applicant is proposing to expand an existing granite/cabinet shop. The building currently consists of a warehouse and showroom, and the expansion will expand the warehouse by 9,829 sf. "Storage facilities for building materials, sand, gravel, stone, lumber, open storage for construction contractor's equipment and supplies" is listed as a principal permitted use in the LI-1 District.
2. **Dimensional Standards (LI-1 district).**

Item	Required	Proposed/Comments
Front Yard Setback (34-3.1.29.E)	50 ft min	66.1 feet
Side Setback (34-3.1.29.E)	10 ft min.	11.94'/ 38.4'
Rear Setback (34-3.1.29.E)	20 ft min.	>20 ft.
Yard landscaping (34-3.5.2.A)	For all uses except one-family detached residential units, landscaping of all yards abutting a street shall be provided	See landscaping comments below.
Building Height (34-3.1.29.E)	50 ft/3 stories max	24 feet
Side Street Setbacks	The property is not adjacent to a side street	N/A
Loading space (34-3.5.2.N)	35,768: 2 required	2; one interior, one exterior
Visitor Spaces (34-3.5.2.S)	Visitor spaces may be permitted in the front yard.	No front yard parking proposed.

Outside Storage	Rear yard only	<i>None identified on the plans. If any outdoor storage will occur, it shall be identified on the plans.</i>
Rooftop equipment (34-3.5.2.U.)	Rooftop equipment shall be screened in accordance with Section 34-5.17.	<i>Location of any mechanical equipment shall be identified on the plans. Current equipment is not screened.</i>
Landscape area abutting street or freeway (34-3.5.2.V.)	A landscaped area not less than ten (10) feet deep	<i>A landscape plan was not provided. The area between the building and M-5 is left open, but is occupied by a 20-foot storm sewer easement, which precludes planting of trees. The site is screened from M-5 by extensive vegetation in the M-5 right-of-way.</i>

3. **Applicable Use Standards for LI-1 (34-3.14).**

All properties in LI-1 are subject to site plan review, and lots within 300 feet of residential shall be Special Land Uses. All uses shall comply with the performance standards of Chapter 17, Article VII. This property is not within 300 feet of residential. Outdoor storage in rear yard only. *No outdoor storage is proposed or shown on the plans.*

4. **Use Standards for Storage Facilities for Building Materials, , sand, gravel, stone, lumber, open storage for construction contractor's equipment and supplies (34-4.47).** The use must be fully enclosed or provide a walled enclosure. *No outdoor storage is proposed or shown on the plans.* Lots within 300 feet from residential shall not be occupied by such use. *This property is greater than 300 feet from residential.*
5. **Dumpster (34-5.1.2.D).** The applicant proposed a dumpster. The proposed dumpster includes an enclosure. It appears that the pad and apron are concrete, though this is not labeled.
6. **Mechanical Equipment (34-5.1.4.D).** Any new mechanical equipment must be properly located and screened. *No mechanical equipment identified on the plans.*
7. **Minimum parking (34-5.2.11.D.iii).**

Use	Requirement	Provided
Warehouses and Wholesale Establishments and related accessory offices	<p>The greater of three spaces plus one additional for each 1.5 employees</p> <p>OR</p> <p>Three spaces plus 1 for every 1,300 SF UFA $UFA = 0.6 * 35,768 = 21,460.8$ $21,460.8 / 1,300 = 16.508 + 3 = \underline{20 \text{ Spaces}}$</p>	<p><i>22 spaces; PC may approve up to 20% additional spaces beyond the minimum required</i></p> <p><i>The number of employees shall be provided</i></p>

Off-street parking dimensions (34-5.3.3.A & B.).

Item	Required	Proposed/Comments
Maneuvering lane width	20 ft.	Not provided
Parking space width	9 ft.	Not Provided
Parking space length	20 ft. for minimum required (May include a maximum two-foot unobstructed vehicle overhang area at the front of the parking space.) 17 ft. for additional parking (May include a maximum one-foot unobstructed vehicle overhang area at the front of the parking space)	Not provided

8. **Barrier Free Parking.** Two van accessible spaces are proposed.
9. **Acceleration-Deceleration-Passing Lanes (34-5.6.2.)** Driveways providing ingress and egress to all three-lane paved major or secondary thoroughfares shall be provided with paved acceleration and deceleration lanes. If in the opinion of the director of public services no useful purpose would be served or if unusual difficulty would be encountered by reason of grade changes, intersections, bridges, or other land restrictions, the director may waive or modify the requirements of this section. Potential lanes are shown on SP-03. *We defer to engineering to address this issue.*
10. **Corner Clearance (34-5.10).** No change to the existing. *Corner clearance triangles should be indicated on the plan, though it appears that the driveway is compliant.*
11. **Building.** The building will maintain its existing façade, with the rear addition to match. Building design standards will not apply to this addition given its location in the rear of the site, behind the existing building.
12. **Landscape Development (34-5.14).** **Required landscape and tree removal plans were not provided.**

Item	Required			Proposed/Comments
Minimum distance from the property line (34-5.14.C.ii)	4 ft from the property line for trees and large shrubs			
Minimum parking lot island area	Minimum of 180 square feet; 3 feet minimum radius at the trunk of the tree			
Cost estimate	None Required			
Minimum size and spacing requirements (34-5.14.F)	Size	Center to center distance (max)		
	(Height/width)	groupings	rows	
• Evergreen Trees	8 ft. height	20 ft.	12 ft.	
• Narrow Evergreen Trees	5 ft. height	10 ft.	5 ft.	

• Large Shrubs	30 in. height	10 ft.	5 ft.	
• Small Shrubs	24 in. width	4 ft.	4 ft.	
• Large Deciduous	3 in. caliper	30 ft.	-	
• Small deciduous trees	2 in. caliper	15 ft.	-	
• Hedge shrubs	24 in. height	3 ft.	3 ft.	
Canopy Trees	Shall be large deciduous. PC may permit large evergreens			
Minimum number of parking lot trees (34-5.14.4.C)	1 per every 2,800 square feet of paved surface area			
Parking lot screening from public thoroughfare (34-5.14.5)	A planted hedge of small shrubs, or A masonry wall or berm of 2 feet high			
Wall or Berm (34-5.15)	Required when abutting a residential district. (See 34-5.15)			
Tree replacement (34-5.18)	Four regulated trees documented; none proposed to be removed.			

13. Lighting

Operation hours (34-5.16.3.B.v.). *The following notes must be added to or addressed on the plan; it is unclear from the existing plans whether these standards are met. The applicant should clarify as to how these standards are met.*

- i. Exterior lighting shall not operate during daylight hours.
- ii. Building façade and landscape lighting shall be turned off between midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
- iii. All other exterior lighting shall be reduced to no greater than 70% of maximum from midnight or one hour after close of business, whichever is later, and 6:00am or opening, whichever is earlier.
- iv. Use of occupancy sensors to turn off or reduce lighting within 15 minutes of zero occupancy is recommended.

a. Illumination Levels. *Sheet SP6 shows proposed pole- and wall-mounted fixtures; the pole-mounted fixtures appear to be compliant with cut-off requirements, but the wall-mounted fixtures are not. A photometric plan was not provided, so lighting levels cannot be reviewed at this time.*

Item	Required	Proposed/Comments
Maximum height (34-5.16.3.A.)	35 feet maximum	18 feet maximum
Building Lighting (34-5.16.3.A. iii.)	Relevant building elevation drawings showing all fixtures and the portions of the walls to be illuminated	<i>Building elevation photometrics not shown</i>

Item	Required	Proposed/Comments
Average to minimum illumination ratio (34-5.16.3.C)	4:1	Not provided
Maximum illumination at the property line	0.3 fc	
Illumination Levels- Hardscape areas (e.g., parking areas, sidewalks)	2.5 lumens per sq ft of hardscape area maximum	Not provided
Illumination Levels Building Entrances – within 20 ft of door	2,000 lumens per door maximum	Not provided

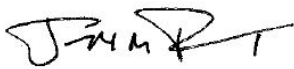
14. Additional lighting standards for sites abutting a residential district (Sec. 34-5.16.3.B.iii.)

- No direct light source shall be visible at the property line (adjacent to residential) at ground level. **As noted above, proposed wall sconces do not meet the cut-off requirement of Section 34-5.16.**
- Maximum illumination at the property line shall not exceed one-third (1/3) foot-candle. **No information provided.**
- All fixtures mounted within 50 feet of a residential property line or public right-of-way boundary shall be fitted with a shielding reflector on the side facing the residential property line or public right-of-way. *No residential property is within adjacent to this site.*

15. Pedestrian Connection (Sec. 34-5.19). There is no public sidewalk to connect to.

We are available to answer questions.

Respectfully,
Giffels Webster



Joe Tangari, AICP
Principal Planner



Julia Upfal, AICP
Senior Planner



DEPARTMENT OF PUBLIC SERVICES
JACOB RUSHLOW, P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

DATE: December 2, 2025

TO: Charmaine Kettler-Schmult, Director of Planning & Community Development

FROM: Mirandi Alexander, Civil Engineer II

SUBJECT: Addition to Granite and Cabinet Shop
PJ # 19-25-165
24535 Hallwood Ct
SP# 68-11-2025
22-23-19-426-035

This office has performed a preliminary review of the above referenced revised site plan submitted to the Planning Department on November 6, 2025. Our preliminary comments are as follows:

1. A soil erosion permit and inspection will be required.
2. An 8" watermain exists along the west side of the property. The watermain has been extended on the East side to meet the fire hydrant coverage for the site. Ensure that the watermain is outside of the sanitary sewer easement.
3. An 8" sanitary sewer exists along the east side of the building. The sanitary sewer must be located on the utility plan. The existing sewer lead must be televised in advance of construction review, and any deficiencies or infiltration/inflow issues will need to be corrected. It is also unclear if an easement on this public sanitary sewer exists. If it does not, a new easement must be provided.
4. It appears additional hard surface is being added to the site. Confirm that the existing detention pond has enough storage to meet the new requirement. The detention pond will also require a clean-out. An as-built plan will be required post clean to confirm the storage is met.
5. Our environmental engineer will have additional comments attached.



DEPARTMENT OF PUBLIC SERVICES
JACOB RUSHLOW, P.E., DIRECTOR

City of Farmington Hills
Environmental Review

Project Name: Addition to Granite & Cabinet Shop

Address: 24535 Hallwood Rd.
SP#: 68-11-2025
Plan Dated: 10-27-2025

Plan Received: 11-13-2025
Review #: 1
Review Date: 12-4-2025

As requested, I have conducted a plan review of the above reference engineering plans. I have the following comments:

1. Provide water quality treatment prior to stormwater discharge into the detention pond.
2. Confirm the detention pond has capacity to handle the increased impervious cover on the site per Oakland County Water Resources standards. Also, the detention pond should be cleaned and inspected to ensure that inlets, outlets, and vegetation are in the condition of the originally approved plans.
3. The plans must include a long-term operations and maintenance plan. An example of such can be found in the OCWRC stormwater standards.

Should you have any questions, please do not hesitate to call.

Respectfully submitted,

A handwritten signature in black ink that reads 'Tyler Sonoga'.

Tyler Sonoga
Civil/Environmental Engineer
Department of Public Services

cc: City of Farmington Hills, M. Saksewski



FIRE

FARMINGTON HILLS



INTEROFFICE CORRESPONDENCE

DATE: November 20, 2025

TO: Planning Commission

FROM: Jason Baloga, Fire Marshal

SUBJECT: Review for Site Plan 68-11-2025 – 24535 Hallwood Rd., #22-23-19-426-035,
Proposed Addition to Granite & Cabinet Shop, A R Samona Construction

The Farmington Hills Fire Department has no objections to the submitted plans contingent upon compliance with the following:

1. Based upon the information provided, it appears that a suppression system shall be installed based upon the scope of the project. Please ensure plans are submitted to the Fire Department for review and permit approval process.
 - a. Suppression design shall also incorporate any storage/rack storage.
2. The site shall accommodate Fire Apparatus with a 50' turning radius. The plans provided appear close and will be verified by Engineering.
3. The building shall be maintained in accordance with minimum Fire Prevention code requirements.
4. Underground Storage Tanks on site shall be maintained in accordance with State of Michigan requirements.

A blue ink signature of Jason Baloga, Fire Marshal.

Jason Baloga, Fire Marshal

JB/ss

WAREHOUSE ADDITION

24535 Hallwood Ct, Farmington Hills, MI 48335

Received
NOV 06 2025

City of Farmington Hills
Planning Dept.

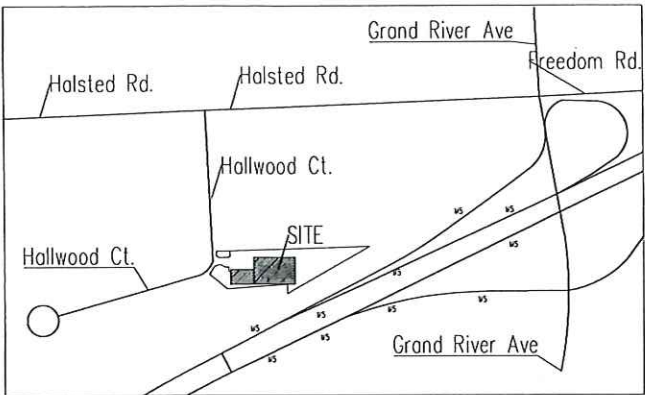
PROJECT:

WAREHOUSE
ADDITION

LOCATION:

24535 Hallwood Ct,
Farmington Hills, MI
48335

Application Type	Applicable Code & Edition
Commercial / Multi-family Electrical (all types) Plumbing Mechanical Energy (non-residential) Rehabilitation (Existing) Boilers Elevators & Chairlifts Accessibility Residential detached dwellings Residential fire suppression	<ul style="list-style-type: none">- 2021 Michigan Building Code- NEC 2023 + Michigan Part 8 amendments- Michigan Plumbing Code 2021- Michigan Mechanical Code 2021- Michigan Commercial Energy Code 2021- Michigan Rehab Code 2021- ASME codes + National Board + Act 407- ASME A17/A18/etc + Safety Board rules- MI Barrier Free Law + A117.1-2017- 2015 Michigan Residential Code- NFPA 13D /13R (2013) Under 2015 MRC



SITE LOCATION
N.T.S

Design Professional

A&M
CONSULTANTS



ADNAN AL-SAATI
835 MASON ST B290
DEARBORN, MI 48124
PH:(313)582-0022
FAX:(313)582-0028
aboled@yahoo.com

Site Information

PROJECT INFORMATION:
BUILDING DESCRIPTION
-PARCEL ID: 22-23-19-426-035
-LAND SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
A PARCEL OF LAND IN AND BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 19, TOWN 1 NORTH, RANGE 9 EAST, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT S 02°12'20" E 1239.73 FEET AND S 87°32'20" W 596.26 FEET FROM THE EAST 1/4 CORNER OF SECTION 19, TOWN 1 NORTH, RANGE 9 EAST, AND PROCEEDING THENCE S 02°36'20" E 779.12 FEET; THENCE N 25°42'20" W 502.63 FEET; THENCE N 87°23'40" E 42.00 FEET; THENCE N 02°36'20" W 259.77 FEET; THENCE N 41°53'08" E 112.49 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS OF 81.16 FEET, CENTRAL ANGLE 44°20'48", AN ARC DISTANCE OF 62.82 FEET AND WHOSE CHORD BEARS S 70°17'16" E A DISTANCE OF 61.27 FEET; THENCE N 87°36'20" E 19.49 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART TAKEN FOR HALLWOOD COURT.
-ZONING: L I - 1 (LIGHT INDUSTRIAL)
-USE GROUPS: B+S-1
-SITE PROPERTY AREA =93,826 sq.ft=2.154 Acres
SITE REQUIREMENTS:
-Min. FRONT SETBACK =50ft (from the street right-of-way R.O.W)-Sec.34-3.1.29)
-Min.REAR SETBACK =20 ft
-Min. SIDE SETBACK =10ft adjacent to another industrial, or 20ft when abutting residential zoning.
-Max. BUILDING HEIGHT =60ft
-MAX. STORIES (sec.34-3.20)=3 stories
PROVIDE
-Min.FRONT =66.1 ft.....OK -Min.REAR =89.52 ft.....OK
-Min.SIDES = 23.31ft -11.94ft...OK
-HEIGHT OF BUILDING(15'-20') < 25 ft -ONE STORY
SITE DATA:
-EXISTING BUILDING AREA =25,939 sq.ft
-PROPOSED ADDITION BUILDING AREA =9,829sq.ft
-TOTAL BUILDING AREA =35,768 sq.ft
-FLOOR AREA RATIO(FAR)%=35768/93826=38.1%<50%..OK
PARKING SPACE REQUIRED:
Per ordinance rule: 3 spaces + 1 per 1,300 sq.ft of usable floor area
Number of spaces=3+ 35768x0.8/1300=22 spaces
provide =22 spaces
Include =2 Handicap
OCCUPANT LOAD:
-OCCUPANT LOAD FACTOR(BUSINESS B-OFFICES) =150 (sq.ft/person)
6845x0.8/150=36.5 OCCUPANT+(STORAGE (S-1)-WAREHOUSE)28923x0.8/300=77-TOTAL
OCCUPANT LOAD =36.5+77=114 people
-Min. Number of Exits (sec.1006):
-FOR OCCUPANT LOAD 1-500-Min 2 exits req.
-Max. Travel Distance=200 ft.-NO Sprinklered
CONSTRUCTION TYPE:
-TYPE 11A -Noncombustible(concrete,steel)

Sheet Index

COVER SHEET

SP-01	EXISTING SITE PLAN/SITE TOPO
SP-02	PROPOSED SITE PLAN
SP-03	DETAILS
SP-04	FIRE TRUCK CIRCULATION
SP-05	UTILITY PLAN
SP-06	LIGHTING PLAN
A-01	FLOOR PLAN
A-02	ELEVATIONS

SP 68-11-2025



DATE: 08/04/2025

REV.:10/27/2025

COVER SHEET

WAREHOUSE ADDITION

24535 HALLWOOD
CT
FARMINGTON, ME

835 MASON ST. B240.
DEARBORN, MI-48124
PH: (313) 582-0022
FAX: (313) 582-0028

A.H

APPROVED BY:

REVISIONS:

08/04/2025
10/16/2025
10/27/2025

PROJECT NO
122-25

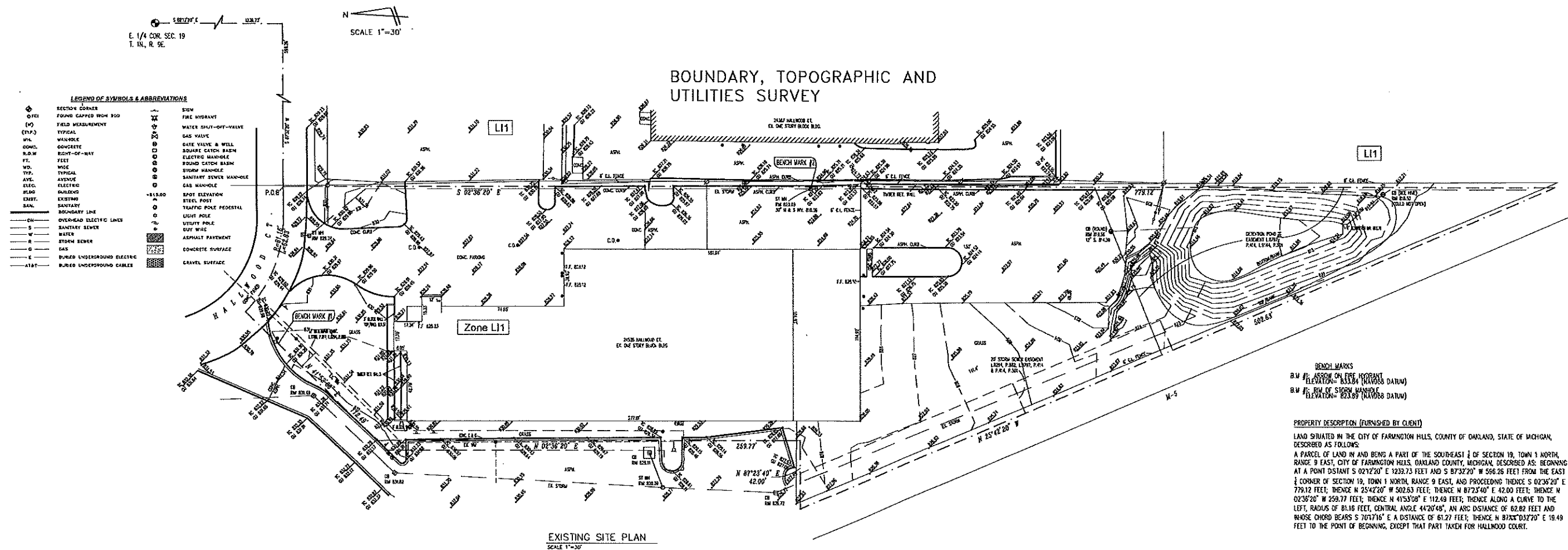
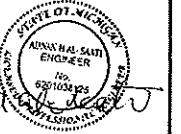
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06/30/2025
SCALE
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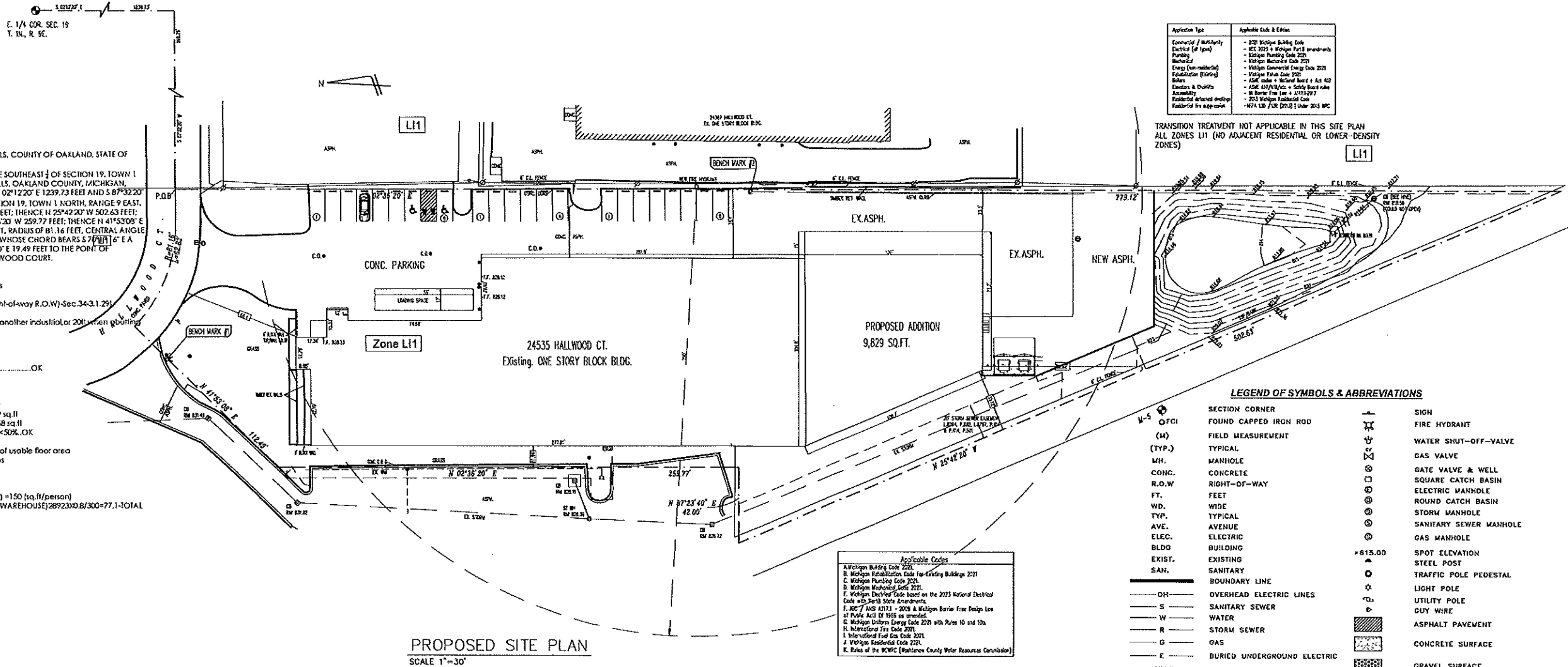
EXISTING
SITE PLAN

SP 1

SEAL



PROJECT INFORMATION:
BUILDING DESCRIPTION:
-PARCEL ID: 23-23-19-426-035
-LAND SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:
A PARCEL OF LAND IN AND BEING A PART OF THE SOUTHEAST 1/4 OF SECTION 19, TOWN 1 NORTH, RANGE 9 EAST, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT S 02°12'20" E 1239.73 FEET AND S 87°32'20" W 596.26 FEET FROM THE EAST 1/2 CORNER OF SECTION 19, TOWN 1 NORTH, RANGE 9 EAST, AND PROCEEDING THENCE S 02°36'20" E 779.12 FEET; THENCE N 25°42'20" W 502.63 FEET; THENCE N 87°23'40" E 42.00 FEET; THENCE N 02°36'20" W 259.77 FEET; THENCE N 41°53'08" E 112.49 FEET; THENCE ALONG A CURVE TO THE LEFT, RADIUS OF 81.16 FEET, CENTRAL ANGLE 44°20'48", AN ARC DISTANCE OF 62.82 FEET AND WHOSE CHORD BEARS S 7°41'16" E A DISTANCE OF 61.27 FEET; THENCE N 87°34'32" E 19.49 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART TAKEN FOR HALLWOOD COURT.
-ZONING: L1-1 (LIGHT INDUSTRIAL)
-USE GROUPS: B-1, S-1
-SITE PROPERTY AREA: =93,826 sq. ft. =2.154 Acres
-SITE REQUIREMENTS:
-Min. FRONT SETBACK =50ft (from the street right-of-way R.O.W.)-Sec.34-3.1.291
-Min. REAR SETBACK =20 ft
-Min. SIDE SETBACK =10ft adjacent to another industrial or 20ft when abutting residential zoning.
-Max. BUILDING HEIGHT =60ft
-MAX. STORIES (sec.34-3.23)=3 stories
-PROVIDE:
-Min. FRONT =66.1 ft...OK -Min. REAR =89.52 ft...OK
-Min. SIDES = 23.31 ft -11.94 ft...OK
-HEIGHT OF BUILDING (15-20) < 25 ft -ONE STORY
-SITE DATA:
-EXISTING BUILDING AREA =25,939 sq. ft.
-PROPOSED ADDITION BUILDING AREA =9,829 sq. ft.
-TOTAL BUILDING AREA =35,768 sq. ft.
-FLOOR AREA RATIO (FAR) =35768/93826=38.1%<50% OK
-PARKING SPACE REQUIRED:
Per ordinance rule: 3 spaces + 1 per 1,300 sq. ft. of usable floor area
Number of spaces = 3 + 35768/1300 = 22 spaces
provide = 22 spaces
Include = 2 Handicap
OCCUPANT LOAD:
-OCCUPANT LOAD FACTOR (BUSINESS & OFFICES) =150 (sq. ft./person)
68450.8/150=36.5 OCCUPANT (STORAGE [S-1]-WAREHOUSE) 28923.0/8/300=77.1-TOTAL
OCCUPANT LOAD =36.5+77.1=114 people
-Min. Number of Exits (sec.1005):
-FOR OCCUPANT LOAD 1-500-Min 2 exits req.
-Max. Travel Distance=200 ft.-NO Sprinklered
CONSTRUCTION TYPE:
-TYPE IIA-Noncombustible(concrete, steel)



Application Type	Applicable Code & Edition
Commercial / Multifamily Building (all types)	- 2021 Michigan Building Code
Parking	- MCL 2021 + Michigan Part 8 amendments
Electrical	- Michigan Electrical Code 2021
Energy (non-residential)	- Michigan Mechanical Code 2021
Sanitation (Building)	- Michigan Sanitary Code 2021
Soils	- ASCE codes + National Board + Act 427
Fire & Smoke	- ASCE 157/14/15 + Safety based rules
Accessibility	- 911 Barrier Free Law + 5010.2021
Fire & Smoke	- 2021 Michigan Residential Code
Residential (all types)	- 2021 Michigan Residential Code
Residential (all types)	- 2021 Michigan Residential Code

TRANSITION TREATMENT NOT APPLICABLE IN THIS SITE PLAN
ALL ZONES L11 (NO ADJACENT RESIDENTIAL OR LOWER-DENSITY ZONES)

LEGEND OF SYMBOLS & ABBREVIATIONS

SECTION CORNER	—	SIGN
FOUND CAPPED IRON ROD	—	FIRE HYDRANT
FIELD MEASUREMENT	—	WATER SHUT-OFF-VALVE
(TYP.)	—	GAS VALVE
M.H.	—	GATE VALVE & WELL
CONC.	—	SQUARE CATCH BASIN
R.O.W	—	ELECTRIC MANHOLE
FT.	—	ROUND CATCH BASIN
WD.	—	STORM MANHOLE
TYP.	—	SANITARY SEWER MANHOLE
AVE.	—	GAS MANHOLE
ELEC.	—	SPOT ELEVATION
BUILDING	—	STEEL POST
EXIST.	—	TRAFFIC POLE PEDESTAL
SAN.	—	LIGHT POLE
BOUNDARY LINE	—	UTILITY POLE
OVERHEAD ELECTRIC LINES	—	GUY WIRE
SANITARY SEWER	—	ASPHALT PAVEMENT
WATER	—	CONCRETE SURFACE
STORM SEWER	—	GRAVEL SURFACE
GAS	—	
BURIED UNDERGROUND ELECTRIC	—	
BURIED UNDERGROUND CABLES	—	

Applicable Codes
A. Michigan Building Code 2021
B. Michigan Sanitary Code 2021
C. Michigan Plumbing Code 2021
D. Michigan Mechanical Code 2021
E. Michigan Electrical Code 2021
F. ASCE / AWS 157.1 - 2015 + Michigan Barrier Free Design Law of Public Act 117 of 1995 as amended
G. Michigan Uniform Energy Code 2021 with Rules 10 and 10a
H. International Fire Code 2021
I. International Fuel Gas Code 2021
J. Michigan Residential Code 2021
K. Rules of the MWPC (Washtenaw County Water Resources Commission)

PROPOSED SITE PLAN
SCALE 1"=30'

PROJECT:
WAREHOUSE ADDITION

LOCATION:
24535 HALLWOOD CT
FARMINGTON, MI

A & M
CONSULTANTS

835 MASON ST. B240
DEARBORN, MI-48124
PH:(313) 582-0022
FAX:(313) 582-0028

DRAWN BY:
A.H

APPROVED BY:
ADNAN AL-SAAFI

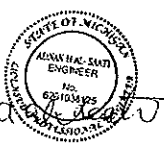
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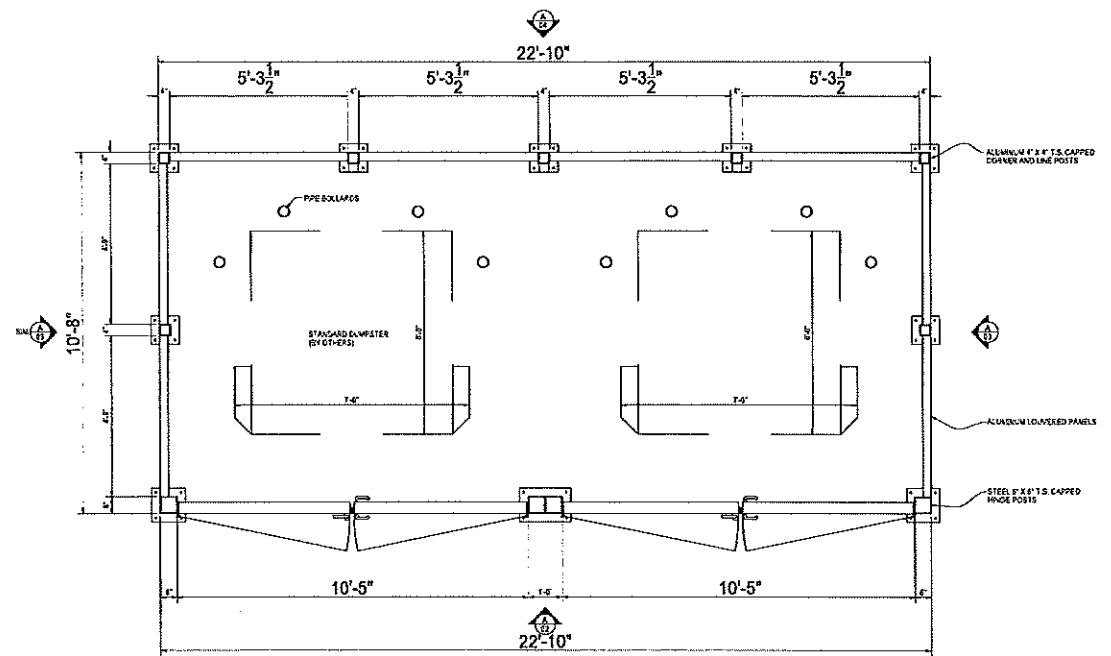
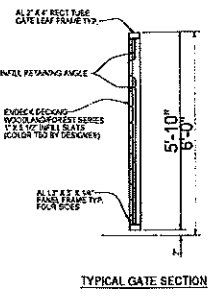
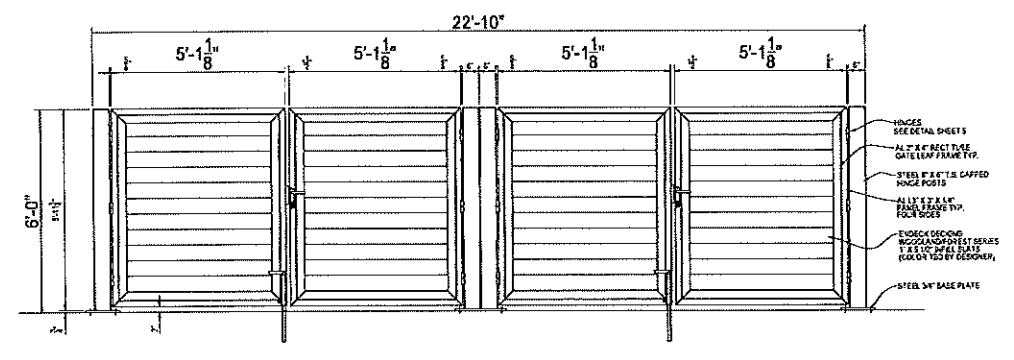
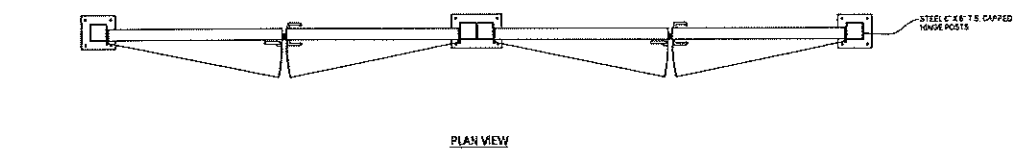
REVISIONS:
08/04/2025
10/16/2025
10/27/2025

PROJECT NO
122-25
DATE
06/30/2025
SCALE
NOTED
SHEET TITLE
PROPOSED
SITE PLAN

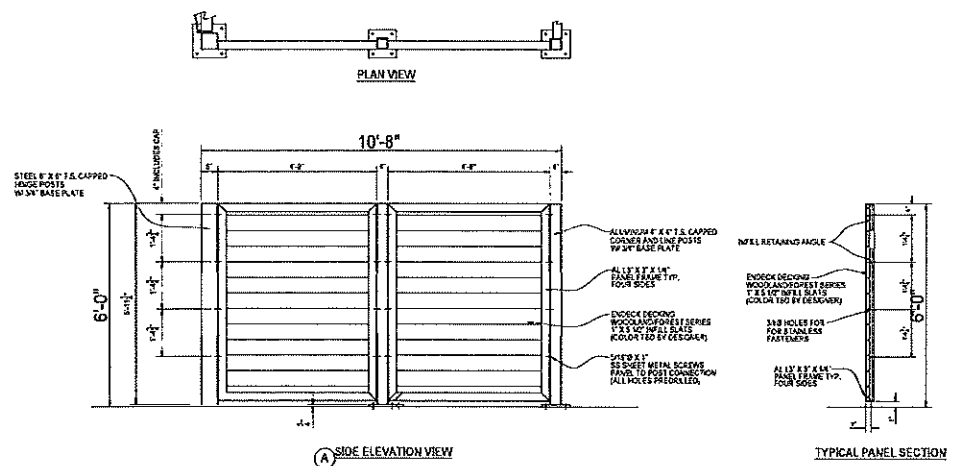
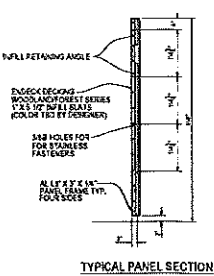
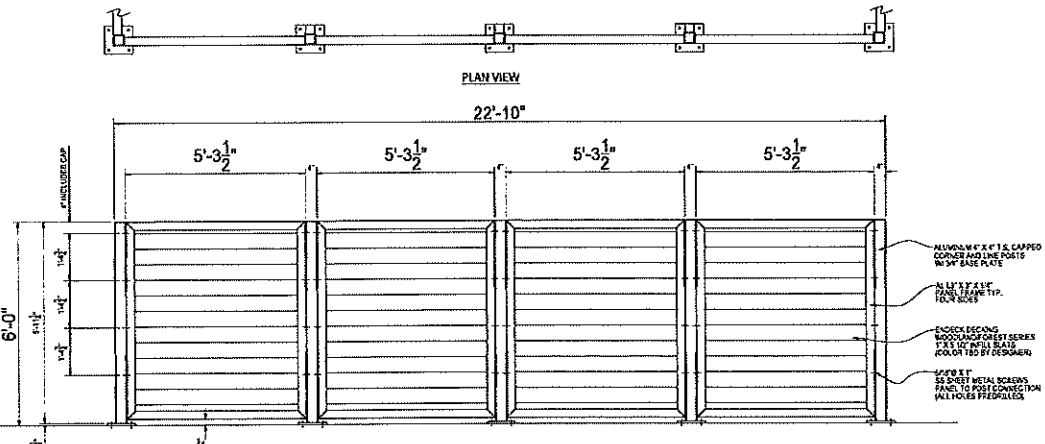
SP2

SEAL





PLAN VIEW @ DUMPSTER ENCLOSURE



SIDE ELEVATION VIEW

TYPICAL PANEL SECTION

DUMPSTER ENCLOSURE 6' TALL STANDARD DOUBLE BAY

PROJECT:

WAREHOUSE ADDITION

LOCATION:

24535 HALLWOOD CT
FARMINGTON, MI

A & M
CONSULTANTS

835 MASON ST. B210.
DEARBORN, MI 48124
PH: (313) 582-0022
FAX: (313) 582-0028

DRAWN BY:

A.H

APPROVED BY:

ADNAN AL-SAAFI

SUBMITTALS

REVISIONS:

08/04/2025
10/16/2025
10/21/2025

PROJECT NO
122-25

DATE
06/30/2025

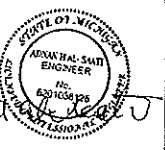
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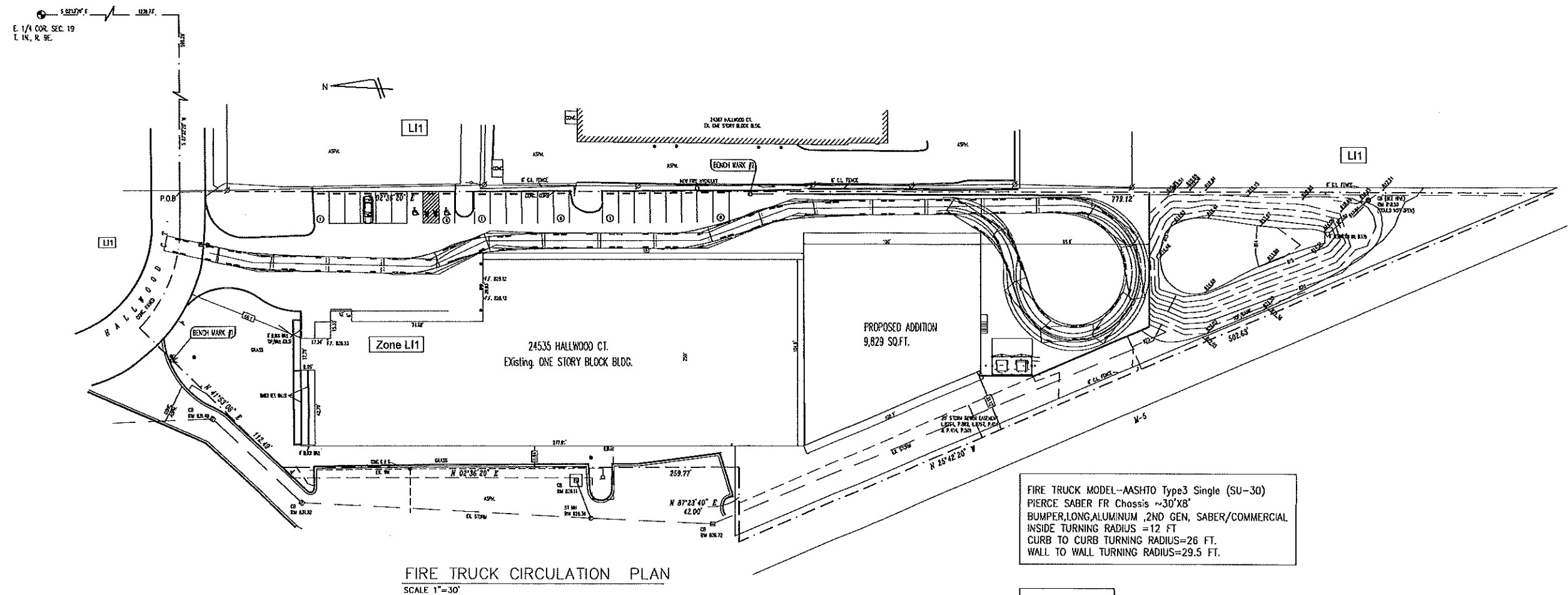
SHEET TITLE

DETAILS

SP3

SEAL





PROJECT:
WAREHOUSE ADDITION

LOCATION:
24535 HALLWOOD CT
FARMINGTON, MI

A & M
CONSULTANTS

835 MASON ST. B240.
DEARBORN, MI-48124
PH: (313) 582-0022
FAX: (313) 582-0028

DRAWN BY:
A.H

APPROVED BY:
ADNAN AL-SAAFI

SUBMITTALS

REVISIONS:
08/04/2025
10/16/2025
10/21/2025

PROJECT NO
122-25

DATE
06/30/2025

SCALE
NOTED

SHEET TITLE
FIRE TRUCK CIRCULATION

SP4

SEAL

STATE OF MICHIGAN
ADNAN AL-SAAFI
ENGINEER
No. 670158
JUL 1 2025

PROJECT:
WAREHOUSE ADDITION

LOCATION:
24535 HALLWOOD CT
FARMINGTON, MI

A & M
CONSULTANTS

835 MASON ST. B240.
DEARBORN, MI-48124
PH: (313) 582-0022
FAX: (313) 582-0028

DRAWN BY:
A.H

APPROVED BY:
ADNAN AL-SAAFI

SUBMITTALS

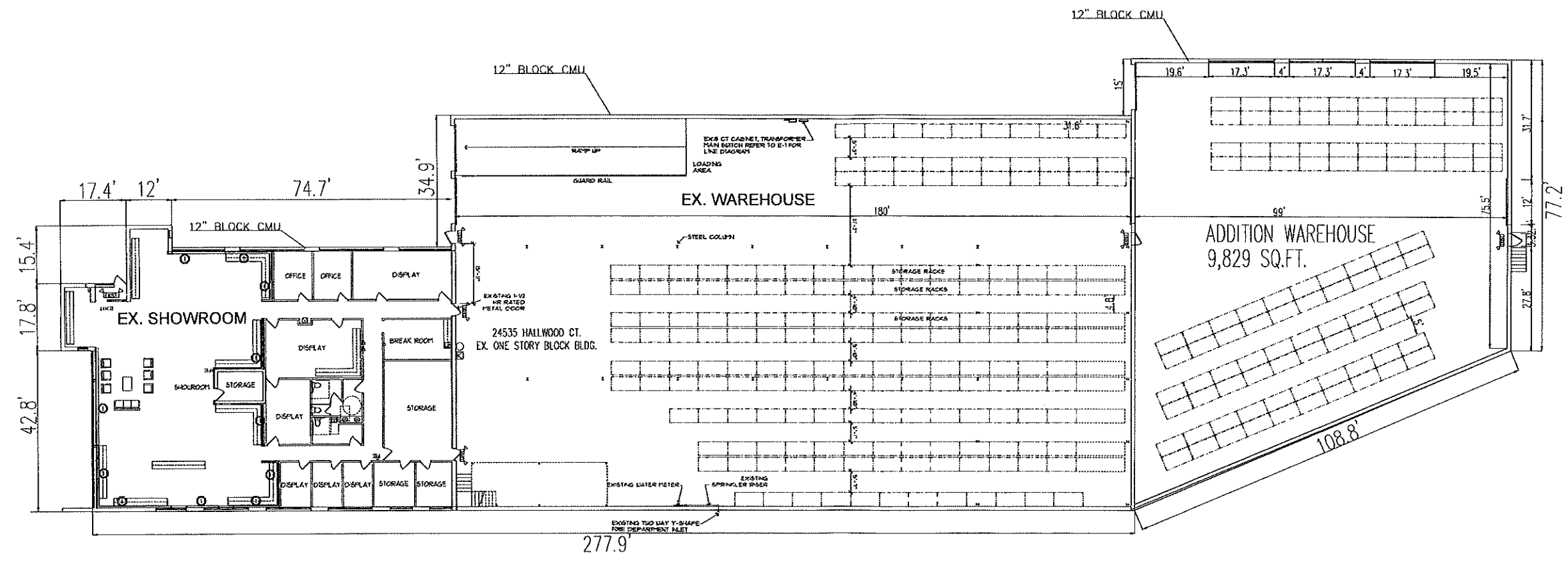
REVISIONS:
08/04/2025
10/16/2025
10/21/2025

PROJECT NO
122-25
DATE
06/30/2025
SCALE
NOTED

SHEET TITLE
FLOOR PLAN

A-01

SEAL



FLOOR PLAN

SCALE 1"=15'

PROJECT:
WAREHOUSE ADDITION

LOCATION:
24555 HALLWOOD CT
FARMINGTON, MI

A & M
CONSULTANTS

835 MASON ST. B240.
DEARBORN, MI-48124
PH: (313) 582-0022
FAX: (313) 582-0028

DRAWN BY:
A.H

APPROVED BY:
ADNAN AL-SAATI

SUBMITTALS

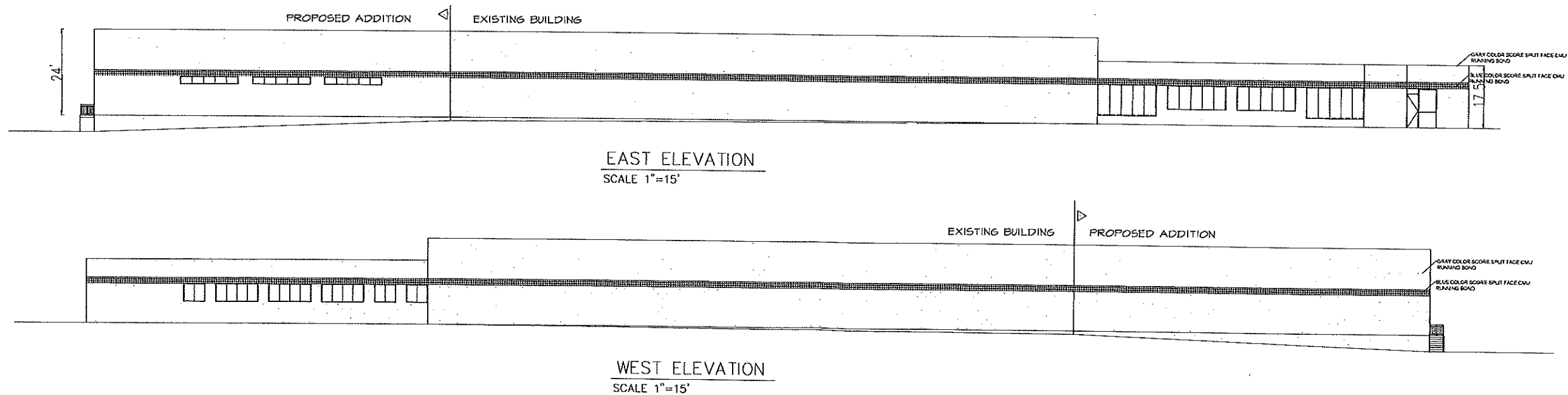
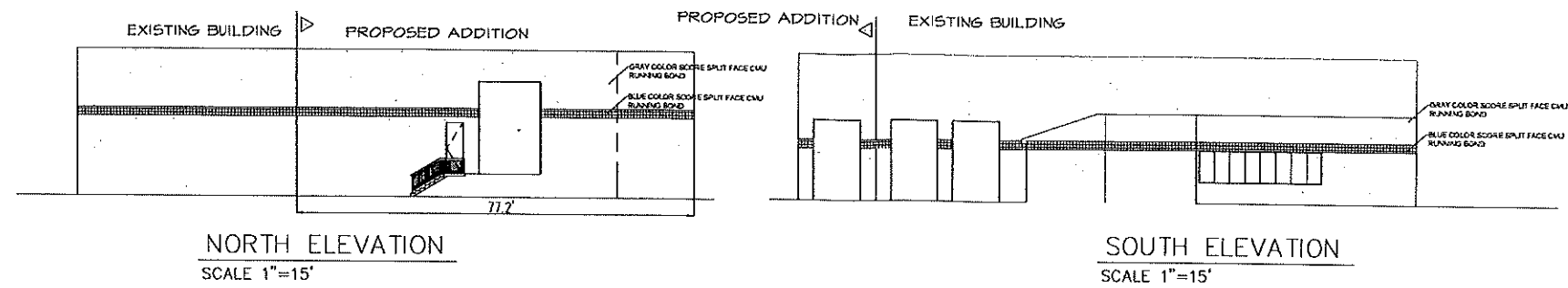
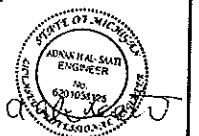
REVISIONS:
07/31/2025
10/16/2025
10/21/2025

PROJECT NO
122-25
DATE
06/30/2025
SCALE
NOTED

SHEET TITLE
ELEVATIONS

A-02

SEAL



**CITY OF FARMINGTON HILLS
PLANNING COMMISSION MEETING
31555 W ELEVEN MILE ROAD
FARMINGTON HILLS, MICHIGAN
NOVEMBER 20, 2025, 7:30 P.M.**

CALL MEETING TO ORDER

The Planning Commission Regular Meeting was called to order by Chair Trafelet at 7:30 p.m.

ROLL CALL

Commissioners present: Aspinall, Brickner, Countegan, Grant, Stimson, Ware, Trafelet

Commissioners Absent: Mantey

Others Present: Staff Planner Mulville-Friel, Planning Consultant Tangari (Giffels Webster), Staff Engineer Dawkins, City Attorney Schultz

APPROVAL OF THE AGENDA

MOTION by Aspinall, support by Grant, to approve the agenda as published.

Motion passed unanimously by voice vote.

PUBLIC HEARING

A. AMEND PLANNED UNIT DEVELOPMENT 12, 2014, INCLUDING SITE PLAN 60-7-2025

LOCATION:	12 Mile, west of Orchard Lake Road
PARCEL I.D.:	22-23-10-476-067
PROPOSAL:	Construct new fast-food restaurant with drive-through on a vacant outlot within B-4, Planned General Business District
ACTION REQUESTED:	Recommend to City Council
APPLICANT:	Ronald J. Sesi
OWNER:	SSFHC Real Estate, LLC

Applicant presentation

Members of the development team present this evening included:

Allen Eizember, Novak & Fraus Engineers

Ronald Sesi, applicant

Luke Liu, AECOM

Mr. Eizember made the following points:

- This proposal was to construct a Culver's restaurant on the site located west of the existing Comerica Bank and the Burger King at the intersection of 12 Mile Road and Orchard Lake Road.
- They had incorporated some of the comments and suggestions made at the October planning commission meeting, including changes to landscaping, architecture, and drive-through stacking spaces.
- Regarding the front yard setback: The front yard setback requirement was for 120 feet on a 200' deep lot. The proposed Culver's would have a 44.7' setback. To provide context, Comerica Bank and Burger King were set back approximately 65'. In both instances there was parking in front of the buildings along 12 Mile Road. Culver's would not have any front yard parking, only drive-through stacking and the bypass lane. Starbucks, which is part of the same PUD, has a 45'

setback on Orchard Lake Road, and has parking within 5' of the right-of-way. In comparison, the proposed Culver's plan provides more buffer between the right-of-way and the drive aisle than Starbucks currently has.

- Regarding stacking and circulation near the driveway off 12 Mile Road: To prevent queued vehicles from blocking the entrance, they had added an island at the southwest corner of the building near the patio area. This design is intended to direct cars in the drive-through queue northward rather than westward, maintaining clear two-way access around the west side of the building.

Planning consultant review

Referencing the November 12, 2025 Giffels Webster memorandum, Planning Consultant Tangari highlighted the following points:

- The three key items being requested via PUD amendment are:
 1. 34-3.1.26 – Permit a drive-in restaurant that is not permitted in the B-4 district
 2. 34-4.27.2 – Permit fast-food in a stand-alone building
 3. 34-3.1.24.E – Setback relief for front setback (reduction from 120' to 44.7')
- Other outstanding issues include:
 - No pedestrian access from the 12 Mile sidewalk
 - In addition to the 120' general setback requirement for the district, an additional 60' setback is required for a drive-through use.
 - Order confirmation boards are located on the south side of the building directed toward 12 Mile Road, with the pickup window on the east side. Order boards are not permitted within the front yard.
 - Regarding stacking, the plan shows five stacking spaces before the confirmation board, with two of those partially located on Parcel A. Eight additional stacking or pull-ahead spaces are shown beyond the window. Any spaces to be used for waiting for order should be notated on the plans.
 - Regarding landscaping, because of the reduced setback, the Planning Commission could require additional landscaping along 12 Mile Road.
 - Regarding lighting, the photometric plan showed numerous values in excess of 0.3 footcandles at the property line interior to the site; this is appropriate. However, the 0.3 footcandles should be observed at the southern property line. Additionally, proposed lighting exceeds the required 4:1 uniformity ratio. Staff were unable to review whether the site meets the maximum illumination of 2.5 lumens per square feet of pavement area. Other lighting details needed to be provided as noted in the review.
 - EIFS is limited to an accent material (less than 40% of façade) located not less than 8 feet above grade; this standard is not met; multiple fields of this material are located below 8 feet; percentage not known. Separate from relief granted under a PUD, the planning commission may grant relief from building material requirements when it finds that the materials are consistent with surrounding development and the waiver will achieve a specific architectural objective.
 - Buildings facing a major thoroughfare are required to have 60% window coverage on the ground floor. This standard appears not to be met on the southern façade. Separate from relief granted under a PUD, the planning commission may grant relief from building material requirements when it finds that the materials are consistent with surrounding development

and the waiver will achieve a specific architectural objective, and that compliance with the standard will result in a practical difficulty.

- Regarding parking, the applicant originally calculated a need for 110 parking spaces based on gross floor area. After staff reviewed the usable floor area, the requirement was closer to 53 spaces—less than half the applicant’s figure. Because this property is part of a larger center, and uses do not all peak at the same time, the City applied the shopping-center standard to evaluate parking availability. Adequate parking exists without requiring a PUD exception.

In response to questions, Planning Consultant Tangari gave the following further information:

- He did not know the future of the Comerica Bank site.
- The Starbucks is a standalone building within the PUD, showing precedent.
- The applicant is not adding a new curb cut.
- A traffic study had been submitted and had been reviewed by the Engineering Division. Staff Engineer Dawkins added that staff had a few comments regarding the traffic study and would return those to the applicant’s traffic consultant.
- There was an acknowledged low level of service at the 12 Mile Road/Orchard Lake Road intersection. Main concerns included how traffic backs up along 12 Mile Road in front of the site, and how traffic backs up within the site during peak exit times.

Mr. Liu said that findings in the traffic study showed:

- Morning peak hour: approximately 49 feet of additional queue (2-3 cars)
- Afternoon peak hour: approximately 34 feet of additional queue (about 2 cars)

Public hearing.

Chair Trafelet opened the public hearing.

Randy Carron, Scrambler’s Restaurant, expressed concern that the proposed Culver’s could significantly impact or potentially jeopardize their business. Parking in the center is already inadequate, particularly on weekends and during weekday lunch hours, and site circulation is often difficult. He believed the addition of a drive-through will worsen congestion, noting that vehicles already back up when entering and exiting onto 12 Mile Road. Mr. Carron also noted that tenants were not notified by the landlord about this proposal or tonight’s public hearing.

No other public indicated they wished to speak.

Commission deliberation and motion

Chair Trafelet explained that tonight’s action would be to make a recommendation to City Council, which would be the deciding body.

Commissioners Grant and Ware asked if other sites in Farmington Hills were considered. Commissioner Grant remained concerned about the tight site layout and current circulation challenges.

Mr. Sesi explained that Culver’s site-selection rules require Culver’s locations to be 5 miles from each other, limiting other options in the City. The subject site was an ideal location. Culver’s imposes specific site and building requirements, including minimum site size, building square footage, and

drive-through access/geometry. Even if another site appears ideal in theory, it may not meet Culver's requirements. The proposed 12 Mile site meets all of Culver's requirements, and they are now seeking to determine whether it meets the City's requirements also.

Commissioner Aspinall asked whether Culver's peak hours of operation would overlap with Scrambler's peak times.

Mr. Sesi explained that Culver's does not serve breakfast; typical opening is 10:00 or 10:30 a.m. Culver's peak hours are approximately 12:00pm–2:00pm. for lunch and 6:00pm–8:00pm for dinner. The introduction of DoorDash and Uber Eats has reduced drive-through sales, as more customers order delivery instead of driving to the restaurant. Dine-in business has remained steady.

Commissioner Brickner confirmed that the subject site is a separate outlot (Lot B), but part of the overall planned development. The outlot designation indicates it is intended for future building rather than permanent surface parking.

Commissioner Brickner referenced Giffels Webster's review indicating the use of EIFS (exterior insulation and finish system) on the building. The City has adopted restrictions on EIFS due to long-term durability problems (deterioration and susceptibility to damage). He asked whether the applicant would consider alternate materials consistent with City standards.

Mr. Sesi expressed willingness to modify the building materials to conform to city standards.

City Attorney Schultz advised that the Commission should require color renderings of the elevations – the submission had included black and white renderings only.

In response to a question from Member Lindquist, Mr. Sesi confirmed he would be the franchisee at this location.

MOTION by Countegan, support by Aspinall, to recommend to City Council that the application to amend PUD 12, 2014 and revised Site Plan 60-7-2025, dated October 28, 2025, submitted by Ronald J. Sesi, be approved because the plans are consistent with the goals, objectives, and policies of the Master Plan and applicable provisions of the Planned Unit Development Option in Section 34-3.20 of the Zoning Ordinance, subject to the following findings and conditions.

Finding:

The Commission has no objections to the proposed relief from the following zoning ordinance standards, which will be addressed in conjunction with the final PUD plan and the PUD agreement.

- A. 34-3.1.26 – Permit a drive-in restaurant that is not permitted in the B-4 district.
- B. 34-4.27.2 – Permit fast food in a standalone building.
- C. 34-3.1.24.E – Setback relief for front setback (reduction from 120 feet to 44.7 feet).
- D. 34-5.20 – Relief from the design standards for building materials as outlined in Giffels Webster's November 12, 2025 review.

- E. 34-5.20 – Relief from the design standards for percentage of window coverage on ground floor as outlined in Giffels Webster's November 12, 2025 review.**

Conditions:

- A. All outstanding issues identified in Giffels Webster's November 12, 2025 review shall be addressed to the reasonable satisfaction of the City Planner.**
- B. All outstanding issues identified in the City Engineer's November 6, 2025, interoffice correspondence shall be addressed to the reasonable satisfaction of the City Engineer; and**
- C. All outstanding issues identified in the Fire Marshal's October 31, 2025, interoffice correspondence shall be addressed to the reasonable satisfaction of the Fire Marshal.**
- D. The applicant shall meet with planning staff regarding landscaping along 12 Mile Road to provide sufficient buffering and screening for the proposed development.**

Motion discussion:

In response to discussion, Commissioner Countegan said he did not object to EIFS, but would be flexible if the Commission reached a different consensus.

Commissioner Stimson stated he would vote against the motion. While he supported Culver's locating in Farmington Hills, the subject site was too tight. He remained concerned about stacking located in front of the building and insufficient stacking space generally. He believed the site will become unnavigable and traffic flow will be negatively impacted.

Commissioner Grant said she would also oppose the motion, for similar reasons.

Roll call vote:

Stimson	no
Ware	yes
Countegan	yes
Aspinall	yes
Lindquist	no
Grant	no
Brickner	yes
Trafelet	yes

Motion passed 5-3.

REGULAR MEETING

A. SITE PLAN – 65-10-2025 (PUD 1, 2025)

LOCATION:	29150 West Twelve Mile Rd.
	PARCEL I.D.: 22-23-00-376-035
PROPOSAL:	Construct of multiple-family dwellings units within RA-1A, One Family Residential District
ACTION REQUESTED:	Site Plan approval
APPLICANT:	Schafer Development, LLC
OWNER:	Mike Yousif

Applicant presentation

Members of the development team present this evening included:

Aaron and Steven Schafer, Schafer Development

Frank Lucido and Brandon Guest, M/I Homes

Aaron Schafer provided the following information:

- Building height for the townhouse units measures approximately 26'6", and complies with the ordinance.
- The site is located on the northeast corner of Twelve Mile and Middlebelt, east of the former Echo Park (now AIM Academy). The parcel is 4.55 acres and has been through multiple Planning Commission and City Council reviews:
 - October 2024: Qualified for PUD option
 - April 2025: Site plan review
 - May 2025: Site plan public hearing
 - July 2025: City Council unanimous approval
- No changes have been made to the site plan since May, except for relocating a small seating/bench area originally located near the eastern building to the Twelve Mile frontage.
- The development maintains nearly 63% open space, largely due to the steep topography and natural features along the northern portion of the site adjacent to Pebble Creek. No disturbance is proposed beyond necessary grading.
- A stormwater basin will outlet into Pebble Creek at an agricultural rate.

The July 2025 City Council approval carried 5 conditions regarding:

- 1) *That the proponent discuss the possibility of a fence on the eastern property line next to Mr. Levy's property, and that a decision be made about the fence that satisfies Mr. Levy as to whether he wants a fence or not. The decision is up to Mr. Levy.*
 - After meeting with the Levy family multiple times, applicant agreed to provide fencing along the eastern and northern property lines.
 - Applicant will adjust landscaping, including added evergreens, to provide four-season buffering.
2. *That the pocket park not be on the eastern property line next to Mr. Levy's property.*
 - Amenity/pocket park moved from the eastern property line to a more visible location along Twelve Mile Road.
3. *That an easement be placed next to the stub road extending to the eastern property line for utilities and road in case Mr. Levy decides to develop his property in the future.*
 - Easement provided for future utility and roadway connection should adjacent property develop.
 - Road will stop short of the property line to allow landscaping to mature. Utilities will extend to the boundary.
4. *That the proponent meet with the Engineering Department to review the traffic report and accommodate any of the Engineering Department's recommendation regarding traffic – whether any sort of decel lane is needed.*
 - Applicant met with fire, engineering, and traffic officials.

- A revised traffic impact study was submitted; city departments confirmed no additional improvements needed due to upgraded Twelve Mile left-turn lane.

5. *That the proponent meet with Fire and Engineering regarding the Fire Department's and Engineering's letter advising the need for a cul-de-sac to better understand where they are referencing the need for a cul-de-sac; and if they want the cul-de-sac to be placed at the end of the stub road on the eastern side of the property, that at that point, this PUD is negated and has to come back to Council for further potential revisions.*

- City departments confirmed support for T-street layout.
- Shared access agreement from 2001 supports the emergency connection to AIM Academy.

Building renderings and material samples showed:

- Updated elevations presented with brick first floor and lap/board-and-batten siding.
- Rear elevation examples and floor plans shown for fourplex, five-plex, and six-plex configurations.
- Materials board included brick, siding, and roofing details.
- Relocated 12 Mile amenity with bench and pedestrian space.

In response to questions, City Attorney Schultz explained that the agenda referenced site plan approval, but the presentation also included materials and design elements tied to the PUD. The PUD agreement had been completed and approved by City Council. The Planning Commission was acting only on the site plan following PUD approval, and staff would verify internally that the elevations and facades presented were consistent with the written PUD agreement.

Planning consultant review

Referencing the November 12, 2025 Giffels Webster memorandum, Planning Consultant Tangari said that staff had reviewed the site plan for consistency with the approved PUD and found that it met all conditions established by City Council, including relocation of the amenity area and required easements. The plans were fully consistent with the PUD approval and therefore suitable for site plan approval.

Planning Commission deliberation and/or motion

MOTION by Brickner, support by Countegan, that Site Plan 65-10-2025, as revised October 14, 2025, submitted by Schafer Development, LLC, be approved because it appears to meet all applicable requirements of the zoning chapter subject to the following conditions and determinations.

Conditions

- 1. All outstanding issues identified in the Giffels Webster's November 10, 2025 review shall be addressed to the reasonable satisfaction of the City Planner.**
- 2. All outstanding issues identified in the City Engineer's November 11, 2025 inter-office correspondence shall be addressed to the reasonable satisfaction of the City Engineer.**
- 3. All outstanding issues identified in the Fire Marshal's October 30, 2025 inter-office correspondence shall be addressed to the reasonable satisfaction of the Fire Marshal.**

Determinations.

- 1. The applicant has submitted a revised site plan that addresses conditions of City Council's July 14, 2025 approval of PUD 1-2025.**
- 2. That the four-foot high vinyl-coated black chain-link fence proposed on the eastern property line next to Mr. Levy's property is desired and appears to satisfy Mr. Levy.**
- 3. A total of 195 trees are required to be replaced, and 118 trees may be counted towards replacement, which leaves 77 trees to be paid into the fund at \$400 per tree.**

Motion passed unanimously by voice vote.

APPROVAL OF MINUTES **October 16, 2025, Regular Meeting**

MOTION by Brickner, support by Stimson, to approve the October 16, 2025 Regular Meeting minutes as submitted.

Motion passed unanimously by voice vote.

PUBLIC COMMENT

None

COMMISSIONER/STAFF COMMENTS

Commissioner Brickner asked staff to follow up regarding an outdated Road Commission sign on Drake Road just north of Old Homestead.

ADJOURNMENT

MOTION by Stimson, support by Countegan, to adjourn the meeting.

Motion passed unanimously by voice vote.

The meeting ended at 8:32pm.

Respectfully submitted,
Kristen Aspinall,
Planning Commission Secretary

/cem