

**AGENDA**  
**CITY COUNCIL STUDY SESSION**  
**DECEMBER 11, 2023 - 6:00PM**  
**CITY OF FARMINGTON HILLS**  
**CITY HALL – COMMUNITY ROOM**  
**31555 W ELEVEN MILE ROAD**  
**FARMINGTON HILLS, MICHIGAN**  
Telephone: 248-871-2410 Website: [www.fhgov.com](http://www.fhgov.com)

1. Call Study Session to Order
2. Roll Call
3. [Ordinance Amendments](#) – Noise and Loading/Unloading Trucks
4. Police Department [AXON Project Presentation](#)
5. Adjourn Study Session

Respectfully submitted,

Carly Lindahl, Interim City Clerk

Reviewed by:

Gary Mekjian, City Manager

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-871-2410 at least two (2) business days prior to the meeting, wherein necessary arrangements/accommodations will be made. Thank you.



**DATE:** December 11, 2023

**TO:** Gary Mekjian, City Manager

**FROM:** Charmaine Kettler-Schmult, Director of Planning & Community Development

**SUBJECT:** Code of Ordinances Amendments – Noise and Loading and Unloading Trucks

---

The two (2) **attached draft amendments** to the Farmington Hills Code of Ordinances regarding noise and the loading and/or unloading of trucks are presented for City Council consideration.

Draft amendments were prepared by the City Attorney's Office with input from the City Manager and Planning and Community Development Department staff.

The draft amendments propose changes to two (2) Sections within Chapters 17 and 18 of the Code. These two Sections govern noise associated with loading and/or unloading of trucks, with the former also governing noise within the City generally. **Section 18-165**, enacted in 1981, is proposed to be repealed so as to defer noise regulation to the more modern noise standards of Section 17-101.

Section 17-101 was last amended in 2004 to address maximum permitted noise levels in various zoning districts at specified times of the day.

The City Attorney and Planning and Community Development Department staff will be present to discuss the draft amendments and answer questions.

**ATTACHMENTS:**

- **Current Section 18-165 (Loading or unloading trucks)**
- **Section 18-165 (Loading or unloading trucks) – draft amendment repealing Section**
- **Section 17-101 (Noise) – draft amendment adding new subsections**

---

## City of Farmington Hills

### Sec. 18-165. Loading or unloading of trucks.

- (a) As used in this section:
- (1) "Truck" means every motor vehicle designed, used or maintained primarily for the transportation of property, including trailer-pulling tractors.
  - (2) "Trailer" means every vehicle with or without motive power, designed for carrying property and persons, or property alone.
  - (3) "Building or land use" means and/or includes all zoning districts and land uses permitted or allowed therein by the city zoning ordinance, including by way of example and not by way of limitation, restaurants, grocery stores, gasoline stations, department stores, clothiers, drugstores, warehouses, vacant land storage areas, open air businesses or land uses, clubs, churches, hospitals and dwellings.
- (b) It shall be unlawful for any person to cause to be loaded or unloaded any truck, trailer or combination thereof between the hours of 8:00 p.m. and 7:00 a.m., except that on Sundays no such loading or unloading shall be permitted at any time where such building or land use at which such loading or unloading operation is taking place is located within five hundred (500) feet of any dwelling.
- (c) During all loading or unloading, the engine of any truck or trailer shall be stopped for the time it takes to load or unload such truck or trailer, if such operation shall take in excess of twenty (20) minutes.
- (d) All loading, unloading or other handling of merchandise shall be conducted in a manner to avoid loud and unnecessary noise by persons or equipment used in such operation.
- (e) No person in charge of a building or land use shall permit the loading, unloading or other handling of merchandise, supplies, inventory or property for its use or sale to be conducted in a manner prohibited by this section.

(Code 1981, § 80.135; Ord. No. C-7-85, § 1, 3-11-85)

**ORDINANCE NO. C-\_\_\_\_\_ -2024**

**CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN**

AN ORDINANCE TO AMEND THE FARMINGTON HILLS CODE OF ORDINANCES, CHAPTER 18, "OFFENSES," ARTICLE V "OFFENSES AGAINST PUBLIC PEACE," FOR PURPOSES OF REPEALING SECTION 18-165, "LOADING OR UNLOADING OF TRUCKS."

THE CITY OF FARMINGTON HILLS ORDAINS:

**Section 1 of Ordinance. Ordinance Amendment.**

The Farmington Hills City Code, Chapter 18, "Offenses," Article V, "Offenses Against Public Peace," is hereby amended to repeal and delete Section 18-165, "Loading or Unloading of Trucks."

**Section 2 of Ordinance. Repealer.**

All ordinances, parts of ordinances, or sections of the City Code in conflict with this ordinance are repealed only to the extent necessary to give this ordinance full force and effect, and the Farmington Hills Ordinance Code shall remain in full force and effect, amended only as specified above.

**Section 3 of Ordinance. Savings.**

The amendments of the Farmington Hills Code of Ordinances set forth in this ordinance do not affect or impair any act done, offense committed, or right accruing, accrued, or acquired or liability, penalty, forfeiture, or punishment, pending or incurred prior to the amendments of the Farmington Hills Code of Ordinances set forth in this ordinance.

**Section 4 of Ordinance. Severability.**

If any section, clause, or provision of this ordinance shall be declared to be unconstitutional, void, illegal or ineffective by any court of competent jurisdiction, the validity of the ordinance as a whole, or in part, shall not be affected other than the part invalidated, and such section, clause or provision declared to be unconstitutional, void, or illegal shall thereby cease to be a part of this ordinance, but the remainder of this ordinance shall stand and be in full force and effect.

**Section 5 of Ordinance. Effective Date.**

The provisions of this ordinance are ordered to take effect twenty-one (21) days after enactment.

**Section 6 of Ordinance. Date and Publication.**

This ordinance is declared to have been enacted by the City Council of the City of Farmington Hills at a meeting called and held on the \_\_\_ day of \_\_\_\_\_, 2024, and ordered to be given publication in the manner prescribed by law.

Ayes:

Nays:

Abstentions:

Absent:

STATE OF MICHIGAN        )  
  ) ss.  
COUNTY OF OAKLAND     )

I, the undersigned, the qualified and acting City Clerk of the City of Farmington Hills, Oakland County, Michigan, do certify that the foregoing is a true and complete copy of the Ordinance adopted by the City Council of the City of Farmington Hills at a meeting held of the \_\_\_ day of \_\_\_\_\_, 2024, the original of which is on file in my office.

\_\_\_\_\_  
\_\_\_\_\_, City Clerk  
City of Farmington Hills

**ORDINANCE NO. C-\_\_\_\_\_ -2024**

**CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN**

AN ORDINANCE TO AMEND THE FARMINGTON HILLS CODE OF ORDINANCES, CHAPTER 17, "NUISANCES," ARTICLE VII "PERFORMANCE STANDARDS," SECTION 17-101, "NOISE," FOR PURPOSES OF ADDING A NEW SUBSECTION 17-101(e)(2) TO PROHIBIT NOISE, THAT IS AUDIBLE ON ADJACENT RESIDENTIAL PROPERTY, EMANATING FROM THE ENGINE OF ANY PARKED OR STANDING COMMERCIAL TRUCK OR TRACTOR TRAILER WHILE LOADING OR UNLOADING, OR WHILE WAITING TO LOAD OR UNLOAD, ITS CARGO, IF SUCH VEHICLE IS PARKED OR STANDING FOR SUCH PURPOSES FOR A PERIOD OF MORE THAN TWENTY (20) MINUTES.

THE CITY OF FARMINGTON HILLS ORDAINS:

**Section 1 of Ordinance. Ordinance Amendment.**

The Farmington Hills City Code, Chapter 17, "Nuisances," Article VII, "Performance Standards," Section 17-101, "Noise," is hereby amended to add a new subsection 17-101(e)(2) to read as set forth below:

**Sec. 17-101. – Noise.**

(a) *General requirements.* No operation or activity shall be carried on that causes or creates measurable noise levels that are unreasonably loud or that unreasonably interfere with the peace and comfort of others, or that exceed the maximum noise level limits prescribed in Table A below as measured at any point on property adjacent or in close proximity to the lot or parcel on which the operation or activity is located.

(b) *Method and units of measurement.* The measuring equipment and measurement procedures shall conform to the latest American National Standards Institute (ANSI) specifications. The sound measuring equipment shall be properly calibrated before and after the measurements. Because sound waves having the same decibel (Db) level "sound" louder or softer to the human ear depending upon the frequency of the sound wave in cycles-per-second (that is, depending on whether the pitch of the sound is high or low) an A-weighted filter constructed in accordance with ANSI specifications shall be used on any sound level meter used to take measurements required

in this section. All measurements below are expressed in Db(A) to reflect the use of the A-weighted filter.

(c) *Table of maximum noise levels.* Except as otherwise provided in this section, noise levels shall not exceed the limits set forth in the following Table A:

TABLE A  
MAXIMUM PERMITTED NOISE LEVELS

<b>Use</b>	<b>Time</b>	<b>Sound Level (A-Weighted) Decibels Db(A)</b>
Residential (see uses included in RA, RP, RC, SP, MH districts)	7:00 a.m. to 7:00 p.m.	60
	7:00 p.m. to 10:00 p.m.	55
	10:00 p.m. to 7:00 a.m.	50
Business/Office (see uses included in OS, B, ES, P districts)	7:00 a.m. to 7:00 p.m.	65
	7:00 p.m. to 7:00 a.m.	50
Industrial (see uses included in IRO, LI-1 districts), where all adjacent properties are used for industrial/business purposes	Anytime	70
Industrial, where any adjacent properties are used for residential purposes	Anytime	60

(d) *Background noise.* Where existing background noise exceeds the maximum permitted levels specified in Table A, the noise caused or created

by a specific operation or activity may exceed the levels specified in the table, provided that the sound level on property adjacent or in close proximity to the lot or parcel on which the operation or activity is located does not exceed the background noise level. For purposes of this subsection, background noise shall mean noise being produced by permitted uses conducted in a legally-accepted manner from all sources other than those occurring on the lot or parcel on which the operation or activity is located. Background noise levels shall be determined by measurement at substantially the same time and location as the noise levels caused or created by the complained-of operation or activity.

(e) *Intermittent or other unreasonable sounds.*

(1) Intermittent sounds or sounds characterized by pure tones might be a source of complaints, even though the measured sound level does not exceed the permitted level in Table A. Such sounds shall be prohibited when found to be unreasonably loud or to unreasonably interfere with the peace and comfort of others. In making such determination, the following shall be considered:

~~(1)~~ The proximity of the sound to sleeping facilities;

~~(2)~~ The nature of the use from which the sound emanates and the area where it is received or perceived;

~~(3)~~ The time (day or night) the sound occurs; and

~~(4)~~ The duration of the sound.

(2) Noise, that is audible on adjacent residential property, emanating from the running engine of any parked or standing commercial truck or tractor-trailer while loading or unloading, or while waiting to load or unload, cargo is prohibited, if such vehicle is parked or standing for such purposes for a period of more than twenty (20) minutes, even though the measured sound level does not exceed the permitted level in Table A.

(f) *Special exception.* An application for a special exception from the provisions of this section may be submitted to the zoning board of appeals, sitting as an administrative review board for purposes of this provision. The owner or operator of equipment on the property shall submit a statement regarding the effect of noise from the equipment on the overall noise level in the area. The statement shall also include a study of background noise levels, predicted levels of noise measured at the boundary line due to the proposed operation,

and justification for the special exception. If it appears to the zoning board of appeals, in the course of its review of the applicant's application and statement, that the expertise of a sound engineer or other expert shall be necessary in order to review the application, the zoning board of appeals shall be authorized to obtain a reasonable escrow for consulting fees from the applicant and retain such expert for such purposes. Upon review of the request for a special exception, the zoning board of appeals may grant a special exception where such relief would be within the spirit and intent of this ordinance, would not adversely affect the public health, safety, and welfare, and would not be materially injurious to surrounding properties and improvements. The zoning board of appeals may impose conditions of operation in granting a special exception.

(g) *Exemptions.* Noise resulting from the following activities shall be exempt from the maximum permitted sound levels provided such activity occurs in a legally-accepted manner:

- (1) Construction activity (see section 18-164);
- (2) Performance of emergency work, including snow removal;
- (3) Warning devices necessary for public safety, such as police, fire, and ambulance sirens, tornado and civil defense warning devices, and train horns;
- (4) Lawn care and yard maintenance that occurs between 8:00 a.m. and 9:00 p.m.;
- (5) Outdoor school and playground activities when conducted in accordance with the manner in which such spaces are generally used, including, but not limited to, school athletic and school entertainment events;
- (6) Bells or chimes of churches or other places of worship;
- (7) The unamplified human voice; and
- (8) Public works maintenance, repair, or improvement projects being conducted by or on behalf of public agencies.

**Section 2 of Ordinance. Repealer.**

All ordinances, parts of ordinances, or sections of the City Code in conflict with this ordinance are repealed only to the extent necessary to give this ordinance full force and effect, and the

Farmington Hills Ordinance Code shall remain in full force and effect, amended only as specified above.

**Section 3 of Ordinance. Savings.**

The amendments of the Farmington Hills Code of Ordinances set forth in this ordinance do not affect or impair any act done, offense committed, or right accruing, accrued, or acquired or liability, penalty, forfeiture, or punishment, pending or incurred prior to the amendments of the Farmington Hills Code of Ordinances set forth in this ordinance.

**Section 4 of Ordinance. Severability.**

If any section, clause, or provision of this ordinance shall be declared to be unconstitutional, void, illegal or ineffective by any court of competent jurisdiction, the validity of the ordinance as a whole, or in part, shall not be affected other than the part invalidated, and such section, clause or provision declared to be unconstitutional, void, or illegal shall thereby cease to be a part of this ordinance, but the remainder of this ordinance shall stand and be in full force and effect.

**Section 5 of Ordinance. Effective Date.**

The provisions of this ordinance are ordered to take effect twenty-one (21) days after enactment.

**Section 6 of Ordinance. Date and Publication.**

This ordinance is declared to have been enacted by the City Council of the City of Farmington Hills at a meeting called and held on the \_\_\_ day of \_\_\_\_\_, 2024, and ordered to be given publication in the manner prescribed by law.

Ayes:  
Nays:  
Abstentions:  
Absent:

STATE OF MICHIGAN        )  
  ) ss.  
COUNTY OF OAKLAND     )

I, the undersigned, the qualified and acting City Clerk of the City of Farmington Hills, Oakland County, Michigan, do certify that the foregoing is a true and complete copy of the Ordinance adopted by the City Council of the City of Farmington Hills at a meeting held of the \_\_\_ day of \_\_\_\_\_, 2024, the original of which is on file in my office.

---

\_\_\_\_\_, City Clerk  
City of Farmington Hills



**DATE:** December 8, 2023

**TO:** City Council

**FROM:** Gary Mekjian, City Manager

**SUBJECT: AXON Project Presentation**

Chief of Police King will be in attendance to provide City Council with a presentation on the referenced. I've attached Chief King's memo that provides a very brief description of this project. We will be seeking direction from City Council this evening on how it wishes to proceed.



**INTEROFFICE CORRESPONDENCE**

**DATE:** December 8, 2023

**TO:** Gary Mekjian, City Manager

**FROM:** Jeff King, Chief of Police

**SUBJECT: AXON Project Presentation**

On December 11, 2023, I am requesting an opportunity to formally present City Council a proposal regarding a needed Equipment and Technology program for the Farmington Hills Police Department.

This presentation will detail equipment and supporting technology that will focus on increasing Department wide efficacy, safety, and transparency. City Council members will be provided a copy of the presentation, that will include technological, legal, financial, transparency, and operational advantages of this proposal, in addition to internal and external stakeholder support.

**AGENDA**  
**CITY COUNCIL MEETING**  
**DECEMBER 11, 2023 – 7:30PM**  
**CITY OF FARMINGTON HILLS**  
**31555 W ELEVEN MILE ROAD**  
**FARMINGTON HILLS, MICHIGAN**  
Telephone: 248-871-2410 Website: [www.fhgov.com](http://www.fhgov.com)  
Cable TV: Spectrum – Channel 203; AT&T – Channel 99  
YouTube Channel: <https://www.youtube.com/user/FHChannel8>

**REQUESTS TO SPEAK:** Anyone requesting to speak before Council on any agenda item other than an advertised public hearing issue must complete and turn in to the City Clerk a blue, Public Participation Registration Form (located in the wall rack by the south door entering the council chambers).

**REGULAR SESSION MEETING BEGINS AT 7:30P.M. IN THE CITY COUNCIL CHAMBER**

**STUDY SESSION (6:00 P.M. Community Room– See Separate Agenda)**

**REGULAR SESSION MEETING**

**CALL REGULAR SESSION MEETING TO ORDER**

**PLEDGE OF ALLEGIANCE**

**ROLL CALL**

1. Approval of regular session meeting agenda
2. Selection of Mayor Pro-Tem
3. Proclamation recognizing the [20<sup>th</sup> Anniversary of the Farmington Hills Youth Theatre](#)
4. Presentation and Acceptance of the City's [FY 2022/2023 Audit Results](#)

**CORRESPONDENCE**

**CONSENT AGENDA** - (See Items No. 9 - 15)

All items listed under Consent Agenda are considered routine, administrative, or non-controversial by the City Council and will be enacted by one motion. There will be no separate discussion of these items, unless a Council Member or citizen so requests, in which event the items may be removed from the Consent Agenda for consideration.

**CONSENT AGENDA ITEMS FOR DISCUSSION**

**PUBLIC QUESTIONS AND COMMENTS**

Limited to five (5) minutes for any item of City business not on the agenda.

**COUNCIL MEMBERS COMMENTS AND ANNOUNCEMENTS**

**CITY MANAGER UPDATE**

**PUBLIC HEARING:**

5. Public hearing and consideration of the construction of a cellular tower located at 30691 Grand River Avenue, [Site Plan 52-4-2023](#).

**NEW BUSINESS:**

6. Consideration of [Appointments](#) to various boards and commissions.

7. Consideration of approval of the [Second Amendment](#) to Planned Unit Development 5, 1993 Agreement with Farmington Hills Corporate Investors for the construction of two new office buildings.
8. Consideration of approval of the [Third Amendment](#) to Planned Unit Development 5, 1993 Agreement with Farmington Hills Corporate Investors for Comerica Signage.

**CONSENT AGENDA:**

9. Recommended approval of Consulting Services Agreement for Building Department Database Management and System with Munate, LLC in an amount not to exceed \$75,000. [CMR 12-23-125](#)
10. Recommended approval of as needed purchase of asphalt materials from Ajax Materials Corporation in the amount not-to-exceed \$50,000 per year, with extensions. [CMR 12-23-126](#)
11. Recommended approval of purchase of two 5-yard dump truck chassis with Swap Loader hoist systems from Wolverine Freightliner in the amount of \$231,492. [CMR 12-23-127](#)
12. Recommended approval of as needed purchase of OEM parts for emergency vehicles from Liquid Spring LLC in the estimated amounts of \$15,000, Rosenbaur in the amount of \$30,000 and MacQueen in the amount of \$15,000. [CMR 12-23-128](#)
13. Recommended approval of setting the City Council [goals session](#) date of January 6, 2024.
14. Recommended approval of city council [study session meeting minutes](#) of November 27, 2023.
15. Recommended approval of city council [regular session meeting minutes](#) of November 27, 2023.

**ADDITIONS TO AGENDA**

16. Attorney Report

**ADJOURNMENT**

Respectfully submitted,

Carly Lindahl, Interim City Clerk

Reviewed by:

Gary Mekjian, City Manager

**NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at 248-871-2410 at least two (2) business days prior to the meeting, wherein necessary arrangements/ accommodations will be made.**



**PROCLAMATION**  
**Honoring the 20<sup>th</sup> Anniversary of**  
**the Farmington Hills Youth Theatre**  
**December 2023**

- WHEREAS,** the arts enrich the lives of all community members, and exposure to the arts is a vital part of young people’s educational experience and personal development; and,
- WHEREAS,** youth theater provides lifelong skills in collaboration, creativity and social awareness, and is especially successful in boosting confidence, self-esteem and concentration in children; and,
- WHEREAS,** since its inaugural season in 2003-2004, the Farmington Hills Youth Theatre (FHYT) has believed in the intrinsic value of access to children’s theater and the power of the arts; and,
- WHEREAS,** the FHYT was created as a program of the Cultural Arts Division of the City’s Special Services Department to support actors from the ages of four to 18, and has produced 55 productions, including recent productions of Disney’s Little Mermaid, Matilda Jr., Beauty and the Beast Jr., Newsies, Mary Poppins and many more, in addition to a full roster of summer camps; and,
- WHEREAS,** the FHYT is committed not only to the craft, but also to creating an inclusive environment that supports the development of young people as valuable, contributing members of the community; and,
- WHEREAS,** for 20 years, the FHYT has impacted 7 thousand youth performers from the City of Farmington Hills and across metro Detroit and has provided countless hours of accessible entertainment to more than 100 thousand audience members of all ages.

**NOW, THEREFORE,** I, Theresa Rich, Mayor of the City of Farmington Hills, on behalf of the City Council, do hereby recognize all former and current Farmington Hills Youth Theatre performers, parents, guardians and instructors in acknowledgment of the **20<sup>th</sup> anniversary of the Farmington Hills Youth Theatre** and urge all residents to expose themselves and their children to the arts for the benefit of our community.

A handwritten signature in black ink, reading 'Theresa Rich'.

---

Theresa Rich, Mayor

***CITY OF FARMINGTON HILLS, MI  
Annual Comprehensive Financial Report  
Fiscal Year Ended June 30, 2023***



# City of Farmington Hills

## Annual Comprehensive Financial Report

County of Oakland

State of Michigan

Fiscal Year Ended June 30, 2023



Prepared by:

Finance Department

31555 West Eleven Mile Road

Farmington Hills, MI 48336

(248) 871-2440

# Table of Contents

<b>Section</b>		<b>Page</b>
1	<b><u>Introductory Section</u></b>	
	Letter of Transmittal	1 – 1
	GFOA Certificate of Achievement	1 – 8
	List of Elected and Principal Officials	1 – 9
	Organization Chart	1 – 11
	Fund Organization Chart	1 – 12
	<b><u>Financial Section</u></b>	
2	<b>Independent Auditors' Report</b>	2 – 1
3	<b>Management's Discussion and Analysis</b>	3 – 1
4	<b>Basic Financial Statements</b>	
	Government-wide Financial Statements	
	Statement of Net Position	4 – 1
	Statement of Activities	4 – 3
	Fund Financial Statements	
	Governmental Funds	
	Balance Sheet	4 – 4
	Reconciliation of Fund Balances of Governmental Funds to Net Position of Governmental Activities	4 – 6
	Statement of Revenues, Expenditures and Changes in Fund Balances	4 – 7
	Reconciliation of the Statement of Revenues, Expenditures and Changes in Fund Balances of Governmental Funds to the Statement of Activities	4 – 9
	Proprietary Funds	
	Statement of Net Position	4 – 10
	Statement of Revenues, Expenses and Changes in Fund Net Position	4 – 11
	Statement of Cash Flows	4 – 12

<b>Section</b>	<b>Page</b>
Fiduciary Funds	
Statement of Fiduciary Net Position	4 – 14
Statement of Changes in Fiduciary Net Position	4 – 15
Component Units	
Statement of Net Position	4 – 16
Statement of Activities	4 – 17
Notes to the Financial Statements	4 – 18
<b>5 Required Supplementary Information</b>	
Budgetary Comparison Schedule	
General Fund	5 – 1
Municipal Street Fund	5 – 4
Major Roads Fund	5 – 5
Local Roads Fund	5 – 6
Public Safety Millage Fund	5 – 7
Employees' Retirement System	
Schedule of the City's Proportionate Share of the Net Pension Liability	5 – 8
Schedule of Employer Contributions	5 – 9
Schedule of Investment Returns	5 – 10
Postretirement Healthcare Finance Fund	
Schedule the City's Proportionate Share of the Net OPEB Liability (Asset)	5 – 11
Schedule of Employer Contributions	5 – 12
Schedule of Investment Returns	5 – 13
<b>6 Other Supplementary Information</b>	
Nonmajor Governmental Funds	
Combining Balance Sheet	6 – 1
Combining Statement of Revenue, Expenditures and Changes in Fund Balance	6 – 2
Budgetary Comparison Schedules	6 – 3

**Section****Page****7      Statistical Section (Unaudited)****Description of Statistical Section****Financial Trend Information**

Net Position by Component Unit	7 – 1
Changes in Governmental Net Position	7 – 2
Changes in Business-Type Net Position	7 – 3
Fund Balances – Governmental Funds	7 – 4
Change in Fund Balances – Governmental Funds	7 – 5

**Revenue Capacity Information**

Assessed Value and Actual Value of Taxable Property	7 – 6
Direct and Overlapping Property Tax Rates	7 – 7
Principal Property Taxpayers	7 – 8
Property Tax Levies and Collections	7 – 9

**Debt Capacity Information**

Ratios of Outstanding Debt	7 – 10
Ratios of General Bonded Debt Outstanding	7 – 11
Direct and Overlapping Governmental Activities Debt	7 – 12
Legal Debt Margins	7 – 13

**Demographics and Economic Information**

Demographic and Economic Statistics	7 – 14
Principal Employers	7 – 15

**Operating Information**

Full-time Equivalent Government Employees	7 – 16
Operating Indicators	7 – 17
Capital Asset Statistics	7 – 18



December 4, 2023

Honorable Mayor, Members of the City Council,  
and Citizens of Farmington Hills

We are pleased to submit the annual comprehensive financial report (ACFR) of the City of Farmington Hills (the "City") for the fiscal year ended June 30, 2023. This report was prepared by the Finance Department in conformance with regulations and standards set forth by the City Charter, the Governmental Accounting Standards Board (GASB), the American Institute of Certified Public Accountants and its Committee on Governmental Accounting and Auditing, generally accepted accounting principles (GAAP), the Treasurer of the State of Michigan, and the Government Finance Officers Association (GFOA). This report consists of management representations concerning the finances of the City of Farmington Hills. Therefore, responsibility for the accuracy, completeness, reliability, and fairness of the financial data herein, including all disclosures, rests with the administration and management of the City of Farmington Hills. We believe the data presented is accurate in all material aspects, that it is presented in a manner designed to fairly set forth the financial position and results of operations of the City, and that all disclosures necessary to enable the reader to gain the maximum understanding of the City's financial affairs have been included. The statements have been audited in accordance with generally accepted auditing standards by Yeo & Yeo, a certified public accounting firm licensed by the State of Michigan.

Since the report consists of management's representations concerning the finances of the City of Farmington Hills, a comprehensive internal control framework that is designed both to protect the City's assets from loss, theft, or misuse and to compile sufficient reliable information for preparation of the City of Farmington Hills' financial statements in conformity with GAAP has been established. However, due to the fact that the internal control systems should be cost effective, the City's comprehensive framework of internal controls has been designed to provide reasonable rather than absolute assurance that the financial statements will be free from material misstatement.

Yeo & Yeo has audited the City of Farmington Hills' financial statements to provide reasonable assurance that the City's financial statements for the fiscal year ended June 30, 2023 are free of material misstatement. The independent audit involved examining, on a test basis, evidence supporting the amounts and disclosures contained in the financial statements, assessing the accounting principles used and significant estimates made by management, and evaluating the overall financial statement presentation.

The independent auditors concluded, based upon the audit, that there was a reasonable basis for rendering an unmodified opinion that the City of Farmington Hills' financial statements for the fiscal year ended June 30, 2023 are fairly presented in conformity with GAAP. The independent auditor's report is presented as the first component of the financial section of the report.

The independent audit of the financial statements of the City was part of a broader, federally mandated “single audit” designed to meet the special needs of federal grantor agencies. The standards governing single audit engagements require the independent auditor to report not only on the fair presentation of the financial statements, but also on the audited government’s internal controls and compliance with legal requirements, with special emphasis on internal controls and legal requirements involving the administration of federal awards. This report is available in the City of Farmington Hills’ separately issued single audit report.

Accounting principles generally accepted in the United States of America require that management provide a narrative introduction, overview, and analysis to accompany the basic financial statements in the form of a management’s discussion and analysis (MD&A). This letter of transmittal is designed to complement the MD&A and should be read in conjunction with it. The City of Farmington Hills’ MD&A can be found immediately following the report of the independent auditor.

### **Profile of the Government**

Farmington Hills is a 34 square mile suburban community with a pastoral and gently rolling terrain in Oakland County, MI, located 17 miles from downtown Detroit. It is one of the largest cities in Oakland County, the most prosperous county in Michigan and one of the most prosperous counties in America. Incorporated in 1973, the City quickly grew from its rural roots, and today offers a unique blend of historic charm, international diversity, and cutting-edge commerce, making it one of the most desirable locations to live and work in the United States. The City’s tax base of \$4.2 billion is comprised of 69 percent residential property and 31 percent commercial, industrial, and personal property. The community’s estimated 82,737 residents live in approximately 35,628 households with a median household income of \$93,434.

The City possesses an ideal location within 25 minutes of downtown Detroit and Detroit Metro Airport, and at the focal point of a north/south and east/west freeway network. Industrial centers of Warren, the Saginaw/Flint area, Lansing and Toledo, Ohio, as well as the Ann Arbor technology corridor are within an hour’s drive. Approximately half of America’s disposable income, half of the country’s work force, and nearly half of the total U.S. population are within a 500-mile radius of the City. The City supports seven industrial parks totaling more than 600 acres, which provide first-rate services and facilities. In addition, the 12 Mile Road, Orchard Lake Road and Northwestern Highway corridors host many commercial and office developments, which house many corporate headquarters and district offices of regional, national and international prominence.

The community offers a wide range of quality housing featuring homes in every style and price range. There are many premier residential areas providing housing options including more than 25,200 single-family homes and over 10,600 rental units designed to fit every lifestyle. Home prices range from under \$100,000 to \$3 million, with the average home priced at approximately \$309,000.

The City’s respect for its Quaker heritage is demonstrated by its commitment to historical preservation through its Historic Commission, Historical District, and the conversion of the historic Spicer Estate House to a Visitor Center within the 211-acre passive Heritage Park, located in the center of the City.

The City is enhanced by exemplary educational opportunities for kindergarten through 12th grade via both public and private schools and a premier district library system with one of the highest annual circulation rates in the State. A broad spectrum of recreational and cultural activities is available within the City or within a short drive. A total of 12 major colleges and universities are within a 45-minute drive of the community. Quality health care is readily accessible through Beaumont Hospital, Farmington Hills, a full-service teaching hospital with a Level II Trauma Center and Certified Stroke Center, which is associated with Michigan State University and a part of Beaumont Health. Twelve major medical centers and hospitals are within a half-hour driving distance of the City. Many physicians affiliated with these medical facilities maintain their offices in Farmington Hills.

The City operates under the City Council/city manager form of government with seven elected officials, a mayor, and six City Council members representing the citizens of the City of Farmington Hills. The mayor is elected directly by the electorate for not more than two consecutive, two-year terms. The six City Council members are elected at large for staggered terms of four years each. The mayor and City Council establish all policies for the City government. The city manager is appointed by the City Council.

The City of Farmington Hills provides a full range of services including police and fire protection; the construction and maintenance of highways, streets, and other infrastructure; recreational activities and cultural events; and refuse collection and recycling services. Utility services for water and sanitary sewers are provided by the City, with the Oakland County Water Resources Commission administering the service for water and sanitary sewers under contract with the City. Library functions are provided by the Farmington Community Library, which serves both the City of Farmington Hills and the neighboring City of Farmington.

City Hall, which is a LEED Gold certified facility, will serve the community well through the coming decades by allowing the City to improve its energy and operational efficiencies, strengthen its community image, and provide flexibility in meeting the needs of the community.

Economic development efforts have been promoted by the City of Farmington Hills Economic Development Corporation, a component unit of the City whose financial statements are displayed in the basic financial statements.

The other component units of the City are the Brownfield Redevelopment Authority, established by the City Council to assist in the redevelopment of environmentally challenged sites within the City; and the Corridor Improvement Authority, created by the City Council to correct and prevent deterioration in business districts, encourage historic preservation, and promote economic growth. The Corridor Improvement Authority was created in collaboration with the City of Farmington in sharing a corridor to leverage investments by defraying some of the costs of redevelopment and sharing resources that can be invested in improvements. The Brownfield Redevelopment Authority and the Corridor Improvement Authority financial statements are also displayed in the basic financial statements.

The City's annual budget provides the foundation for financial planning and control. All departments funded by the City of Farmington Hills are required to submit requests for appropriations to the city manager in February of each year. The city manager utilizes these requests as the basis for developing the proposed budget submitted to City Council by the first regular council meeting in May.

In conformity with Article VII General Finance of the City Charter and the State of Michigan Uniform Budgets Act, a public hearing on the proposed annual budget and tax rates is held by the first regular Council meeting in June, after public notice of the meeting and hearing is published at least seven days prior to the public hearing.

The appropriated budget is prepared by fund, function (e.g., public safety), and department (e.g., police department). Department heads may make transfers of appropriated funds within a department with the approval of the city manager and finance director. Transfers of appropriations between departments require approval by the City Council.

Budget-to-actual comparisons are provided in this report for each governmental fund in which an appropriated annual budget has been adopted. For the General Fund and the major Special Revenue Funds (Municipal Street Fund, Major Road Fund, Local Road Fund, and the Public Safety Millage Fund), the comparison is reported as part of the required supplemental information following the notes to the financial statements.

For the major Community Center Renovations Fund and all nonmajor governmental funds with an appropriated annual budget, this comparison is presented in the other supplemental information subsection of this report.

## Factors Affecting Financial Condition

The information presented in the financial statements is perhaps best understood when it is considered from the broader perspective of the unique environment within which the City of Farmington Hills operates.

**Local Economy** - The City of Farmington Hills possesses a diversified property tax base comprised of 69 percent residential, 22 percent commercial, 3 percent industrial, and 5 percent personal property (business equipment, furniture, and machinery). No one taxpayer exceeds 1.70 percent of the tax roll and the top 20 taxpayers combined account for approximately 10.27 percent of the total tax roll. Farmington Hills is home to approximately 4,700 businesses, 75 Fortune 500 companies, and more than 100 international firms. The City's residents are employed predominantly in management, professional sales, and related occupations.

Economic development staff of the City coordinates development activity with the City's Economic Development Corporation. The City participates in a business retention program and has formed a partnership with the Oakland County Planning and Economic Development Services Division and the Michigan Economic Development Corporation. Working together, they have been successful in assisting companies in expanding their business opportunities in the City.

Oakland County's economic growth and business sustainability is assisted by "Automation Alley," a dynamic organization of leaders from all backgrounds and business sectors that are combining talent and energy to transform southeast Michigan into a high technology workforce and business development powerhouse. Membership is made up of 1,000 technology-driven companies, governments, and educational institutions which have helped to drive the growth and image of southeast Michigan's technology economy.

Oakland County continues to embrace the "emerging sectors" initiative, an aggressive plan to attract the top new and emerging businesses to Oakland County. Over the last several years over 500 emerging sector endeavors have generated over \$5 billion in investment while creating or retaining over 89,000 jobs. These sectors are:

- Advanced electronics
- Advanced material
- Aerospace
- Alternative energy
- Communications and information technology
- Defense and homeland security
- Medical main street/health care
- Robotics
- Finance, insurance, and real estate

Oakland County's median household income of \$86,275 is the highest among Michigan's 83 counties. Oakland County, as well as the City of Farmington Hills, continues to enjoy a AAA bond rating from Standard & Poor's, the highest bond rating achievable. The AAA bond rating allows the City to borrow at the lowest possible interest rate, saving City's taxpayers significant dollars in future borrowing costs.

The Michigan Senate Fiscal Agency report from May 2023 forecasts the following:

**SENATE FISCAL AGENCY  
ECONOMIC AND BUDGET SUMMARY**

<b>ECONOMIC PROJECTIONS (Calendar Year)</b>					
	<b>2021 Actual</b>	<b>2022 Actual</b>	<b>2023 Estimate</b>	<b>2024 Estimate</b>	<b>2025 Estimate</b>
Real Gross Domestic Product (% change)	5.9%	2.1%	1.4%	1.1%	2.0%
US Consumer Price Index (% change)	4.7%	8.0%	4.4%	3.1%	2.6%
Light Motor Vehicle Sales (millions of units)	14.9	13.8	15.1	15.6	16.2
US Unemployment Rate (%)	5.3%	3.6%	3.5%	3.8%	3.6%
Real Michigan Personal Income (% change)	1.3%	(7.2%)	(0.3%)	0.7%	1.5%
Michigan Wage & Salary Employment (% change)	4.0%	3.9%	1.3%	0.7%	0.6%

The City Council annually reviews and accepts the updated “Six-year Capital Improvement Program,” as prepared by staff and adopted by the City’s Planning Commission, which directly impacts the City’s infrastructure. The City Council adopts many of the projects in the first year of this program in the annual budget. In addition to road construction and utility projects, the following categories of acquisitions or improvements are planned for FY 2023-2024:

- \$2.2 million for drainage projects
- \$0.5 million for sidewalk and bike path improvements/replacements
- \$0.9 million for Fire Department vehicles and equipment
- \$0.5 million for Police Department vehicles and equipment
- \$1.2 million for Public Services Department equipment
- \$1.7 million for technology equipment, software and upgrades
- \$1.7 million for public facility improvements

**Financial Policies** - The following financial policies of the City had a significant impact on the City’s FY 2022-2023 financial statements:

Revenue Policy to Maintain a Diversified and Stable Taxable Revenue Base - Although the tax base remains diversified with approximately 69 percent residential and 31 percent nonresidential, the tax base had an increase in taxable values of approximately 6.5 percent in FY 2022-23.

Taxable Values have increased by another 6.5% in FY 2023-24, reflecting a high inflation rate in the housing sector in the last several years and strong development.

Investment Policy to Maximize Yields while Maintaining the Integrity and Safety of Principal - The City makes a serious effort to maximize investment earnings, diversification, and insurability of its investable funds. At year end, the weighted average liquidity of the City's investment portfolio was approximately one week, while the average yield on the portfolio was out-performing the three-month and six-month Treasury yield along with the Federal Funds rate.

Financial Policy to Place Emphasis on Areas of Long-term Importance Such as Employee Relations, Automation, and Technology Improvements - With a reduced workforce from the recent past, the City has continued to focus on technology improvements and process improvements to increase employee productivity and efficiency.

**Long-term Financial Planning** - Annually, City staff prepares a six-year Capital Improvement Plan (CIP), which is approved by the City Planning Commission and accepted by the City Council. This program will contain projects and equipment costs in excess of \$25,000. Total project cost and sources of funding, along with project descriptions, will be outlined in the Capital Improvement Program. Areas included in the program will be drainage, sanitary sewers and water mains, public facilities, sidewalks, transportation, equipment, and parks and recreation facilities. The purpose of this six-year program is to facilitate the orderly planning and infrastructure improvements, maintain, preserve, and protect the City's existing infrastructure system, and provide for the scheduled replacement of equipment and acquisition of new equipment to insure the efficient delivery of services to the community. The first year of the adopted CIP is incorporated into the city's proposed budget, if funding is available. The City manages its debt by establishing debt capacity limits or guidelines to use in conjunction with its capital planning and budgeting processes.

In order to better understand the financial condition of the City, it has become increasingly important to maintain and update an ongoing Financial Forecasting model. The end result of this forecasting model is intended to communicate what is likely to happen in the future based on where the City is today and where it appears to be heading. The preparation of a reasonably complete forecast allows the City to look at its options and prudently plan and act accordingly. The Financial Forecasts are developed as part of the annual Citizens Guide and Performance Dashboard document. This document also includes performance measurements of key benchmark data related to fiscal stability and economic strength.

## **Awards and Acknowledgements**

The Government Finance Officers Association (GFOA) awarded a Certificate of Achievement for Excellence in Financial Reporting to the City of Farmington Hills for its ACFR for the fiscal year ended June 30, 2022. This was the 25<sup>th</sup> consecutive year that the City has received this prestigious award. In order to be awarded a Certificate of Achievement, the City published an easily readable and efficiently organized ACFR. This report satisfied both GAAP and applicable legal requirements. A Certificate of Achievement is valid for a period of one year only. We believe that our current ACFR continues to meet the Certificate of Achievement Program's requirements and we are submitting it to the GFOA to determine its eligibility for another certificate.

In addition, the City received the GFOA's Distinguished Budget Presentation Award for its annual budget document for the fiscal year ended June 30, 2023. In order to qualify for the Distinguished Budget Presentation Award, the City's budget document was judged to be proficient in several categories, including as a policy document, a financial plan, an operations guide, and a communications device. This was the 39<sup>th</sup> consecutive year the City received this award.

The preparation of this report would not have been possible without the efficient and dedicated services of the entire staff of the finance department and city manager's office. We would like to express our appreciation to all members of the departments who assisted and contributed to the preparation of this report. The independent auditing firm of Yeo & Yeo provided assistance for proper presentation in the form of counsel, suggestions, and direct input. Credit also must be given to the mayor and the City Council for their support in maintaining the highest standards of professionalism in the management of the City of Farmington Hills' finances.

Respectfully submitted,



Gary Mekjian  
Interim City Manager



Thomas C. Skrobola  
Finance Director/Treasurer



Government Finance Officers Association

Certificate of  
Achievement  
for Excellence  
in Financial  
Reporting

Presented to

**City of Farmington Hills  
Michigan**

For its Annual Comprehensive  
Financial Report  
For the Fiscal Year Ended

June 30, 2022

*Christopher P. Morill*

Executive Director/CEO

**City of Farmington Hills**  
**List of Elected and Principal Officials**  
**June 30, 2023**

---

**Mayor and City Council**

<b>Title</b>	<b>Name</b>
Mayor	Vicki Barnett
Mayor Pro Tem	Randy Bruce
Council Member	Valerie Knol
Council Member	Michael Bridges
Council Member	Ken Massey
Council Member	Mary Newlin
Council Member	Jackie Boleware

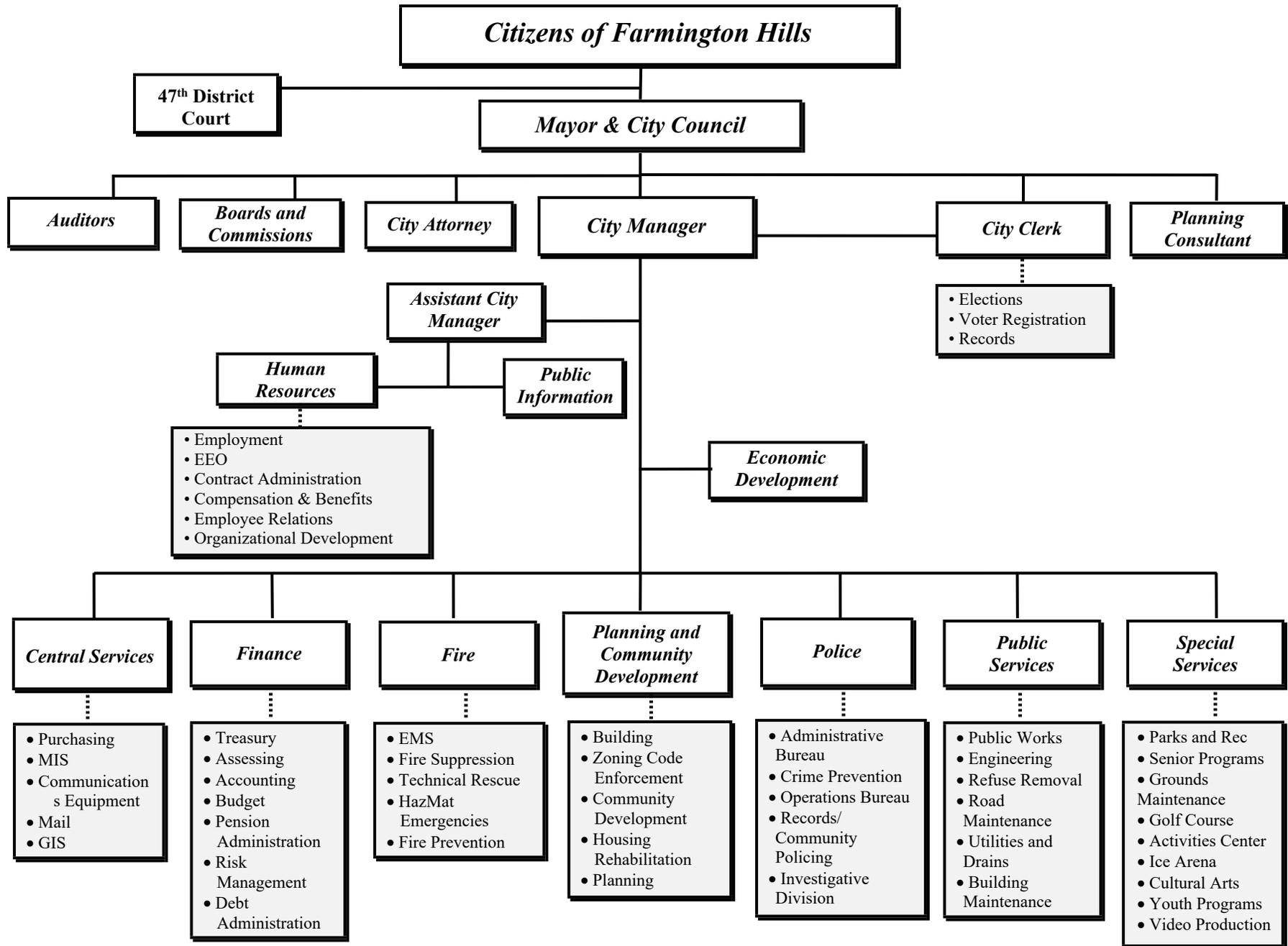
**City of Farmington Hills**  
**List of Elected and Principal Officials**  
**June 30, 2023**

---

**Principal Officials**

<u>Title</u>	<u>Name</u>
City Manager	Gary Mekjian
Assistant City Manager	Joe Valentine
Economic Development Director	Cristia Brockway
City Clerk	Pamela Smith
Central Services Director	Kelly Monico
Finance Director/Treasurer	Thomas Skrobola
Fire Chief	Jon Unruh
Human Resources Director	Lori Brown
Planning and Community Development Director	Charmaine Kettler-Schmult
Police Chief	Jeff King
Public Services Director	Karen Mondora
Special Services Director	Ellen Schnackel
City Attorney	Rosati, Schultz, Joppich & Amtsbuechler, P.C.
Deputy Director Special Services	Bryan Farmer
Deputy Director Special Services	Brian Moran
Assistant Police Chief	Vacant
Assistant Police Chief	John Piggott
Deputy Fire Chief	Jason Olszewski
Building Official	Scott Lenhart
City Assessor	Matthew Dingman
City Engineer	James Cubera
City Planner	Erik Perdonik
Community Development Coordinator	Tracey Emmanuel
Assistant Finance Director	Teresa Jablonski
Deputy City Clerk	Carly Lindahl
Deputy Treasurer	Shontae Stringfellow
Fire Marshal	Jason Baloga
Public Works Superintendent	Derrick Schueller
Zoning Division Supervisor	Dennis Randt

# CITY OF FARMINGTON HILLS



**City of Farmington Hills  
Fund Organization Chart**

**Governmental Funds**

---

**General**

---

General Fund

**Debt Service**

---

General Debt Service

**Capital Projects**

---

Capital Improvement  
Community Center Renovations

**Special Revenue**

---

Major Roads  
Local Roads  
Municipal Streets  
Public Safety Millage  
Community Development Block Grants (CDBG)  
Nutrition Grant  
Forfeiture  
Parks and Recreation Special Millage  
Michigan Indigent Defense Commission

**Proprietary Funds - Enterprise**

---

Water and Sewer

**Fiduciary Funds**

---

**Custodial**

---

Tax Collections

**Component Units**

---

Economic Development Corporation  
Corridor Improvement Authority

Brownfield Redevelopment Authority



## Independent Auditors' Report

To the Honorable Mayor and Members  
of the City Council  
City of Farmington Hills  
City of Farmington Hills, Michigan

### Report on the Audit of the Financial Statements

#### Opinions

We have audited the accompanying financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of the City of Farmington Hills (the "City"), as of and for the year ended June 30, 2023, and the related notes to the financial statements, which collectively comprise the City's basic financial statements as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of the City as of June 30, 2023, and the respective changes in financial position and, where applicable, cash flows thereof for the year then ended in accordance with accounting principles generally accepted in the United States of America.

#### Basis for Opinions

We conducted our audit in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the Auditors' Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the City, and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

#### Adoption of New Accounting Standard

As discussed in Note 16 to the financial statements, during the year ended June 30, 2023 the City adopted new accounting guidance, GASB Statement No. 96, *Subscription-Based Information Technology Arrangements*. Our opinions are not modified with respect to this matter.

#### Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America, and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the City's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

### **Auditors' Responsibilities for the Audit of the Financial Statements**

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditors' report that includes our opinions. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with generally accepted auditing standards and *Government Auditing Standards* will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with generally accepted auditing standards and *Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the City's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

### **Required Supplementary Information**

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis, budgetary comparison schedules, and the pension and OPEB schedules, as identified in the table of contents, be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the required supplementary information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the

methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

### **Supplementary Information**

Our audit was conducted for the purpose of forming opinions on the financial statements that collectively comprise the City's basic financial statements. The other supplementary information, as identified in the table of contents, is presented for purposes of additional analysis and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the basic financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America by us. In our opinion, based on our audit, the other supplementary information, as identified in the table of contents, is fairly stated, in all material respects, in relation to the basic financial statements as a whole.

### **Other Information**

Management is responsible for the other information included in the annual report. The other information comprises the introductory and statistical sections but does not include the basic financial statements and our auditors' report thereon. Our opinions on the basic financial statements do not cover the other information, and we do not express an opinion or any form of assurance thereon.

In connection with our audit of the basic financial statements, our responsibility is to read the other information and consider whether a material inconsistency exists between the other information and the basic financial statements, or the other information otherwise appears to be materially misstated. If, based on the work performed, we conclude that an uncorrected material misstatement of the other information exists, we are required to describe it in our report.

### **Other Reporting Required by *Government Auditing Standards***

In accordance with *Government Auditing Standards*, we have also issued our report dated December 4, 2023 on our consideration of the City's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the City's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the City's internal control over financial reporting and compliance.

*Yeo & Yeo, P.C.*

Auburn Hills, MI  
December 4, 2023

**City of Farmington Hills**  
**Management's Discussion and Analysis**  
**June 30, 2023**

---

**Using this Annual Report**

This annual report consists of a series of financial statements. The statement of net position and the statement of activities provide information about the activities of the City of Farmington Hills, Michigan (the "City") on a government-wide basis. They are designed to present a long-term view of the City's finances. Fund financial statements follow the above-mentioned statements and illustrate how the services provided by the City were financed in the short term, as well as what remains for future spending. Additionally, fund financial statements report the City's operations in more detail than the government-wide financial statements.

**The City of Farmington Hills as a Whole**

The City's combined primary government net position increased \$21.1 million or 5.6 percent, from \$375.8 million to \$396.9 million, due primarily to the net increase of \$10.8 million of capital assets and \$11.2 million of Restricted assets, primarily in the Road Funds, due to the acquisition of infrastructure, facilities, and equipment, and the net increase in funds restricted for road construction, due to the timing of capital project expenditures over the fiscal year end. Of that amount, \$77.5 million (unrestricted net position) may be used to meet the City's ongoing obligations to citizens/creditors. Governmental activities net position increased by \$21.0 million or 9.0 percent. Unrestricted net position of governmental activities was approximately \$12.0 million as of June 30, 2023. Business-type activities net position increased by approximately \$100,000 in net position or 0.1 percent. The unrestricted net position of business-type activities was approximately \$65.5 million as of June 30, 2023.

**City of Farmington Hills**  
**Management's Discussion and Analysis**  
**June 30, 2023**

In condensed format, the table below shows the comparison of net position (in millions of dollars) as of June 30, 2023 to the prior year:

TABLE 1

	Governmental Activities		Business-type Activities		Total	
	2023	2022	2023	2022	2023	2022
<b>Assets</b>						
Current assets	\$ 121.6	\$ 101.6	\$ 70.0	\$ 75.3	\$ 191.6	\$ 176.9
Noncurrent assets:						
Noncapital assets	7.6	5.6	-	-	7.6	5.6
Capital assets	241.7	232.2	111.7	99.2	353.4	331.4
Total assets	370.9	339.4	181.7	174.5	552.6	513.9
<b>Deferred Outflows of Resources</b>	14.2	16.1	-	-	14.2	16.1
<b>Liabilities</b>						
Current liabilities	23.5	26.3	6.0	5.3	29.5	31.6
Long-term liabilities	104.3	92.6	31.4	25.0	135.7	117.6
Total liabilities	127.8	118.9	37.4	30.3	165.2	149.2
<b>Deferred Inflows of Resources</b>	4.6	5.0	-	-	4.6	5.0
<b>Net Position</b>						
Invested in capital assets	202.6	198.0	78.8	72.7	281.4	270.7
Restricted	38.1	26.9	-	-	38.1	26.9
Unrestricted (deficit)	12.0	6.7	65.5	71.5	77.5	78.2
Total net position	<b>\$ 252.7</b>	<b>\$ 231.6</b>	<b>\$ 144.3</b>	<b>\$ 144.2</b>	<b>\$ 397.0</b>	<b>\$ 375.8</b>

**City of Farmington Hills  
Management's Discussion and Analysis  
June 30, 2023**

The following table shows the changes in net position (in millions of dollars) for the years ended June 30, 2023 and 2022:

TABLE 2

	Governmental Activities		Business-type Activities		Total	
	2023	2022	2023	2022	2023	2022
<b>Revenue</b>						
Program revenue:						
Charges for services	\$ 22.1	\$ 19.0	\$ 34.3	\$ 31.0	\$ 56.4	\$ 50.0
Operating grants and contributions	20.0	17.5	-	-	20.0	17.5
Capital grants and contributions	-	-	1.5	1.2	1.5	1.2
General revenue:						
Property taxes	67.6	64.5	-	-	67.6	64.5
State-shared revenue	11.1	11.0	-	-	11.1	11.0
Interest	6.3	-	2.7	-	9.0	-
Other	0.4	0.8	-	-	0.4	0.8
<b>Total revenue</b>	<b>127.5</b>	<b>112.8</b>	<b>38.5</b>	<b>32.2</b>	<b>166.0</b>	<b>145.0</b>
<b>Program Expenses</b>						
General government	17.3	17.8	-	-	17.3	17.8
Public safety	41.7	35.4	-	-	41.7	35.4
Public services	27.6	21.6	-	-	27.6	21.6
Health and welfare	0.4	0.2	-	-	0.4	0.2
Community and economic development	2.8	2.2	-	-	2.8	2.2
Recreation and culture	15.9	14.3	-	-	15.9	14.3
Interest on long-term debt	0.7	0.8	-	-	0.7	0.8
Water and sewer	-	-	38.4	33.4	38.4	33.4
<b>Total program expenses</b>	<b>106.4</b>	<b>92.3</b>	<b>38.4</b>	<b>33.4</b>	<b>144.8</b>	<b>125.7</b>
<b>Change in Net Position</b>	<b>21.1</b>	<b>20.5</b>	<b>0.1</b>	<b>(1.2)</b>	<b>21.2</b>	<b>19.3</b>
<b>Net Position</b> - Beginning of year	<b>231.6</b>	<b>211.1</b>	<b>144.2</b>	<b>145.4</b>	<b>375.8</b>	<b>356.5</b>
<b>Net Position</b> - End of year	<b>\$ 252.7</b>	<b>\$ 231.6</b>	<b>\$ 144.3</b>	<b>\$ 144.2</b>	<b>\$ 397.0</b>	<b>\$ 375.8</b>

**Governmental Activities**

The City's total governmental activities revenue increased by \$14.7 million or 13 percent. This was primarily attributed to improved interest earnings of \$6.3 million, due to the Federal Reserve's very rapid increase in the Federal Funds Rate, which drives most municipal cash investment returns, which are governed strictly by Public Act 20 of the Compiled Laws of Michigan; this increase is expected to be short-lived as the Federal Reserve is

**City of Farmington Hills**  
**Management's Discussion and Analysis**  
**June 30, 2023**

---

expected to lower interest rates in the next year. This was also impacted by a \$3.1 million increase in charges for services as the Hawk Community Center patrons continue to flock to the City's new community crown jewel and COVID pandemic concerns have receded, as well as City staff Engineering work conducted in support of City infrastructure projects. Finally, revenues were impacted by a \$2.5 million increase in operating grants and contributions, driven in part by the receipt of a Federal FEMA grant through Oakland County to reimburse for costs from the July 2021 storm event. The City's total governmental program expenses increased by \$14.2 million or 15.3 percent. This is attributable to increased Police and Fire staffing as approved by City Council in the FY 22-23 Budget, as well as increases in road paving activity, and increased expenses to accommodate the increased patronage of the new Hawk Community Center. The trend in Hawk revenues and expenditures are expected to continue in a net positive direction, as one-time rate adjustments have been made to reflect recent inflation and the results of a comparative study of fees in the Community Center and recreational facilities market. Improvements in Grants were largely a one-time event. These expectations have been built into the City's FY 23-24 Budget.

The City continues to pre-fund postretirement healthcare benefits as well as retirement benefits so that future taxpayers will not have to bear the burden of currently earned benefits. During the year, the City contributed 100 percent of the actuarial required contributions for the Employees' Retirement System Pension and the Postretirement Healthcare Plan.

**Business-type Activities**

The City's business-type activities are recorded in the Water and Sewer Fund. The City provides water distribution and sanitary sewer disposal services, which are supplied by the Great Lakes Water Authority and operated, maintained, and administered by the Oakland County Water Resources Commissioner. The utility system incurred a \$0.1 million operating gain during fiscal year 2022-2023 compared to an operating loss of \$1.2 million in the previous fiscal period. The change in net operating income is primarily the result of the positive differential in interest earnings in FY 2022-23, due to the aforementioned rising interest rate environment. The Water and Sewer Fund maintained a net position of \$144.3 million at year end, of which approximately \$65.5 million (unrestricted net position) may be used to meet the fund's ongoing obligations to citizens and creditors.

**The City's Funds**

An analysis of the City's major funds follows the government-wide financial statements. The fund financial statements provide detailed information on the most significant funds, not the City as a whole. In addition to state legislative requirements to maintain separate funds for Act 51 major and local road money, the City Council creates funds to administer certain dedicated dollars and demonstrate accountability to the citizens for special tax millages voted by the citizens and earmarked bond proceeds. The City's major funds for fiscal year 2022-2023 include the General Fund, the Municipal Street Fund, the Major Roads Fund, the Local Roads Fund, and the Public Safety Millage Fund. Capital improvements in the major funds category primarily include major and local road reconstruction/resurfacing.

**General Fund:**

The FY 2022-2023 General Fund budget reflected a \$2.0 million decrease in fund balance at year end. Instead, the General Fund's fund balance increased by \$9.1 million or 19.2 percent, due primarily to the aforementioned \$6.3 million improvement in interest income (which is expected to be a short-term phenomenon, as the Federal Reserve is expected to lower rates in the next year), an ongoing improvement of \$3.1 million increase in charges for services at the Hawk Community Center, and a one-time \$2.5 million increase in operating grants and contributions, for the reasons outlined in the Governmental Activities section above.

**City of Farmington Hills**  
**Management's Discussion and Analysis**  
**June 30, 2023**

---

**Major Special Revenue Funds:**

The Major Roads Fund fund balance increased by approximately \$2.6 million or 19.8% percent. Total revenue and transfers in were \$1.6 million more than the previous year, due to increases in Road Millage revenue (driven by a 6% improvement in the tax base, which was in turn driven by a broad improvement in housing values), and Act 51 Gas and Weight Tax revenue, which was driven by increased post-COVID traffic. Total expenditures and transfers out were \$3.0 million more than the previous year, due to increased construction activity, which is also impacted by the timing of construction activity in progress as of the year end date of June 30<sup>th</sup>, which can cause large and more-or-less random fluctuations in year-end construction expenditures. The Local Roads Fund fund balance decreased by approximately \$0.1 million or 2.0 percent. Total revenue and other financing sources were lower than the previous year by \$1.8 million, due to a one-time elimination of the typical \$2.0 million transfer from the Major Roads Fund, to stabilize the Local Roads Fund balance, while total expenditures and transfers out were \$3.2 million more than the previous year for local street construction projects, due to the timing of construction projects over year end. The Public Safety Millage Fund fund balance increased by \$732,914, or 27.5 percent, due to the aforementioned increases in interest income. The Municipal Street Fund, inaugurated in 2019 – 2020; finished with a year-end fund balance of \$2.3 million, a \$1.8 million increase, due to the aforementioned increases in interest income and better than expected State Gas and Weight tax revenue.

**Major Capital Improvement Funds:**

The Capital Improvement Fund increased its fund balance by \$8.6 million, due primarily to the timing of ongoing capital projects vs. the initial budget as of the year end date of June 30, 2023.

**General Fund Budgetary Highlights**

The city administration and City Council continuously monitor and amend the budget to reflect unanticipated events that occur during the year.

Differences between the final amended budget and year-end actual numbers can be briefly summarized as follows:

- Actual Revenue of \$78.2 million was \$7.1 million higher than the \$71.05 million Budgeted, due to the aforementioned improved interest earnings of \$6.3 million.
- Actual Expenditures of \$61.1 million were \$3.4 million less than the \$64.5 million budgeted. The approximate 5.6 percent decrease in total expenditures from the final amended budget are based primarily on positive staff vacancy variance due to normal retirement and departures.

**Capital Assets and Debt Administration**

On June 30, 2023, the City had approximately \$353 million in total net capital assets ranging from land, buildings, equipment, technology equipment, and water and sewer lines. The value of infrastructure (roads, sidewalks, drains, water, and sewer) assets included in this report, net of depreciation and exclusive of construction on progress, is approximately \$163.9 million (see Note 5 of the notes to financial statements for additional information).

Debt reported in these financial statements is related to the construction of the above-mentioned infrastructure assets and community center and is reported as a liability on the statement of net position. The City's total debt for governmental activities increased by \$5.3 million (12.9 percent). The increase was the result of the issuance of \$7.0 million of new General Obligation Debt for the construction of drains and other infrastructure projects,

**City of Farmington Hills**  
**Management's Discussion and Analysis**  
**June 30, 2023**

---

net of the payoff of annual maturities on pre-existing debt (see Note 7 of the notes to financial statements- for additional information). The City maintained its AAA noninsured rating from Standard & Poor's and Aa1 noninsured rating from Moody's.

**Economic Factors and Next Year's Budgets and Rates**

The fiscal year 2023-2024 tax rate decreased from 16.5693 to 16.5195 mills, due to the reduction of the Refuse Removal millage by 0.0491, due to a new Waste Removal contract that will save the City roughly \$400,000 per year in expenditures. The City's tax base increased by 5.8 percent in fiscal year 2022-23, and increased 6.5 percent for FY 2023-24, driven primarily by a nationwide trend in housing price inflation. Our state equalized value (SEV) is \$5.7 billion in FY 2023-24, which is \$1.484 billion more than our taxable value. This is significant because taxes are based on taxable value, not SEV. The tax base is well diversified with residential accounting for 69 percent, commercial 22 percent, industrial 3 percent, and personal property 5 percent (figures do not add to 100% due to rounding). Tax base diversification is further demonstrated by the fact that the top 10 taxpayers in 2023-24 combined account for approximately 7.5 percent of the tax roll.

Taxes account for approximately 46 percent of the FY 2023-24 General Fund budgeted revenue, while state-shared revenue accounts for approximately 13 percent of the FY 2023-24 General Fund budgeted revenue. The FY 2023-24 General Fund adopted budget reflects the use of fund balance of \$4.5 million, which includes a continued contribution to the Capital Improvement Program. The FY 23-24 Budget represents the first of a 5-year plan to reduce the annual budgeted fiscal imbalance from over \$6 million in FY 2020-21 to roughly \$2 million. This will be accomplished by (a) a 2-year phase-in of the aforementioned inflationary increases in Special Services rates for Parks and Recreation services, as well as further increases in users/customers of our Parks and Recreation facilities and programs, as well as significant reductions/efficiencies in Special Services expenditures. These increases in revenues and reductions/efficiencies in expenditures are based on the findings of the firm Sports Facilities Companies (SFC), which works nationally to consult with and operate municipal and regional parks and recreation programming and facilities.

On the expense side, the City operates with a relatively small labor force and low personnel costs, while maintaining all city services, with some inflationary cost increases. The City will continue to adjust expenditures through cost savings and efficiencies in FY 2023-24 to match revenue projections as they are revised.

**Contacting the City's Management**

This financial report is intended to provide our citizens, taxpayers, customers, and investors with a general overview of the City's finances and to show the City's accountability for the money it receives. Questions concerning any of the information provided in this report or requests for additional financial information should be addressed to Thomas C. Skrobola, Finance Director/Treasurer, City of Farmington Hills, Michigan, 31555 West Eleven Mile Road, Farmington Hills, MI 48336.

**City of Farmington Hills**  
**Statement of Net Position**  
**June 30, 2023**

	Primary Government			Component Units
	Governmental Activities	Business-type Activities	Total	
<b>Assets</b>				
Cash and cash equivalents	\$ 77,582,674	\$ 61,505,107	\$ 139,087,781	\$ 1,982,903
Investments	36,118,987	25,550	36,144,537	373,106
Receivables:				
Customers	916,764	9,618,373	10,535,137	-
Due from other units of government	4,238,570	-	4,238,570	-
Internal balances	1,080,759	(1,080,759)	-	-
Inventories	999,490	-	999,490	-
Prepaid items	240,863	-	240,863	-
Deposits	306,416	-	306,416	-
Capital assets not being depreciated	79,044,034	13,676,691	92,720,725	-
Capital assets, net of accumulated depreciation	162,732,958	97,985,514	260,718,472	-
Net OPEB asset	7,642,629	-	7,642,629	-
Total assets	<u>370,904,144</u>	<u>181,730,476</u>	<u>552,634,620</u>	<u>2,356,009</u>
<b>Deferred Outflows of Resources</b>				
Deferred charges on bond refunding	74,690	-	74,690	-
Deferred amount relating to net pension liability	10,043,330	-	10,043,330	-
Deferred amount relating to net OPEB asset	4,113,389	-	4,113,389	-
Total deferred outflows of resources	<u>14,231,409</u>	<u>-</u>	<u>14,231,409</u>	<u>-</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Statement of Net Position**  
**June 30, 2023**

	Primary Government			Component Units
	Governmental Activities	Business-type Activities	Total	
<b>Liabilities</b>				
Accounts payable	\$ 6,846,517	\$ 4,088,939	\$ 10,935,456	\$ -
Accrued and other liabilities	9,929,823	453,804	10,383,627	-
Due to other units of government	154,799	-	154,799	-
Unearned revenue	815,490	-	815,490	-
Noncurrent liabilities due within one year:				
Current portion of compensated absences	2,627,678	-	2,627,678	-
Debt due within one year	2,899,651	1,537,525	4,437,176	-
Claims due within one year	345,000	-	345,000	-
Noncurrent liabilities due in more than one year:				
Noncurrent portion of compensated absences	3,715,034	-	3,715,034	-
Debt due in more than one year	36,792,124	31,351,438	68,143,562	-
Net pension liability	63,709,201	-	63,709,201	-
Total liabilities	<u>127,835,317</u>	<u>37,431,706</u>	<u>165,267,023</u>	<u>-</u>
<b>Deferred Inflows of Resources</b>				
Deferred amount relating to net OPEB asset	<u>4,639,805</u>	<u>-</u>	<u>4,639,805</u>	<u>-</u>
<b>Net Position</b>				
Net investment in capital assets	202,562,652	78,773,242	281,335,894	-
Restricted for:				
Roads	24,705,373	-	24,705,373	-
Police and fire operations	4,965,523	-	4,965,523	-
Parks and recreation	815,663	-	815,663	-
OPEB asset	7,116,213	-	7,116,213	-
Construction code	522,642	-	522,642	-
Unrestricted	<u>11,972,365</u>	<u>65,525,528</u>	<u>77,497,893</u>	<u>2,356,009</u>
 Total net position	 <u>\$ 252,660,431</u>	 <u>\$ 144,298,770</u>	 <u>\$ 396,959,201</u>	 <u>\$ 2,356,009</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Statement of Activities**  
**For the Year Ended June 30, 2023**

Functions/Programs	Program Revenues				Net (Expense) Revenue and Changes in Net Position			Component Units
	Expenses	Charges for Services	Operating Grants and Contributions	Capital Grants and Contributions	Primary Government			
					Governmental Activities	Business-type Activities	Total	
<b>Primary government</b>								
Governmental activities:								
General government	\$ 17,441,760	\$ 7,114,125	\$ 1,612,159	\$ -	\$ (8,715,476)	\$ -	\$ (8,715,476)	\$ -
Public safety	41,650,599	3,007,330	4,678,735	-	(33,964,534)	-	(33,964,534)	-
Public works	27,687,683	4,038,117	11,621,848	-	(12,027,718)	-	(12,027,718)	-
Health and welfare	359,628	-	304,381	-	(55,247)	-	(55,247)	-
Community and economic development	2,754,805	-	1,051,148	-	(1,703,657)	-	(1,703,657)	-
Recreation and culture	15,919,670	7,936,003	781,040	-	(7,202,627)	-	(7,202,627)	-
Interest and fiscal charges on long-term debt	687,530	-	-	-	(687,530)	-	(687,530)	-
Total governmental activities	106,501,675	22,095,575	20,049,311	-	(64,356,789)	-	(64,356,789)	-
Business-type activities - Water and Sewer	38,412,585	34,313,232	-	1,467,055	-	(2,632,298)	(2,632,298)	-
Total primary government	<u>\$ 144,914,260</u>	<u>\$ 56,408,807</u>	<u>\$ 20,049,311</u>	<u>\$ 1,467,055</u>	<u>(64,356,789)</u>	<u>(2,632,298)</u>	<u>(66,989,087)</u>	<u>-</u>
<b>Component units</b>								
Economic Development Corporation	\$ 17	\$ -	\$ -	\$ -	-	-	-	(17)
Brownfield Redevelopment Authority	245,043	-	-	-	-	-	-	(245,043)
Corridor Improvement Authority	11,351	-	-	-	-	-	-	(11,351)
Total component units	<u>\$ 256,411</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>(256,411)</u>
General revenues								
Property taxes					67,592,794	-	67,592,794	751,209
State-shared revenue					11,056,305	-	11,056,305	-
Unrestricted investment earnings					6,333,121	2,709,248	9,042,369	158,403
Gain on sale of capital assets					140,958	-	140,958	-
Miscellaneous					294,773	-	294,773	-
Total general revenues					<u>85,417,951</u>	<u>2,709,248</u>	<u>88,127,199</u>	<u>909,612</u>
Change in net position					21,061,162	76,950	21,138,112	653,201
Net position - beginning of year					<u>231,599,269</u>	<u>144,221,820</u>	<u>375,821,089</u>	<u>1,702,808</u>
Net position - end of year					<u>\$ 252,660,431</u>	<u>\$ 144,298,770</u>	<u>\$ 396,959,201</u>	<u>\$ 2,356,009</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Governmental Funds**  
**Balance Sheet**  
**June 30, 2023**

	General	Municipal Street Fund	Major Roads Fund	Local Roads Fund	Public Safety Millage Fund	Capital Improvement Fund	Nonmajor Governmental Funds	Total Governmental Funds
<b>Assets</b>								
Cash and cash equivalents	\$ 38,231,768	\$ 2,304,679	\$ 9,138,371	\$ 4,022,386	\$ 9,825,361	\$ 12,224,540	\$ 1,835,569	\$ 77,582,674
Investments	15,892,199	-	6,333,403	4,934,209	3,103,915	4,614,276	1,240,985	36,118,987
Receivables:								
Other receivables	907,171	-	-	-	-	9,418	175	916,764
Due from other units of government	2,181,020	-	1,411,313	491,136	-	-	155,101	4,238,570
Due from other funds	11,842,036	-	34,129	252	-	-	457,252	12,333,669
Prepaid items	240,863	-	-	-	-	-	-	240,863
Deposits	306,416	-	-	-	-	-	-	306,416
<b>Total assets</b>	<b><u>\$ 69,601,473</u></b>	<b><u>\$ 2,304,679</u></b>	<b><u>\$ 16,917,216</u></b>	<b><u>\$ 9,447,983</u></b>	<b><u>\$ 12,929,276</u></b>	<b><u>\$ 16,848,234</u></b>	<b><u>\$ 3,689,082</u></b>	<b><u>\$ 131,737,943</u></b>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Governmental Funds**  
**Balance Sheet**  
**June 30, 2023**

	General	Municipal Street Fund	Major Roads Fund	Local Roads Fund	Public Safety Millage Fund	Capital Improvement Fund	Nonmajor Governmental Funds	Total Governmental Funds
<b>Liabilities</b>								
Accounts payable	\$ 1,984,863	\$ -	\$ 1,135,307	\$ 2,364,597	\$ -	\$ 813,231	\$ 548,519	\$ 6,846,517
Accrued and other liabilities	9,773,715	-	-	-	-	-	-	9,773,715
Due to other funds	444,270	-	-	464,601	9,536,054	21,485	786,500	11,252,910
Unearned revenue	815,490	-	-	-	-	-	-	815,490
<b>Total liabilities</b>	<u>13,018,338</u>	<u>-</u>	<u>1,135,307</u>	<u>2,829,198</u>	<u>9,536,054</u>	<u>834,716</u>	<u>1,335,019</u>	<u>28,688,632</u>
<b>Deferred Inflows of Resources</b>								
Unavailable - opioid	289,283	-	-	-	-	-	-	289,283
<b>Fund Balances</b>								
Non-spendable:								
Prepaid items	240,863	-	-	-	-	-	-	240,863
Restricted for:								
Roads	-	2,304,679	15,781,909	6,618,785	-	-	-	24,705,373
Police and fire	95,409	-	-	-	3,393,222	-	1,187,609	4,676,240
Parks and recreation	-	-	-	-	-	-	815,663	815,663
Capital projects	-	-	-	-	-	402,745	-	402,745
Construction code	522,642	-	-	-	-	-	-	522,642
Assigned:								
Capital projects	-	-	-	-	-	15,610,773	210,138	15,820,911
Debt service	-	-	-	-	-	-	140,653	140,653
Future expenditures	4,490,061	-	-	-	-	-	-	4,490,061
Unassigned	50,944,877	-	-	-	-	-	-	50,944,877
<b>Total fund balances</b>	<u>56,293,852</u>	<u>2,304,679</u>	<u>15,781,909</u>	<u>6,618,785</u>	<u>3,393,222</u>	<u>16,013,518</u>	<u>2,354,063</u>	<u>102,760,028</u>
<b>Total liabilities, deferred inflows of resources and fund balances</b>	<u>\$ 69,601,473</u>	<u>\$ 2,304,679</u>	<u>\$ 16,917,216</u>	<u>\$ 9,447,983</u>	<u>\$ 12,929,276</u>	<u>\$ 16,848,234</u>	<u>\$ 3,689,082</u>	<u>\$ 131,737,943</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Governmental Funds**  
**Reconciliation of Fund Balances of Governmental Funds**  
**to Net Position of Governmental Activities**  
**June 30, 2023**

<b>Total fund balances for governmental funds</b>	<b>\$ 102,760,028</b>
Total net position for governmental activities in the statement of net position is different because:	
Inventories used in governmental activities are reported on the purchase method in the funds.	999,490
Capital assets net of accumulated depreciation used in governmental activities are not financial resources and therefore are not reported in the funds.	162,732,958
Capital assets not being depreciated used in governmental activities are not financial resources and therefore are not reported in the funds.	79,044,034
Certain receivables are not available to pay for current period expenditures and, therefore are deferred in the funds.	289,283
Deferred charges on bond refundings are amortized over the related bond terms and are not reported in the funds.	74,690
Net OPEB asset is not reported in the funds.	7,642,629
Certain liabilities are not due and payable in the current period and are not reported in the funds.	
Accrued interest	(156,108)
Compensated absences	(6,342,712)
Claims and judgments	(345,000)
Deferred outflows (inflows) of resources.	
Deferred inflows of resources resulting from net OPEB asset	(4,639,805)
Deferred outflows of resources resulting from net pension liability	10,043,330
Deferred outflows of resources resulting from net OPEB asset	4,113,389
Long-term liabilities applicable to governmental activities are not due and payable in the current period and, accordingly, are not reported as fund liabilities.	
Bonds and notes payable	(39,691,775)
Net pension liability	(63,709,201)
Amounts due to Oakland County for drain projects are not included as a liability in the governmental funds.	<u>(154,799)</u>
<b>Net position of governmental activities</b>	<b><u>\$ 252,660,431</u></b>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Governmental Funds**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Year Ended June 30, 2023**

	General	Municipal Street Fund	Major Roads Fund	Local Roads Fund	Public Safety Millage Fund	Capital Improvement Fund	Nonmajor Governmental Funds	Total Governmental Funds
<b>Revenues</b>								
Property taxes	\$ 36,241,571	\$ 17,605,075	\$ -	\$ -	\$ 11,955,725	\$ 14,208	\$ 1,790,423	\$ 67,607,002
Licenses and permits	2,151,403	-	-	-	-	-	-	2,151,403
Federal grants	4,257,065	-	-	-	-	-	1,679,389	5,936,454
State and other sources	11,980,134	556,917	8,696,516	2,894,156	137,290	40,599	583,714	24,889,326
Local contributions	-	-	6,643	-	-	-	5,424	12,067
Charges for services	16,504,638	-	-	-	-	-	-	16,504,638
Fines and forfeitures	1,531,952	-	-	-	-	-	-	1,531,952
Investment income	3,317,292	384,114	836,727	510,463	564,484	576,590	148,831	6,338,501
Other revenue:								
Other grants and contributions	58,274	-	-	-	-	-	-	58,274
Equipment rental	1,623,959	-	-	-	-	-	-	1,623,959
Other miscellaneous income	526,599	-	290	-	-	6,426	210,455	743,770
<b>Total revenues</b>	<u>78,192,887</u>	<u>18,546,106</u>	<u>9,540,176</u>	<u>3,404,619</u>	<u>12,657,499</u>	<u>637,823</u>	<u>4,418,236</u>	<u>127,397,346</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Governmental Funds**  
**Statement of Revenues, Expenditures and Changes in Fund Balances**  
**For the Year Ended June 30, 2023**

	General	Municipal Street Fund	Major Roads Fund	Local Roads Fund	Public Safety Millage Fund	Capital Improvement Fund	Nonmajor Governmental Funds	Total Governmental Funds
<b>Expenditures</b>								
Current:								
General government	\$ 13,882,188	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 13,882,188
Public safety	23,620,757	-	-	-	11,924,585	-	121,140	35,666,482
Public works	8,069,798	-	11,903,137	14,431,586	-	-	-	34,404,521
Health and welfare	-	-	-	-	-	-	360,687	360,687
Community and economic development	1,699,740	-	-	-	-	-	1,051,151	2,750,891
Recreation and culture	13,284,256	-	-	-	-	-	635,330	13,919,586
Capital outlay	331,250	-	-	-	-	6,597,712	815,814	7,744,776
Debt service	191,775	-	-	887,088	-	-	2,217,460	3,296,323
<b>Total expenditures</b>	<b>61,079,764</b>	<b>-</b>	<b>11,903,137</b>	<b>15,318,674</b>	<b>11,924,585</b>	<b>6,597,712</b>	<b>5,201,582</b>	<b>112,025,454</b>
<b>Excess (deficiency) of revenues over expenditures</b>	<b>17,113,123</b>	<b>18,546,106</b>	<b>(2,362,961)</b>	<b>(11,914,055)</b>	<b>732,914</b>	<b>(5,959,889)</b>	<b>(783,346)</b>	<b>15,371,892</b>
<b>Other financing sources (uses)</b>								
Transfers in	1,307,850	-	4,969,577	11,781,926	-	7,600,000	2,249,214	27,908,567
Transfers out	(9,849,214)	(16,751,503)	-	-	-	-	(1,307,850)	(27,908,567)
Issuance of debt	331,250	-	-	-	-	7,000,457	-	7,331,707
Sale of capital assets	176,682	-	-	-	-	-	-	176,682
<b>Total other financing sources and uses</b>	<b>(8,033,432)</b>	<b>(16,751,503)</b>	<b>4,969,577</b>	<b>11,781,926</b>	<b>-</b>	<b>14,600,457</b>	<b>941,364</b>	<b>7,508,389</b>
<b>Net change in fund balance</b>	<b>9,079,691</b>	<b>1,794,603</b>	<b>2,606,616</b>	<b>(132,129)</b>	<b>732,914</b>	<b>8,640,568</b>	<b>158,018</b>	<b>22,880,281</b>
Fund balance - beginning of year	47,214,161	510,076	13,175,293	6,750,914	2,660,308	7,372,950	2,196,045	79,879,747
Fund balance - end of year	<b>\$ 56,293,852</b>	<b>\$ 2,304,679</b>	<b>\$ 15,781,909</b>	<b>\$ 6,618,785</b>	<b>\$ 3,393,222</b>	<b>\$ 16,013,518</b>	<b>\$ 2,354,063</b>	<b>\$ 102,760,028</b>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Governmental Funds**  
**Reconciliation of the Statement of Revenues, Expenditures and Changes in Fund Balances**  
**of Governmental Funds to the Statement of Activities**  
**For the Year Ended June 30, 2023**

<b>Net change in fund balances - total governmental funds</b>	<b>\$ 22,880,281</b>
Total change in net position reported for governmental activities in the statement of activities is different because:	
Governmental funds report inventory purchases as expenditures. However in the statement of activities purchases are recognized as inventory and expensed when consumed.	185,323
Governmental funds report capital outlays as expenditures. However, in the statement of activities the cost of those assets is allocated over their estimated useful lives and reported as depreciation expense.	
Depreciation and amortization expense	(12,823,103)
Capital outlay	22,133,812
Sale of capital assets (net book value)	(35,724)
Revenues in the statement of activities that do not provide current financial resources are not reported as revenue in the funds.	24,533
Expenses are recorded when incurred in the statement of activities.	
Accrued interest	70,295
Compensated absences	(347,223)
Claims and judgments	(42,000)
The statement of net position reports the net pension liability and deferred outflows of resources and deferred inflows related to the net pension liability and pension expense. However, the amount recorded on the governmental funds equals actual pension contributions.	
Net change in net pension liability	(6,870,075)
Net change in the deferred inflow of resources related to the net pension liability	484,973
Net change in the deferred outflow of resources related to the net pension liability	(1,335,414)
The statement of net position reports the net OPEB asset and deferred outflows of resources and deferred inflows related to the net OPEB asset and pension expense. However, the amount recorded on the governmental funds equals actual OPEB contributions.	
Net change in net OPEB asset	2,008,672
Net change in the deferred inflow of resources related to the net OPEB asset	(143,791)
Net change in the deferred outflow of resources related to the net OPEB asset	(336,188)
Bond proceeds are reported as financing sources in the governmental funds and thus contribute to the change in fund balance. In the statement of net position, however, issuing debt increases long-term liabilities and does not affect the statement of activities. Similarly, repayment of principal is an expenditure in the governmental funds but reduces the liability in the statement of net position.	
Debt issued	(7,331,707)
Repayments of long-term debt	2,561,185
Amortization deferred outflows related to debt refundings and premiums	(22,687)
<b>Change in net position of governmental activities</b>	<b>\$ 21,061,162</b>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Proprietary Funds**  
**Statement of Net Position**  
**June 30, 2023**

	Enterprise Fund
	Water and Sewer
<b>Assets</b>	
Current assets:	
Cash and cash equivalents	\$ 61,505,107
Investments	25,550
Receivables	9,618,373
Total current assets	71,149,030
Noncurrent assets:	
Capital assets not being depreciated	13,676,691
Capital assets, net of accumulated depreciation	97,985,514
Total noncurrent assets	111,662,205
Total assets	182,811,235
<b>Liabilities</b>	
Current liabilities:	
Accounts payable	4,088,939
Accrued and other liabilities	453,804
Due to other funds	1,080,759
Current portion of noncurrent liabilities	1,537,525
Total current liabilities	7,161,027
Long-term debt net of current portion	31,351,438
Total liabilities	38,512,465
<b>Net Position</b>	
Net investment in capital assets	78,773,242
Unrestricted	65,525,528
Total net position	\$ 144,298,770

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Proprietary Funds**  
**Statement of Revenues, Expenses and Changes in Fund Net Position**  
**For the Year Ended June 30, 2023**

	Enterprise Fund
	Water and Sewer
<b>Operating revenue</b>	
Sale of water	\$ 16,747,122
Sewage disposal charges	15,158,438
Other operating revenue	4,725
	31,910,285
<b>Operating expenses</b>	
Cost of water	9,983,803
Cost of sewage treatment	12,138,420
Other operating and maintenance costs	4,369,980
Billing and administrative costs	6,946,832
Depreciation	4,592,534
	38,031,569
Operating loss	(6,121,284)
<b>Nonoperating revenue (expenses)</b>	
Investment income	2,709,248
Interest expense	(381,016)
Debt service charge	2,402,947
	4,731,179
Total nonoperating revenues (expenses)	4,731,179
Loss before capital contributions	(1,390,105)
Tap-in fees	420,055
Lines donated by developers	1,047,000
	76,950
Change in net position	76,950
Net position - beginning of year	144,221,820
Net position - end of year	\$ 144,298,770

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Proprietary Funds**  
**Statement of Cash Flows**  
**For the Year Ended June 30, 2023**

	<u>Enterprise Fund</u>
	<u>Water and Sewer</u>
<b>Cash flows from operating activities</b>	
Receipts from customers	\$ 31,034,682
Receipts from other funds	607,522
Payments to suppliers	(32,956,895)
Net cash used by operating activities	(1,314,691)
<b>Cash flows from capital and related financing activities</b>	
Tap-in fees and other	420,055
Purchases/construction of capital assets	(7,877,110)
Principal and interest paid on long-term debt	(1,841,763)
Debt service charge	2,402,947
Net cash used by capital and related financing activities	(6,895,871)
<b>Cash flows from investing activities</b>	
Sale of investments	36,231,074
Interest received	2,709,248
Net cash provided by investing activities	38,940,322
Net change in cash and cash equivalents	30,729,760
Cash and cash equivalents - beginning of year	30,775,347
Cash and cash equivalents - end of year	\$ 61,505,107

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Proprietary Funds**  
**Statement of Cash Flows**  
**For the Year Ended June 30, 2023**

---

	<u>Enterprise Fund</u>
	<u>Water and Sewer</u>
<b>Reconciliation of operating loss to net cash provided by operating activities</b>	
Operating loss	\$ (6,121,284)
Adjustments to reconcile operating loss to net cash from operating activities:	
Depreciation expense	4,592,534
Changes in assets and liabilities:	
Receivables	(875,603)
Accounts payable	482,140
Due to other funds	607,522
Net cash used by operating activities	\$ (1,314,691)
<b>Noncash transactions</b>	
Lines donated by developers	\$ 1,047,000
Construction in progress and long-term debt	8,091,300
	\$ 9,138,300

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Fiduciary Funds**  
**Statement of Fiduciary Net Position**  
**June 30, 2023**

---

	<u>Custodial Fund</u>
<b>Assets</b>	
Cash and cash equivalents	\$ 74,068
Receivables	<u>40</u>
Total assets	<u>74,108</u>
<b>Liabilities</b>	
Other liabilities	<u>74,108</u>
<b>Net Position</b>	<u><u>\$ -</u></u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Fiduciary Funds**  
**Statement of Changes in Fiduciary Net Position**  
**For the Year Ended June 30, 2023**

---

	<u>Custodial Fund</u>
<b>Additions</b>	
Property tax collections for other governments	<u>\$ 122,910,377</u>
<b>Deductions</b>	
Payments of property tax to other governments	<u>122,910,377</u>
Change in net position	-
Net position - beginning of year	<u>-</u>
Net position - end of year	<u><u>\$ -</u></u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Component Units**  
**Statement of Net Position**  
**June 30, 2023**

	<u>Economic Development Corporation</u>	<u>Brownfield Redevelopment Authority</u>	<u>Corridor Improvement Authority</u>	<u>Total</u>
<b>Assets</b>				
Cash and cash equivalents	\$ 77	\$ 1,713,214	\$ 269,612	\$ 1,982,903
Investments	<u>583</u>	<u>-</u>	<u>372,523</u>	<u>373,106</u>
Total assets	<u>660</u>	<u>1,713,214</u>	<u>642,135</u>	<u>2,356,009</u>
<b>Net Position</b>				
Unrestricted	<u>\$ 660</u>	<u>\$ 1,713,214</u>	<u>\$ 642,135</u>	<u>\$ 2,356,009</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Component Units**  
**Statement of Activities**  
**For the Year Ended June 30, 2023**

	Program Revenues				Net (Expense) Revenue and Changes in Net Position			Total
	Expenses	Charges for Services	Operating Grants and Contributions	Capital Grants and Contributions	Economic Development Corporation	Brownfield Redevelopment Authority	Corridor Improvement Authority	
<b>Functions/Programs</b>								
Economic Development Corporation	\$ 17	\$ -	\$ -	\$ -	\$ (17)	\$ -	\$ -	\$ (17)
Brownfield Redevelopment Authority	245,043	-	-	-	-	(245,043)	-	(245,043)
Corridor Improvement Authority	11,351	-	-	-	-	-	(11,351)	(11,351)
<b>Total component units</b>	<u>\$ 256,411</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	(17)	(245,043)	(11,351)	(256,411)
General revenues								
Property taxes					-	556,202	195,007	751,209
Unrestricted investment earnings					49	141,369	16,985	158,403
Total general revenues					49	697,571	211,992	909,612
Change in net position					32	452,528	200,641	653,201
Net position - beginning of year					628	1,260,686	441,494	1,702,808
Net position - end of year					<u>\$ 660</u>	<u>\$ 1,713,214</u>	<u>\$ 642,135</u>	<u>\$ 2,356,009</u>

See Accompanying Notes to the Financial Statements

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

**Note 1 - Summary of Significant Accounting Policies**

**Reporting entity**

The City of Farmington Hills (the "City") is governed by an elected seven-member Council. The accompanying financial statements present the government and its component units, entities for which the government is considered to be financially accountable. Although blended component units are legal separate entities, in substance, they are part of the government's operations. Each discretely presented component unit is reported in a separate column in the government-wide financial statements to emphasize that it is legally separate from the government (see discussion below for description).

**Blended Component Units** – The Farmington Hills Building Authority (the "Authority") is governed by a board appointed by the City Council. Although it is legally separate from the City, the Authority is reported as if it were part of the primary government because its sole purpose is to finance and construct the City's public buildings. There was no activity during the current year.

**Discretely Presented Component Units** – The following component units are reported within the component units column in the financial statements. They are reported in a separate column in the government-wide financial statements to emphasize that they are legally separate from the City. The component units do not issue separate financial statements. However, the City's basic financial statements include the statement of net position and the activities of the component units. For all component units, the fund-based statements are the same as the government-wide level because there are no differences resulting from the different basis of accounting. Therefore, fund-based statements are not presented.

**Economic Development Corporation** – The Economic Development Corporation (the "EDC") was created to encourage and assist commercial and industrial enterprises to locate and expand facilities and services to the City and its residents. The EDC has the potential for financial benefit or burden to the City. The EDC's governing body,

which consists of nine individuals, is appointed by the City Council. In certain situations, members of the EDC board of directors may be removed by a majority vote of the City Council.

**Brownfield Redevelopment Authority** – The Brownfield Redevelopment Authority (the "BRA") was created to facilitate the implementation of plans for the identification, treatment, and revitalization of environmentally distressed areas within the City designated as Brownfield Redevelopment Zones. The BRA has the potential for financial benefit or burden to the City. The BRA's governing board of directors, consisting of nine members, is appointed by the mayor subject to approval by the City Council. In certain situations, members of the BRA board of directors may be removed by formal action of the City Council.

**Corridor Improvement Authority** – The Corridor Improvement Authority (the "CIA") was established to help correct and prevent deterioration in commercial corridor business districts, encourage historical preservation, and promote the economic growth of the districts. The CIA has the potential for financial benefit or burden to the City. The CIA's governing body, consisting of seven members, is appointed by the mayor, subject to approval by the City Council. In certain situations, members of the CIA board of directors may be removed by formal action of the City Council.

The City is party to the following jointly governed organizations:

The City participates in the Michigan 47th District Court Administration Fund with the City of Farmington, Michigan. The City provides approximately 84.70 percent of the funding for the Michigan 47th District Court Administration Fund.

In addition, the City is a member of the Resource Recovery and Recycling Authority of Southwest Oakland County (the "Recycling Authority"). The Recycling Authority is incorporated by the cities of Farmington, Farmington Hills, Novi, South Lyon, Southfield, Walled Lake, and Wixom, Michigan and the Charter Township of Lyon. The

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

joint venture receives its operating revenue from member contributions and miscellaneous income.

The City is unaware of any circumstances that would cause an additional benefit or burden to the participating governments of any of the above joint ventures in the near future.

Complete financial statements for the 47th District Court Administration Fund and Resource Recovery and Recycling Authority of Southwest Oakland County can be obtained from the administrative offices at 31555 W. 11 Mile Road, Farmington Hills, MI 48336.

**Government-wide and fund financial statements**

The government-wide financial statements (i.e., the statement of net position and the statement of activities) report information on all the nonfiduciary activities of the primary government and its component units. *Government activities*, which normally are supported by taxes and intergovernmental revenues, are reported separately from *business-type activities*, which rely to a significant extent on fees and charges for support. Likewise, the *primary government* is reported separately from certain legally separate *component units* for which the primary government is financially accountable.

The statement of activities demonstrates the degree to which the direct expenses of a given function or segments are offset by program revenues. *Direct expenses* are those that are clearly identifiable with a specific function or segment. *Program revenues* include 1) charges to customers or applicants who purchase, use, or directly benefit from goods, services, or privileges provided by a given function or segment and 2) grants and contributions that are restricted to meeting the operational or capital requirements of a particular function or segment. Taxes and other items not properly included among program revenues are reported instead as *general revenues*.

Separate financial statements are provided for governmental funds, proprietary funds, and fiduciary funds, even though the latter are excluded from the government-wide financial statements. Major

individual governmental funds and major individual enterprise funds are reported as separate columns in the fund financial statements.

**Measurement focus, basis of accounting, and financial statement presentation**

The government-wide financial statements are reported using the *economic resources measurement focus* and the *accrual basis of accounting*, as are the proprietary fund and fiduciary fund financial statements. Revenues are recorded when earned and expenses are recorded when a liability is incurred, regardless of the timing of related cash flows. Property taxes are recognized as revenues in the year for which they are levied. Grants and similar items are recognized as revenue as soon as all eligibility requirements imposed by the provider have been met.

Governmental fund financial statements are reported using the *current financial resources measurement focus* and the *modified accrual basis of accounting*. Revenues are recognized as soon as they are both measurable and available. Revenues are considered to be *available* when they are collectible within the current period or soon enough thereafter to pay liabilities of the current period. For this purpose, the government considers revenues to be available if they are collected within 60 days of the end of the current fiscal period. Expenditures generally are recorded when a liability is incurred, as under accrual accounting. However, debt service expenditures, as well as expenditures related to compensated absences and claims and judgments, are recorded only when payment is due. For compensated absences related to employees that have been terminated by year-end, an accrual is made in the General Fund.

Property taxes, sales taxes, franchise taxes, licenses, and interest associated with the current fiscal period are all considered to be susceptible to accrual and so have been recognized as revenues of the current fiscal period. Only the portion of special assessments receivable due within the current fiscal period is considered to be susceptible to accrual as revenue of the current period. All other

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

revenue items are considered to be measurable and available only when cash is received by the City.

The City reports the following major governmental funds:

**General Fund** – The General Fund is the City’s primary operating fund. It accounts for all financial resources used to provide general government services, except those required to be accounted for in another fund.

**Municipal Street Fund** – The Municipal Street Fund accounts for revenues provided by a dedicated millage adopted by the electorate of the City that is restricted for the rehabilitation or construction of municipal streets.

**Major Roads Fund** – The Major Roads Fund accounts for the resources of state gas and weight tax revenue that is restricted for use on major streets. The fund is operated under the provisions of Michigan's Act 51 of the Public Acts of 1951, as amended.

**Local Roads Fund** – The Local Roads Fund accounts for the resources of state gas and weight tax revenue that is restricted for use on local streets. The fund is operated under the provisions of Michigan's Act 51 of the Public Acts of 1951, as amended.

**Public Safety Millage Fund** – The Public Safety Millage Fund accounts for police and fire department staffing and equipment needs of the City. Financing is provided by a dedicated millage adopted by the electorate of the City.

**Capital Improvement Fund** – This fund accounts for the revenues and expenditures related to the acquisition, development, improvement, and/or maintenance of capital assets.

The City reports the following major proprietary funds:

**Water and Sewer Fund** – The Water and Sewer Fund accounts for the activity of the water distribution and sewage collection systems administered by Oakland County, Michigan.

Additionally, the government reports the following fiduciary funds:

**Custodial Fund** – The custodial fund accounts for property tax and other deposits collected on behalf of other units and individuals.

During the course of operations, the City has activity between funds for various purposes. Any residual balances outstanding at year-end are reported as due from/to other funds and advances to/from other funds. While these balances are reported in fund financial statements, certain eliminations are made in the preparation of the government-wide financial statements. Balances between the funds included in governmental activities are eliminated so that only the net amount is included as internal balances in the governmental activities column. Similarly, balances between the funds included in business-type activities (i.e., the enterprise funds) are eliminated so that only the net amount is included as internal balances in the business-type activities column.

Furthermore, certain activity occurs during the year involving transfers of resources between funds. In fund financial statements, these amounts are reported at gross amounts as transfers in/out. While reported in fund financial statements, certain eliminations are made in the preparation of the government-wide financial statements. Transfers between the funds included in governmental activities are eliminated so that only the net amount is included as transfers in the governmental activities column. Similarly, balances between the funds included in business-type activities are eliminated so that only the net amount is included as transfers in the business-type activities column.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

Amounts reported as *program revenues* include 1) charges to customers or applicants for goods, services, or privileges provided, 2) operating grants and contributions, and 3) capital grants and contributions, including special assessments. Internally dedicated resources are reported as *general revenues* rather than as program revenues. Likewise, general revenues include all taxes.

Proprietary funds distinguish *operating* revenues and expenses from *nonoperating* items. Operating revenues and expenses generally result from providing services and producing and delivering goods in connection with a proprietary fund's principal ongoing operations. The principal operating revenues of the sewer and water fund are charges to customers for sales and services. The government also recognizes as operating revenue the portion of tap fees intended to recover the cost of connecting new customers to the system. Operating expenses for sewer and water funds include the cost of sales and services, administrative expenses, and depreciation on capital assets. All revenues and expenses not meeting this definition are reported as nonoperating revenues and expenses.

**Assets, liabilities, and net position or equity**

**Cash and cash equivalents** – Cash and cash equivalents include cash on hand, demand deposits, and short-term investments with a maturity of three months or less when acquired.

**Investments** – Investments are reported at fair value or estimated fair value. Short-term investments are reported at cost, which approximates fair value. Securities traded on a national or international exchange are valued at the last reported sales price at current exchange rates. Investments that do not have an established market value are reported at estimated fair value, as determined by management.

**Receivables and payables** – In general, outstanding balances between funds are reported as “due to/from other funds.” Activity between funds that is representative of a lending/borrowing arrangement outstanding at the end of the fiscal year is referred to as “advances to/from other funds.” Any residual balances outstanding between the governmental

activities and the business-type activities are reported in the government-wide financial statements as “internal balances.”

All trade and property tax receivables are shown as net of allowance for uncollectible amounts. The City considers all accounts receivable to be fully collectible; accordingly, no allowance for uncollectible amounts is recorded.

**Property tax revenue** – Property taxes are levied on each July 1 on the taxable valuation of property as of the preceding December 31. The related property taxes are billed on July 1 and become a lien at that time. These taxes are payable at the City until August 31 without penalty. Taxes are considered delinquent on March 1 of the following year, at which time penalties and interest are assessed.

The City's 2022 property tax revenue was levied and collectible on July 1, 2022 and is recognized as revenue in the year ended June 30, 2023 when the proceeds of the levy are budgeted and available for the financing of operations.

The 2022 final amended taxable valuation of the City totaled \$3,969,512,110 on which ad valorem taxes levied consisted of 7.8510 mills for operating purposes, 0.4546 mills for parks and recreation, 0.7333 mills for refuse, 0.0125 mills for economic development, 4.4790 for roads, and 3.0389 mills for public safety. This resulted in approximately \$30,903,000 for operations, \$1,790,000 for parks and recreation, \$2,885,000 for refuse, \$49,000 for economic development, \$17,598,000 for roads, and \$11,951,000 for public safety. These amounts are recognized in the respective General Fund, special revenue fund, and debt service fund financial statements as tax revenue, subsequent to Brownfield captures.

**Inventories and prepaid items** – Inventories are valued at cost, on a first-in, first-out basis. Inventories are recorded as expenditures when purchased. Certain payments to vendors reflect costs applicable to future fiscal years and are recorded as prepaid items in both government-wide and fund financial statements.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

Capital assets – Capital assets, which include property, plant, equipment, and infrastructure assets (e.g., roads, bridges, sidewalks, water and sewer distribution systems, and similar items), are reported in the applicable governmental or business-type activities column in the government-wide financial statements. Capital assets are defined by the City as assets with an initial individual cost of more than \$5,000 and an estimated useful life in excess of one year. Such assets are recorded at historical cost or estimated historical cost if purchased or constructed. Donated capital assets are recorded at estimated acquisition value at the date of donation. The reported value excludes normal maintenance and repairs which are essentially amounts spent in relation to capital assets that do not increase the capacity or efficiency of the item or extend its useful life beyond the original estimate.

Infrastructure, buildings, equipment, and vehicles are depreciated using the straight-line method over the following useful lives:

Capital Asset Class	Useful Life
Roads and sidewalks	20 to 50 years
Water and sewer distribution systems	40 to 50 years
Drains	50 years
Land improvements	15 to 30 years
Buildings and building improvements	30 to 50 years
Vehicles	3 to 5 years
Machinery and equipment	7 to 20 years
Office equipment and furniture	5 to 7 years

Deferred outflows of resources – A deferred outflow of resources is a consumption of net assets by the government that is applicable to a future reporting period. Changes in assumptions, experience differences, and changes in proportionate share relating to the net pension liability or net OPEB asset are deferred and amortized over the expected remaining services lives of the employees and retirees in the plan. Deferred amounts on bond refundings are included in the

government-wide financial statements. The amounts represent the difference between the reacquisition price and the net carrying amount of the prior debt.

Compensated absences – It is the City's policy to permit employees to accumulate earned but unused sick and vacation pay benefits. The government-wide and proprietary statements accrue all vacation, sick, and personal pay as it is earned. A liability for these amounts is reported in governmental funds only for employee terminations as of year-end. All other accrued compensated absences are reported in the government-wide financial statements. In prior years, the General Fund has been used to liquidate the liability for compensated absences.

Long-term obligations – In the government-wide financial statements and the proprietary fund types in the fund financial statements, long-term debt and other long-term obligations are reported as liabilities in the applicable governmental activities, business-type activities, or proprietary fund-type statement of net position. Bond premiums and discounts are deferred and amortized over the life of the bonds using the effective interest method. Bonds payable are reported net of the applicable bond premium or discount. Bond issuance costs are expensed at the time they are incurred. In the fund financial statements, governmental fund types recognize bond issuances as an "other financing source," as well as bond premiums and discounts. Long-term obligations are typically liquidated by the applicable debt service funds, the Local Roads Fund, and the Water and Sewer Fund.

Pensions – The City offers pension benefits to retirees. The City records a net pension liability for the difference between the total pension liability calculated by the actuary and the pension plan's fiduciary net position. For the purpose of measuring the net pension liability, deferred outflows of resources and deferred inflows of resources related to pensions, and pension expense, information about the fiduciary net position of the pension plan and additions to/deductions from the pension plan's fiduciary net position have been determined on the same basis as they are reported by the pension plan. For this purpose, benefit payments (including refunds of employee

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

contributions) are recognized when due and payable in accordance with the benefit terms. The contributions made to the pensions to fund the liability will be made by the fund from which the employee's salary and wage was earned. Investments are reported at fair value.

Other post employment benefits (OPEB) – The City offers retiree healthcare benefits to retirees. The City records a net OPEB asset or liability for the difference between the total OPEB liability calculated by the actuary and the OPEB plan's fiduciary net position. For the purpose of measuring the net OPEB asset or liability, deferred outflows of resources and deferred inflows of resources related to OPEB, and OPEB expense, information about the fiduciary net position of the OPEB plan and additions to/deductions from the OPEB plan's fiduciary net position have been determined on the same basis as they are reported by the OPEB plan. For this purpose, benefit payments (including refunds of employee contributions) are recognized when due and payable in accordance with the benefit terms. The contributions to fund the liability will be made by the fund which the employee's salary and wage was earned. Investments are reported at fair value.

Deferred inflows of resources – A deferred inflow of resources is an acquisition of net assets by the government that is applicable to a future reporting period. The City reports deferred inflows of resources as a result of pension and OPEB earnings. This amount is the result of a difference between what the plans expected to earn from plan investments and what is actually earned. This amount will be amortized over the next four years and included in pension and OPEB expense. Changes in assumptions, experience differences, and changes in proportionate share relating to the net pension and OPEB liability or asset are deferred and amortized over the expected remaining services lives of the employees and retirees in the plan. For governmental funds this includes unavailable revenue in connection with receivables for revenues that are not considered available to liquidate liabilities of the current period.

Net position flow assumption – The City will sometimes fund outlays for a particular purpose from both restricted (e.g., restricted bond or grant

proceeds) and unrestricted resources. In order to calculate the amounts to report as restricted net position and unrestricted net position in the government-wide and proprietary fund financial statements, a flow assumption must be made about the order in which the resources are considered to be applied. It is the City's policy to consider restricted net position to have been depleted before unrestricted net position is applied.

Fund balance flow assumption – The City will sometimes fund outlays for a particular purpose from both restricted and unrestricted resources (the total of committed, assigned, and unassigned fund balance). In order to calculate the amounts to report as restricted, committed, assigned, and unassigned fund balance in the governmental fund financial statements, a flow assumption must be made about the order in which the resources are considered to be applied. It is the City's policy to consider restricted fund balance to have been depleted before using any of the components of unrestricted fund balance. Furthermore, when the components of unrestricted fund balance can be used for the same purpose, committed fund balance is depleted first, followed by assigned fund balance. Unassigned fund balance is applied last.

Fund balance policies – Fund balance of governmental funds is reported in various categories based on the nature of any limitations requiring the use of resources for specific purposes. The City itself can establish limitations on the use of resources through either a commitment (committed fund balance) or an assignment (assigned fund balance).

The committed fund balance classification includes amounts that can be used only for the specific purposes determined by a formal action of the City's highest level of decision-making authority. The City Council is the highest level of decision-making authority for the City that can, by adoption of a resolution prior to the end of the fiscal year, commit fund balance. Once adopted, the limitation imposed by the resolution remains in place until a similar action is taken (the adoption of another resolution) to remove or revise the limitation.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

Amounts in the assigned fund balance classification are intended to be used by the government for specific purposes, but do not meet the criteria to be classified as committed. The City Council has, by resolution, authorized the finance director and the city manager to assign fund balance. The City Council may also assign fund balance as it does when appropriating fund balance to cover a gap between estimated revenue and appropriations in the subsequent year's appropriated budget. Unlike commitments, assignments generally only exist temporarily. In other words, an additional action does not normally have to be taken for the removal of an assignment. Conversely, as discussed above, an additional action is essential to either remove or revise a commitment.

**Use of Estimates**

The preparation of financial statements in conformity with accounting principles generally accepted in the United States of America requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenue and expenses during the period. Actual results could differ from those estimates.

**Adoption of New Accounting Standards**

Statement No. 96, *Subscription-Based Information Technology Arrangements*, is based on the standards established in Statement No. 87 *Leases*. This statement (1) defines a SBITA as a contract that conveys control of the right to use a SBITA vendor's IT software, alone or in combination with tangible capital assets, as specified in the contract for a period of time in an exchange or exchange-like transaction (2) requires governments with SBITAs to recognize a right-to-use subscription asset, an intangible asset, and a corresponding subscription liability, and (3) provides guidance related to outlays other than subscription payments, including implementation costs, and requirements for note disclosures related to a SBITA.

**Upcoming Accounting and Reporting Changes**

Statement No. 100, *Accounting Changes and Error Corrections*, improves the clarity of the accounting and financial reporting requirements for accounting changes and error corrections, which will result in greater consistency in application in practice. More understandable, reliable, relevant, consistent and comparable information will be provided to financial statement users for making decisions or assessing accountability. Additionally, the display and note disclosure requirements will result in more consistent, decision useful, understandable and comprehensive information for users about accounting changes and error corrections. This statement is effective for the year ending June 30, 2024.

Statement No. 101, *Compensated Absences*, updates the recognition and measurement guidance for compensated absences. That objective is achieved by aligning the recognition and measurement guidance under a unified model and by amending certain previously required disclosures. This statement is effective for the year ending June 30, 2025.

The City is evaluating the impact that the above GASB Statements will have on its financial reporting.

**Note 2 - Stewardship, Compliance, and Accountability**

**Budgetary information**

The budget is constructed in compliance with the State Uniform Accounting Budgetary Act of 1968 (Public Act 22 of 1968), as amended, which categorizes elements of the accounting and budget system into Funds, Departments or categories, Reserves and Expenditures. The City budget is presented to the City Council on an activity, department, and fund-level basis. The City Council adopts the Budget Resolution based on fund-level appropriation centers. The City Manager is authorized by Budget Resolution to make budgetary transfers within the appropriation centers established through the budget. However, all increases of and transfers between appropriation centers may be made only by further action by the City Council.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

City Council may make additional fund-level appropriations during the fiscal year for unanticipated expenditures required by the City, but such additional appropriations shall not exceed the amount of actual and/or anticipated revenue and available fund balance as estimated in the budget, unless the appropriations are necessary to relieve an emergency endangering the public health, safety or welfare. The Council may also reappropriate funds between appropriation centers. Council is apprised of the budget status through quarterly reports prepared by the Finance Department.

Encumbrances represent commitments related to unperformed contracts (or purchase orders) for goods or services. Encumbrances are not included as expenditures or liabilities; the amount of encumbrances outstanding at June 30, 2023 for all funds is not significant. General Fund encumbrances represent outstanding at the fiscal year end will not be charged to the current year budget but may be assigned from fund balance and automatically re-appropriated in the new budget year and when paid charged to the new fiscal year. The new fiscal year budget may need to be amended to support the re-appropriated encumbrances, if budget funds were not sufficiently available to be carried forward with the encumbrances.

The budget has been prepared in accordance with accounting principles generally accepted in the United States of America. The budget information for revenue and expenditures presented for the General Fund, special revenue funds, debt service funds, and capital projects funds is a summarization of the actual adopted budget. A comparison of the adopted budget with the actual revenue and expenditures for the year is presented as required supplementary information. Comparison schedules are presented on the same basis of accounting used in preparing the adopted budget. Individual amendments were not material in relation to the original appropriations that were adopted. Budget appropriations lapse at year-end.

**Excess of expenditures over appropriations**

During the year, the City incurred expenditures that were in excess of the amounts budgeted for various purposes as described below:

	<u>Appropriations</u>	<u>Actual</u>	<u>Budget Variance</u>
General Fund			
General government:			
Central services	\$ 1,214,155	\$ 1,271,352	\$ 57,197
Debt Service	-	191,775	191,775
Capital outlay	-	331,250	331,250
Transfers out	9,830,000	9,849,214	19,214
Local Roads Fund			
Public works	14,297,387	14,431,586	134,199
Community Development Block Grant Fund			
Community and economic development	1,037,979	1,051,151	13,172
Nutrition Grant Fund			
Recreation and culture	586,690	635,330	48,640
MIDC Fund			
Health and welfare	356,581	360,687	4,106

**Construction code fees**

The City oversees building construction, in accordance with the State's Construction Code Act, including inspection of building construction and renovation to ensure compliance with the building codes. The City charges fees for these services. The law requires that collection of these fees be used only for construction code costs, including an allocation of estimated overhead costs. A summary of the current year activity and the cumulative shortfall generated since July 1, 2000 is as follows:

Shortfall at July 1, 2022	\$ (294,148)
Current year permit revenue	2,040,927
Related expenses	
Direct costs	1,036,404
Estimated indirect costs	<u>187,733</u>
	<u>1,224,137</u>
Current year	816,790
Cumulative restricted at June 30, 2023	<u>\$ 522,642</u>

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

**Note 3 - Deposits and Investments**

Michigan Compiled Laws Section 129.91 (Public Act 20 of 1943, as amended) authorizes local governmental units to make deposits and invest in the accounts of federally insured banks, credit unions, and savings and loan associations that have offices in Michigan. The law also allows investments outside the state of Michigan when fully insured. The local unit is allowed to invest in bonds, securities, and other direct obligations of the United States or any agency or instrumentality of the United States; repurchase agreements; bankers' acceptances of United States banks; commercial paper rated within the two highest classifications, which matures not more than 270 days after the date of purchase; obligations of the State of Michigan or its political subdivisions, which are rated as investment grade; and mutual funds composed of investment vehicles that are legal for direct investment by local units of government in Michigan.

The City has designated nine banks/advisors for the deposit of its funds. The investment policy adopted by the City Council in accordance with Public Act 196 of 1997 has authorized investment in all investments allowable under the state statutory authority, as listed above. The City's deposits and investments are in accordance with statutory authority. As noted below, the City participates in the Oakland County, Michigan local government investment pool.

At year-end, the City's deposits and investments were reported in the financial statements in the following categories:

	Cash and Cash Equivalents	Investments	Total
Governmental activities	\$ 77,582,674	\$ 36,118,987	\$ 113,701,661
Business-type activities	<u>61,505,107</u>	<u>25,550</u>	<u>61,530,657</u>
Total	139,087,781	36,144,537	175,232,318
Fiduciary funds	74,068	-	74,068
Component unit	<u>1,982,903</u>	<u>373,106</u>	<u>2,356,009</u>
Total	<u>\$ 141,144,752</u>	<u>\$ 36,517,643</u>	<u>\$ 177,662,395</u>

The breakdown between deposits and investments is as follows:

	Primary Government	Fiduciary Funds	Component Unit	Total
Bank deposits (checking and savings accounts, money markets and certificates of deposit)	\$ 139,081,341	\$ 74,068	\$ 1,982,903	\$ 141,138,312
Investments in securities, mutual funds and similar vehicles	36,144,537	-	373,106	36,517,643
Petty cash and cash on hand	<u>6,440</u>	<u>-</u>	<u>-</u>	<u>6,440</u>
	<u>\$ 175,232,318</u>	<u>\$ 74,068</u>	<u>\$ 2,356,009</u>	<u>\$ 177,662,395</u>

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

As of year-end, the City had the following investments:

Investment	Carrying value	Weighted- average Maturity	Rating	Rating Organization
MI CLASS Investment Pool	\$ 25,872,401	69days	AAAm	S&P
Oakland County LGIP	<u>10,645,242</u>	536 days	Not Rated	N/A
 Total	 <u>\$ 36,517,643</u>			

The City's cash and investments are subject to several types of risk, which are examined in more detail below:

**Custodial credit risk of bank deposits** – Custodial credit risk is the risk that, in the event of a bank failure, the City's deposits may not be returned to it. The City's investment policy strives to minimize custodial credit risk by prequalifying the financial institutions, brokers/dealers, and intermediaries with which the City does business. At year-end, the City had \$142,234,575 of bank deposits (certificates of deposit and checking and savings accounts) that were uninsured and uncollateralized. The City believes that, due to the dollar amounts of cash deposits and the limits of FDIC insurance, it is impractical to insure all deposits. As a result, the City evaluates each financial institution with which it deposits funds and assesses the level of risk of each institution; only those institutions with an acceptable estimated risk level are used as depositories.

**Interest rate risk** – Interest rate risk is the risk that the value of investments will decrease as a result of a rise in interest rates. City policy – The City's investment policy does not restrict investment maturities other than commercial paper, which can only be purchased with a 270-day maturity.

**Credit risk** – Credit risk is the risk that an issuer or other counterparty to an investment will not fulfill its obligations. City policy – State law limits investments in commercial paper to the top two ratings issued by

nationally recognized statistical rating organizations. The City has no investment policy that would further limit its investment choices.

**Concentration of credit risk** – Concentration of credit risk is the risk of loss attributed to the magnitude of the investments in a single issuer.

**Risks and uncertainties** – The City invests in various securities. Investment securities are exposed to various risks, such as interest rate, market, and credit risks. Due to the level of risk associated with certain investment securities, it is at least reasonably possible that changes in the values of investment securities will occur in the near term and that such changes could materially affect the amounts reported in the balance sheet. There are no limitations or restrictions on participant withdrawals for the investment pools that are recorded at amortized cost.

**Note 4 - Fair Value Measurements**

The City categorizes its fair value measurements within the fair value hierarchy established by generally accepted accounting principles. The hierarchy is based on the valuation inputs used to measure the fair value of the assets. Level 1 inputs are quoted prices in active markets for identical assets; Level 2 inputs are significant other observable inputs; Level 3 inputs are significant unobservable inputs. Investments that are measured at fair value using the net asset value per share (or its equivalent) as a practical expedient are not classified in the fair value hierarchy.

In instances whereby inputs used to measure fair value fall into different levels in the fair value hierarchy, fair value measurements in their entirety are categorized based on the lowest level input that is significant to the valuation. The City's assessment of the significance of particular inputs to these fair value measurements requires judgment and considers factors specific to each asset.

All of the City's investments are measured at fair value using the net asset value per share.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

Investments in entities that calculate net asset value per share – The City holds shares or interests in investment companies whereby the fair value of the investments is measured on a recurring basis using net asset value per share (or its equivalent) of the investment companies as a practical expedient and is presented in the following table.

As of June 30, 2023, the fair value, unfunded commitments, and redemption rules of those investments are as follows:

	<u>Fair Value</u>	<u>Redemption Frequency</u>	<u>Redemption Notice Period</u>
External investment pools	\$ <u>36,517,643</u>	N/A	N/A

The external investment pools include Michigan CLASS and the Oakland County Local Government Investment Pool. The fair value of the investments in this class has been estimated using the net asset value per share of the investments. There are no unfunded commitments or redemption restrictions.

At year end, the net asset value of the City's investment in Michigan CLASS was \$25,872,401. The investment pool had no unfunded commitments, specific redemption frequency or redemption notice period required. The Michigan CLASS investment pool invests in U.S. treasury obligations, federal agency obligations of the U.S. government, high-grade commercial paper (rated 'A-1' or better) collateralized bank deposits, repurchase agreements (collateralized at 102% by Treasuries and agencies), and approved money-market funds. The program seeks to provide safety, liquidity, convenience, and competitive rates of return, and is designed to meet the needs of Michigan public sector investors. It purchases securities that are legally permissible under state statutes and are available for investment by Michigan counties, cities, townships, school districts, authorities and

other public agencies. Financial statements for Michigan CLASS may be obtained from the website: [www.michiganclass.org](http://www.michiganclass.org).

At year end, the net asset value of the City's investment in the Oakland County Local Government Investment Pool was \$10,645,242. The Oakland County Local Government Investment Pool is not registered with the SEC and does not issue a separate report. The fair value of the position in the pool is not the same as the value of the pool shares, since the pool does not meet the requirements under GASB 79 to report its value for financial reporting purposes at amortized cost. Financial statements for the Oakland County LGIP are included in Oakland County's financial statements and may be obtained from the website: [www.oakgov.com](http://www.oakgov.com).

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

**Note 5 - Capital Assets**

Capital assets activity of the primary government for the current year is as follows:

	Restated Beginning Balance	Increases	Decreases	Transfers	Ending Balance
<b>Governmental activities</b>					
Capital assets not being depreciated					
Land	\$ 17,587,532	\$ -	\$ -	\$ -	\$ 17,587,532
Construction in progress	25,341,191	18,686,238	-	(14,132,857)	29,894,572
Right of way	31,561,930	-	-	-	31,561,930
Total capital assets not being depreciated	<u>74,490,653</u>	<u>18,686,238</u>	<u>-</u>	<u>(14,132,857)</u>	<u>79,044,034</u>
Capital assets being depreciated					
Sidewalks	16,767,059	11,947	-	184,476	16,963,482
Drain rights	21,735,961	-	-	-	21,735,961
Buildings and improvements	91,824,598	157,141	-	142,482	92,124,221
Machinery and equipment	18,652,239	1,426,730	70,914	341,443	20,349,498
Right-to-use - equipment	345,706	-	-	-	345,706
Vehicles	20,924,724	1,098,410	-	-	22,023,134
Office furnishings	3,096,201	199,067	-	-	3,295,268
Land improvements	21,517,486	74,029	-	271,005	21,862,520
Major roads	88,665,694	-	-	-	88,665,694
Local roads	117,191,679	149,000	-	13,193,451	130,534,130
Right-to-use - intangible assets	298,048	331,250	-	-	629,298
Total capital assets being depreciated	<u>401,019,395</u>	<u>3,447,574</u>	<u>70,914</u>	<u>14,132,857</u>	<u>418,528,912</u>
Less accumulated depreciation for					
Sidewalks	11,610,600	318,694	-	-	11,929,294
Drain rights	10,745,572	434,719	-	-	11,180,291
Buildings and improvements	43,781,472	2,153,959	-	-	45,935,431
Machinery and equipment	11,768,378	1,221,784	35,190	-	12,954,972
Right-to-use - equipment	104,301	104,301	-	-	208,602
Vehicles	12,017,593	1,571,885	-	-	13,589,478
Office furnishings	2,742,861	63,562	-	-	2,806,423
Land improvements	17,400,867	570,053	-	-	17,970,920
Major roads	53,202,216	2,742,367	-	-	55,944,583
Local roads	79,634,181	3,457,351	-	-	83,091,532
Right-to-use - intangible assets	-	184,428	-	-	184,428
Total accumulated depreciation	<u>243,008,041</u>	<u>12,823,103</u>	<u>35,190</u>	<u>-</u>	<u>255,795,954</u>
Net capital assets being depreciated	<u>158,011,354</u>	<u>(9,375,529)</u>	<u>35,724</u>	<u>14,132,857</u>	<u>162,732,958</u>
Governmental activities capital assets, net	<u>\$ 232,502,007</u>	<u>\$ 9,310,709</u>	<u>\$ 35,724</u>	<u>\$ -</u>	<u>\$ 241,776,992</u>

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

	<u>Beginning Balance</u>	<u>Increases</u>	<u>Decreases</u>	<u>Transfers</u>	<u>Ending Balance</u>
<b>Business-type activities</b>					
Capital assets not being depreciated					
Construction in progress	\$ 7,605,705	\$ 13,611,397	\$ -	\$ (7,540,411)	\$ 13,676,691
Capital assets being depreciated					
Sewage disposal system	100,968,446	643,292	-	-	101,611,738
Water and sewer lines	122,489,443	2,760,721	-	7,540,411	132,790,575
Total capital assets being depreciated	<u>223,457,889</u>	<u>3,404,013</u>	<u>-</u>	<u>7,540,411</u>	<u>234,402,313</u>
Less accumulated depreciation for					
Sewage disposal system	70,060,096	1,686,874	-	-	71,746,970
Water and sewer lines	61,764,169	2,905,660	-	-	64,669,829
Total accumulated depreciation	<u>131,824,265</u>	<u>4,592,534</u>	<u>-</u>	<u>-</u>	<u>136,416,799</u>
Net capital assets being depreciated	<u>91,633,624</u>	<u>(1,188,521)</u>	<u>-</u>	<u>7,540,411</u>	<u>97,985,514</u>
Business-type capital assets, net	<u>\$ 99,239,329</u>	<u>\$ 12,422,876</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 111,662,205</u>

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

Depreciation and amortization of right to use assets expenses were charged to programs of the primary government as follows:

**Governmental activities**

General government	\$ 1,293,804
Public safety	1,721,356
Public services	7,882,856
Recreation and culture	<u>1,925,087</u>

Total governmental activities 12,823,103

**Business-type activities**

Water and sewer	<u>4,592,534</u>
-----------------	------------------

Total primary government \$ 17,415,637

**Construction Commitments**

The City has active construction projects at year-end. The projects include road improvements and water main improvements that were budgeted for and planned. At year-end, the City's commitments are as follows:

	Contract Amount	Spent to Date	Remaining Commitment
Local Roads	\$ 26,593,063	\$ 17,662,009	\$ 8,931,054
Major Roads	9,302,821	3,922,489	5,380,332
Water	5,538,736	4,574,692	964,044
Capital Improvement	4,071,165	1,187,739	2,883,426
CDBG Water Line Extension	<u>562,739</u>	<u>527,159</u>	<u>35,580</u>
Total	<u>\$ 46,068,524</u>	<u>\$ 27,874,088</u>	<u>\$ 18,194,436</u>

**Note 6 - Interfund Receivables, Payables, and Transfers**

The composition of interfund balances is as follows:

Receivable Fund	Payable Fund	Amount
General Fund	Local Roads Fund	\$ 464,601
General Fund	Public Safety Millage Fund	9,510,428
General Fund	Water and Sewer Fund	1,080,507
General Fund	NGF*	786,500
Major Roads Fund	Capital Improvement Fund	21,485
Major Roads Fund	General Fund	12,644
Local Roads Fund	Water and Sewer Fund	252
NGF*	General Fund	431,626
NGF*	Public Safety Millage Fund	<u>25,626</u>
		<u>\$ 12,333,669</u>

The outstanding balances between funds result mainly from the time lag between the dates that 1) interfund goods and services are provided, 2) transactions are recorded in the accounting system, and 3) payments between funds are made.

The details for interfund transfers are as follows:

Funds Transferred From	Funds Transferred To	Amount
General Fund	Capital Improvement Fund	\$ 7,600,000
General Fund	NGF*	2,249,214
Municipal Street Fund	Major Roads Fund	4,969,577
Municipal Street Fund	Local Roads Fund	11,781,926
NGF*	General Fund	<u>1,307,850</u>
		<u>\$ 27,908,567</u>

\*Denotes nonmajor governmental funds.

The transfers from the General Fund to the nonmajor funds and Capital Improvement Fund represent the movement of resources for debt service payments and capital improvements. The transfer from the Municipal Streets Fund to the Local Roads Fund and Major Roads Fund represents the movement of resources for road improvements from the

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

property tax millage. The transfer from the Major Roads Fund to the Local Roads Fund represents movement of resources for road improvements. The transfer from nonmajor governmental funds to the General Fund represents the movement of restricted funds to be used for restricted purposes in the General Fund.

- Cloud backup services software
- Payroll and human resources services software

The future subscription payments under SBITA agreements are as follows:

Year Ending June 30,	Governmental Activities	
	Principal	Interest
2024	\$ 190,499	\$ 17,729
2025	106,854	10,344
2026	79,324	6,044
2027	54,058	2,642
2028	23,307	292
	\$ 454,042	\$ 37,051

**Note 7 - Leases**

During the 2020 fiscal year, the City entered into a lease agreement for copiers and printers over an 84-month period. With the implementation of GASB Statement No. 87, an initial lease liability was recorded in the amount of \$345,706 as of July 1, 2022. As of June 30, 2023, the value of the lease liability was \$136,974. The City is required to make monthly principal and interest payments of \$9,310. The lease has an interest rate of 3 percent. The value of the right-to-use asset as of the end of the current fiscal year was \$345,706 and had accumulated amortization of \$208,602.

Annual requirements to amortize long-term obligations and related interest are as follows:

Year Ending June 30,	Governmental Activities	
	Principal	Interest
2024	\$ 109,152	\$ 2,566
2025	27,822	126
	\$ 136,974	\$ 2,692

**Note 8 - Subscription-Based Information Technology Arrangements (SBITA)**

The City has entered into subscription-based information technology arrangements (SBITAs) involving:

- Various desktop and server software subscriptions
- Information technology security software

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

**Note 9 - Long-Term Debt**

The City issues bonds to provide for the acquisition and construction of major capital facilities. General obligation bonds are direct obligations and pledge the full faith and credit of the City. County contractual agreements and installment purchase agreements are also general obligations of the government. Special assessment bonds provide for capital improvements that benefit specific properties and will be repaid from amounts levied against those properties that benefited from the construction. In the event that a deficiency exists because of unpaid or delinquent special assessments at the time a debt service payment is due, the City is obligated to provide resources to cover the deficiency until other resources (such as tax sale proceeds or a reassessment of the City) are received. Revenue bonds involve a pledge of specific income derived from the acquired or constructed assets to pay debt service.

Long-term debt activity for the year ended June 30, 2023 can be summarized as follows:

	Amount of Issue	Maturity Date	Interest Rate Ranges	Principal Maturity Ranges	Restated Beginning Balance	Additions	Reductions	Ending Balance	Due Within One Year
<b>Governmental activities</b>									
Bonds and notes payable									
General obligation bonds									
2023 Capital Improvements Bonds	\$ 6,285,000	2037	5.00%	\$275,000 - \$585,000	\$ -	\$ 6,285,000	\$ -	\$ 6,285,000	\$ 275,000
2019 Capital Improvement Bonds	23,925,000	2040	2.00% - 3.00%	1,005,000 - 1,545,000	21,995,000	-	990,000	21,005,000	1,005,000
2020 Refunding Bonds	4,125,000	2030	1.10% - 1.85%	130,000 - 565,000	4,000,000	-	125,000	3,875,000	130,000
County contractual obligations									
2013 Refunding Bonds - Golf Course Districts 345, 346, and 347 - 2016 Capital Improvement Bonds	6,545,000	2031	2.00% - 2.50%	435,000	850,000	-	415,000	435,000	435,000
District 349 - 2017 Capital Improvement Bonds	8,475,000	2030	2.00% - 3.00%	505,000 - 665,000	5,200,000	-	660,000	4,540,000	665,000
District 349 - 2017 Capital Improvement Bonds	1,225,000	2031	2.00% - 3.00%	90,000	900,000	-	90,000	810,000	90,000
Deferred amounts									
For issuance premiums					1,567,526	715,457	132,224	2,150,759	-
Total					34,512,526	7,000,457	2,412,224	39,100,759	2,600,000
Leases					242,903	-	105,929	136,974	109,152
Subscriptions					298,048	331,250	175,256	454,042	190,499
Claims and judgments					303,000	4,737,685	4,695,685	345,000	345,000
Compensated absences					5,995,489	3,450,369	3,103,146	6,342,712	2,627,678
<b>Total governmental activities</b>					<b>\$ 41,351,966</b>	<b>\$ 15,519,761</b>	<b>\$ 10,492,240</b>	<b>\$ 46,379,487</b>	<b>\$ 5,872,329</b>

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

	Amount of Issue	Maturity Date	Interest Rate Ranges	Principal Maturity Ranges	Beginning Balance	Additions	Reductions	Ending Balance	Due Within One Year
<b>Business-type activities</b>									
Bonds and notes payable									
Limited tax general obligation bonds									
2014 Evergreen and Middlebelt Transport and Storage Tunnel Bonds*	\$ 19,750,005	2036	2.50%	\$889,425 - \$1,194,750	\$ 15,476,837	\$ -	\$ 865,530	\$ 14,611,307	\$ 889,425
2017 Evergreen and Farmington Sewage Disposal Systems Middlebelt Transport and Storage Tunnel Project Bonds	528,345	2027	2.14%	53,100 - 61,065	334,530	-	50,445	284,085	53,100
2021A Water Supply System Refunding Bonds	3,990,000	2033	2.00% - 5.00%	275,000 - 420,000	3,730,000	-	255,000	3,475,000	275,000
2021B Water Supply System Refunding Bonds	5,470,000	2035	3.00% - 4.00%	320,000 - 540,000	5,470,000	-	320,000	5,150,000	320,000
Evergreen Farmington Sanitary Drain Bonds, Series 2023**	36,081,006	2046	1.88%	1,503,614 - 2,140,133	-	8,091,300	-	8,091,300	-
For issuance premiums					1,518,593	-	241,322	1,277,271	-
Total business-type activities					\$ 26,529,960	\$ 8,091,300	\$ 1,732,297	\$ 32,888,963	\$ 1,537,525

\* Issue of \$19,750,005 but only \$19,504,472 was drawn down in total as of June 30, 2023.

\*\*Issue of \$36,081,066 but only \$8,091,300 was drawn down in total as of June 30, 2023.

Compensated absences attributable to the governmental activities will be liquidated primarily by the General Fund.

Annual debt service requirements to maturity for the above obligations are as follows:

Year Ending June 30,	Governmental Activities		Business-type Activities	
	Bonds		Bonds	
	Principal	Interest	Principal	Interest
2024	\$ 2,600,000	\$ 1,083,561	\$ 1,537,525	\$ 1,416,206
2025	2,635,000	1,006,713	1,606,420	1,238,358
2026	2,685,000	948,037	1,650,315	1,185,124
2027	2,530,000	883,750	1,719,210	1,131,448
2028	2,545,000	813,798	3,294,374	1,063,526
2029-2033	11,415,000	2,977,166	17,457,011	4,046,725
2034-2038	9,495,000	1,326,925	14,434,694	2,167,510
2039-2043	3,045,000	92,025	9,574,752	1,174,547
2044-2047	-	-	8,327,157	300,241
	<u>\$ 36,950,000</u>	<u>\$ 9,131,975</u>	59,601,458	<u>\$ 13,723,685</u>
Less undrawn maturities			<u>(27,989,766)</u>	
			<u>\$ 31,611,692</u>	

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

**Defeased Refundings**

The City defeased certain bonds by placing the proceeds of new bonds in an irrevocable trust to provide for all future debt service payments on the old bonds. Accordingly, the trust accounts' assets and liabilities for the defeased bonds are not included in the basic financial statements. At June 30, 2023, the City's portion of bonds outstanding that are considered defeased approximates \$3,450,000.

**Deferred Amount on Debt Refunding**

The City has issued bonds to advance refund and retire previously issued bonds. The advance refunding resulted in a difference between the reacquisition price and the net carrying amount of the old debt. This amount is reported in the accompanying statement of net position as a deferred outflow of resources and is being charged to activities through the year.

	<u>Beginning Balance</u>	<u>Additions</u>	<u>Reductions</u>	<u>Ending Balance</u>	<u>Due Within One Year</u>
Deferred amount on refunding	\$ 229,601	\$ -	\$ 154,911	\$ 74,690	\$ 74,690

**No Commitment Debt**

The City has issued Variable Rate Demand Hospital Revenue and Refunding Bonds under state law, which authorizes municipalities under certain circumstances to acquire and lease industrial sites, buildings, and equipment and lease them to third parties. The revenue bonds issued are payable solely from the net revenue derived from the respective leases and are not a general obligation of the City. After these bonds are issued, all financial activity is taken over by the paying agent. The bonds and related lease contracts are not reflected in the City's financial statements. Information regarding the status of each bond issue, including possible default, must be obtained from the paying agent or other knowledgeable source. As of June 30, 2023, there is approximately \$8,795,000 of no commitment debt outstanding.

**Note 10 - Risk Management**

The City is exposed to various risks of loss related to property loss, torts, errors and omissions, and employee injuries (workers' compensation), as well as medical benefits provided to employees. The

City participates in the Michigan Municipal League Workers' Compensation Fund for workers' compensation claims and participates in the Michigan Municipal Risk Management Authority risk pool for claims relating to general and auto liability, auto physical damage, and property loss claims.

As of September 2005, the City has also assumed a significant amount of financial responsibility for its actual incurred medical claims cost, subject to certain insured limitations, including \$120,000 per specific claim and a 120 percent stop loss with approximately \$3 million in aggregate claims. Settled claims relating to the commercial insurance have not exceeded the amount of insurance coverage in any of the past three fiscal years.

The Michigan Municipal League risk pool program operates as a common risk-sharing management program for local units of government in Michigan; member premiums are used to purchase commercial excess insurance coverage and to pay member claims in excess of deductible amounts.

The Michigan Municipal Risk Management Authority ("MMRMA") risk pool program operates as a claims servicing pool for amounts up to member retention limits and operates as a common risk-sharing management program for losses in excess of member retention amounts. Although premiums are paid annually to MMRMA that it uses to pay claims up to the retention limits, the ultimate liability for those claims remains with the City. Depending upon the type of claim, stop-loss coverage for specific claims ranges from \$15,000 to \$200,000 and \$5.0 million in aggregate.

The City maintains insurance coverage through Blue Cross Blue Shield ("BCBS") for medical and general claims and estimates the liability for medical and general claims that have been incurred through the end of the fiscal year, including claims that have been reported, as well as those that have not yet been reported, which includes estimates of both future payments of losses and related claim adjustments expense, both allocated and unallocated. The liability is based on individual claims and management's evaluation of experience with respect to the probable number and nature of claims. Any adjustments resulting from

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

the settlement of losses will be reflected in earnings at the time the adjustments are determined. These estimates are recorded in the General Fund and within the governmental activities column in the statement of net position.

Changes in the estimated liability for medical claims for the past two fiscal years were as follows:

	BCBS	
	2023	2022
Estimated liability - beginning of year	\$ 228,000	\$ 154,000
Estimated claims incurred, including changes in estimates	(4,849,112)	2,975,348
Claim payments	4,804,112	(2,901,348)
Estimated liability - end of year	\$ 183,000	\$ 228,000

Changes in the estimated liability for general claims for the past two fiscal years were as follows:

	MMRMA	
	2023	2022
Estimated liability - beginning of year	\$ 75,000	\$ 130,000
Estimated claims incurred, including changes in estimates	153,427	71,819
Claim payments	(66,427)	(126,819)
Estimated liability - end of year	\$ 162,000	\$ 75,000

**Note 11 - Employee Retirement and Benefit Systems**

**Defined benefit pension plan**

Plan description – The City of Farmington Hills Employees' Retirement System Pension Board administers the City of Farmington Hills Employees' Retirement System - a multiple-employer cost-sharing defined benefit pension plan that provides retirement, disability, and

death benefits for all eligible general, court, police, and fire plan members and their beneficiaries. Benefit terms have been established by employer policy and contractual agreements authorized by city ordinance, which may be amended by City Council actions.

Management of the plan is vested in the pension board, which consists of seven members - four elected by plan members, two appointed by City Council, and the city finance director/treasurer, who serves as an ex-officio member.

Employees covered by benefit terms – At the June 30, 2022 valuation date, the following employees were covered by benefit terms:

Inactive employees or beneficiaries currently receiving benefits	370
Inactive employees entitled to, but not yet receiving benefits	12
Active employees	228
	610

The general group consists of union employees from TPOAM, formerly AFSCME, and Teamsters, nonunion employees, court employees, executive employees, and dispatch employees. The general group does not include firefighters, police officers, and police command employees.

Benefits provided – The pension plan provides retirement, disability, and death benefits to eligible plan members. Retirement benefits are calculated by multiplying the plan member's final average compensation (FAC) times the member's years of service times the multiplier applicable to the member's employee group. FAC is final average compensation consisting of the three highest consecutive years out of the last 10 years. FAC includes longevity on base pay for all employees plus lump-sum holiday pay for police, fire, and dispatch members. Benefits and refunds of the plan are recognized when due and payable in accordance with the terms of the plan. Administrative costs are financed with plan net position. The multipliers per employee group are as follows:

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

General – TPOAM, formerly AFSCME, employees are eligible to retire if the sum of the plan member's age and years of service equals 80 (minimum age 55) or at the age of 60 with eight years of service. The multiplier for this group is 2.8 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 75 percent.

General – Nonunion, court, and Teamsters employees are eligible to retire if the sum of the plan member's age and years of service equals 80 (minimum age 55) or at the age of 60 with eight years of service. The multiplier for this group is 2.8 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 80 percent.

General – Executive employees are eligible to retire if the sum of the plan member's age and years of service equals 80 (minimum age 55) or at the age of 60 with eight years of service. The multiplier for this group is 3.0 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 80 percent.

General – Dispatch employees are eligible to retire if the sum of the plan member's age and years of service equals 80 (minimum age 55) or at the age of 60 with eight years of service. The multiplier for this group is 2.8 percent up to 25 years of service (until age 67) and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 75 percent, or 2.375 percent up to 25 years of service (at age 67) and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 70 percent.

Firefighters are eligible to retire with 25 years of service, regardless of age. The multiplier for this group is 2.8 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 75 percent.

Police command employees are eligible to retire at the age of 50 with 25 years of service, or 30 years of service regardless of age with a minimum of 25 years as a sworn police officer. The multiplier for this group is 3.0 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 80 percent.

Police officers are eligible to retire with 25 years of service, regardless of age. The multiplier for this group is 2.8 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 75 percent.

Any officer classified as “Tier Two” POAM members are eligible to retire with 25 years of service, regardless of age. The multiplier for this group is 3.0 percent up to 25 years of service and 1.0 percent for each year over 25 years of service, with a maximum multiplier of 75 percent.

An early retirement benefit is available and actuarially reduced from normal retirement age as follows:

- General employee – Age 57 with eight years of service.
- Patrol/Fire employee – Age 50 with 20 years of service.
- Police command employee – Age 50 with 15 years of service or under age 50 with 25 years of service as a sworn police officer.

Plan members are eligible for deferred (vested) retirement benefits if a general employee has eight or more years of service (benefit begins at age 60) or a police/fire employee has 15 or more years of service (benefits generally begin at age 55).

In addition to the normal, early, and deferred retirement provisions, the system provides nonduty death benefits to qualifying members. A nonduty death benefit is computed as a regular retirement pension reduced in accordance with a 100 percent joint and survivor option and shall be paid for life to a surviving spouse of an employee provided the member attained age 57 and has eight years of service or the member has 10 or more years of credited service regardless of age and died while an employee of the City. The system also provides duty death benefits to qualifying members, which is computed as a duty disability retirement with no age or service requirements. A duty death pension shall be paid for life to a surviving spouse of an employee who dies in service. A duty disability benefit is also available in accordance with an established formula and has no age or service requirements.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

Prior to retirement, but not thereafter, a member may elect to receive a retirement benefit by one of the following three methods:

*1) Straight-life Retirement Benefits*

This allowance is a benefit payable to the member throughout his or her life. This is a nonsurvivor benefit and terminates upon the death of the member.

*2) Survivor Allowance Options*

Under three available options, a retiree receives a reduced straight-life benefit, payable for life. Upon death, the reduced pension benefit will continue to be paid throughout the beneficiary's life at the percentage option selected. The reduction of straight-life benefit is actuarially determined based on the ages of the member and his or her beneficiary at the time of retirement and the percentage option of primary benefit chosen. A greater reduction of straight-life benefit will be made to provide 100 percent of the primary pension benefit rather than 75 percent or 50 percent.

The survivor allowance options are:

- Option A - 100 percent of primary pension benefit.
- Option B - 75 percent of primary pension benefit.
- Option C - 50 percent of primary pension benefit.

Should the named survivor beneficiary die before the retired member, the retired member's pension shall be recomputed (pop-up) to a straight-life benefit.

*3) Annuity Option*

In addition to the above survivor allowance options, all city and court employees may elect an annuity option.

Contributions – Article 9, Section 24 of the State of Michigan constitution requires that financial benefits arising on account of employee service rendered in each year be funded during that year.

Accordingly, the pension board retains an independent actuary to determine the annual contribution. The actuarially determined rate is the estimated amount necessary to finance the costs of benefits earned by plan members during the year, with an additional amount to finance any unfunded accrued liability. Contribution requirements of plan members are established and may be amended by the pension board in accordance with the city ordinance, union contracts, and plan provisions. For the year ended June 30, 2023, the average active member contribution rate was 4.50 percent of annual pay. The City's contribution was \$3,266,116 for police members and \$1,303,613 for fire members. For general and court members, the City's contribution was \$2,178,120 and \$247,138, respectively.

Pension plan reserves – In accordance with city ordinance, the following reserves are required to be set aside within the pension plan:

Retiree reserve – The retiree reserve is held in the retirement reserve fund and is to be computed annually by the actuary as the present value of estimated benefit payments for all current retirees. Actuarially computed unfunded liabilities are to be covered by a transfer from the employer reserve. The amounts reserved may be used solely to pay monthly retiree benefit payments.

Employee reserve – The employee reserve is credited as employee contributions are received throughout the year; the plan maintains a record of the amount contributed by each employee and credits interest annually at a rate of 5 percent. For any employee who terminates before vesting in the pension plan, their balance is returned to them; for those who stay until retirement, the balance is transferred into the retiree reserve.

Employer reserve – The employer reserve account is held in the pension reserve fund and is used to account for the residual net position balance in the pension plan after funding the retiree reserve.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

The balances of the reserve accounts at June 30, 2023 are as follows:

	<u>Required Reserve</u>		<u>Amount Funded</u>
Retiree reserve	\$ 135,540,764	\$	135,540,764
Employee reserve	19,032,590		19,032,590
Employer reserve	-		19,546,296

**Pension Liabilities, Pension Expense, and Deferred Outflows of Resources and Deferred Inflows of Resources Related to Pensions**

At June 30, 2023, the City reported a liability of \$63,709,201 for its proportionate share of the City of Farmington Hills Employees Retirement System's net pension liability. The net pension liability was measured as of June 30, 2023, and the total pension liability used to calculate the net pension liability was determined by an actuarial valuation rolled forward from June 30, 2022. The City's proportion of the net pension liability was determined by dividing each employer's actuarially determined pension contributions to the system during the measurement period by the percent of pension contributions required from all applicable employers during the measurement period. At June 30, 2023, the City's proportion was 96.46693 percent, which was a decrease of .0049789 percent compared to its proportion of 95.96904 percent from its proportion measured as of June 30, 2023. For the year ending June 30, 2023, the City recognized pension expense of \$14,468,212.

At June 30, 2023, the City reported deferred outflows of resources related to pensions from the following sources:

	<u>Deferred Outflows of Resources</u>		<u>Total</u>
Differences in experience	\$ 5,903,783	\$	5,903,783
Change in proportionate share	269,828		269,828
Net difference between projected and actual earning on plan investments	<u>3,869,719</u>		<u>3,869,719</u>
Total	<u>\$ 10,043,330</u>	\$	<u>10,043,330</u>

Amounts reported as deferred outflows of resources and deferred inflows of resources related to pensions will be recognized in pension expense as follows:

<u>Year ended June 30,</u>		
2024	\$	2,363,851
2025		445,521
2026		7,194,567
2027		<u>39,391</u>
	<u>\$</u>	<u>10,043,330</u>

The net pension liability is generally liquidated by the General Fund.

Actuarial assumptions – The total pension liability in the June 30, 2022 annual actuarial valuation was determined using the following actuarial assumptions:

Inflation	2.50%
Salary increases	4.00 - 23.00%, average, including inflation
Investment rate of return	7.00%, net of pension plan investment expense, including inflation

Mortality rates used were based on the Pub-2010 Mortality Tables using scale MP-2018.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

Discount rate – The discount rate used to measure the total pension liability is 7.0%. The projection of cash flows used to determine the discount rate assumes that employer and employee contributions will be made at the rates agreed upon for employees and the actuarially determined rates for employers. Based on these assumptions, the pension plans fiduciary net position was projected to be available to pay all projected future benefit payments of current active and inactive employees. Therefore, the long-term expected rate of return on pension plan investments was applied to all periods of projected benefit payments to determine the total pension liability.

The long-term expected rate of return on pension plan investments was determined using a model method in which the best-estimate ranges of expected future real rates of return (expected returns, net of investment and administrative expenses and inflation) are developed for each major asset class. These ranges are combined to produce the long-term expected rate of return by weighting the expected future real rates of return by the target asset allocation percentage and by adding expected inflation. The target allocation and best estimates or arithmetic real rates of return for each major asset class are summarized in the following tables:

Asset Class	Target Allocation
Domestic equity	41.00 %
International equity	16.00
Domestic bonds	20.00
Real estate	10.00
Alternative assets	11.00
Cash or cash equivalents	2.00
	100.00 %

Asset Class	Long-term Expected Real Rate of Return
Domestic equity	7.50 %
International equity	8.50
Domestic bonds	2.50
Real estate	4.50
Alternative assets	6.05

For the year ended June 30, 2023, the annual money-weighted rate of return on pension plan investments, net of pension plan investment expense, was 8.11 percent.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

Sensitivity of the net pension liability to changes in the discount rate – The following presents the net pension liability of the employer, calculated using the discount rate of 7.0%, as well as what the employer’s net pension liability would be using a discount rate that is 1% point lower (6.0%) or 1% higher (8.0%) than the current rate.

	<u>1% Decrease</u>	<u>Current Discount Rate</u>	<u>1% Increase</u>
Net pension liability	\$ 90,511,793	\$ 63,709,201	\$ 41,052,223

Refer to the separately issued City of Farmington Hills Employees’ Retirement System financial statements for additional information and disclosures. The City of Farmington Hills Employees’ Retirement System’s financial statements may be obtained at the City of Farmington Hills’ city hall.

**Note 12 - Defined Contribution Pension Plan**

Previously, the City used to provide retirement benefits through a Defined Contribution Pension Plan to all of its full-time employees in the AFSCME, executive, and general employee groups hired on or after July 1, 2006; in the dispatcher group hired on or after January 1, 2007; and in the Teamster group hired on or after January 1, 2008. Benefits depended solely on amounts contributed to the plan via Section 401(a) accounts, plus investment earnings.

As a result of new Collective Bargaining Agreements (CBAs) adopted between the City and all of its bargaining units during Fiscal Year 2022-23, the Defined Contribution Pension Plan has been dramatically altered. All mandatory contributions to defined contribution plan 401(a) accounts were terminated, and all full-time employees began accruing service credits in the City’s defined benefit pension as of the following dates:

- as of August 15, 2022, dispatcher group (FOPLC) members hired on or after January 1, 2007;

- as of October 10, 2022, executive, and general employee group members hired on or after July 1, 2006, and Teamsters group members hired on or after January 1, 2008;
- as of January 9, 2023, AFSCME group members hired on or after July 1, 2006. NOTE: AFSCME members elected to become members of TPOAM prior to June 30, 2023

The current year contribution was calculated based on covered payroll of \$3,656,390, resulting in an employer contribution of \$376,142 and employee contributions of \$180,804. The City has recorded a payable to the defined contribution plan in the amount of \$32,049 at June 30, 2023.

**Note 13 - Other Postemployment Benefits – Defined Contribution Plan**

The City provides a Retirement Health Savings (RHS) account for eligible employees and their dependents. The plan covers AFSCME, executive, and general employees hired on or after July 1, 2006; dispatch employees hired on or after January 1, 2007; Teamster and POAM employees hired on or after January 1, 2008; and IAFF employees hired on or after July 1, 2008. This is a defined contribution plan administered by the City. The collective bargaining agreements and/or city ordinance require all employees to contribute 1.5 percent of their base salary or wage plus longevity pay. The City contributes \$100 per month for the dispatch employees, \$208 per month for police employees, \$225 per month for tier 2 police command, and \$146 per month for all other participating employee groups. All contributions plus interest allocated to the employees’ accounts are fully vested after seven years of service. Once plan members terminate employment, they are eligible to use all vested contributions for allowable medical related expenses.

During the year ended June 30, 2023, the City made contributions of \$418,716, and the plan members contributed \$270,677 to the plan.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

**Note 14 - Other Postemployment Benefits**

**Defined benefit OPEB plan**

Plan description – The City of Farmington Hills Employees' Retirement System Pension Board administers the City of Farmington Hills Post-Retirement Healthcare Finance Fund – a multiple-employer cost-sharing defined benefit OPEB plan that is used to provide postemployment benefits other than pensions (OPEB) for all eligible general, court, police, and fire plan members and their beneficiaries.

Management of the plan is vested in the pension board, which consists of seven members – four elected by plan members, two appointed by the City, and the City finance/treasurer, who serves as an ex-officio member.

Benefits provided – The fund provides healthcare and prescription benefits for retirees and their dependents. Benefits are provided through a third-party insurer, and the full cost of benefits is covered by the plan. Benefits terms have been established by employer policy and contractual agreements authorized by city ordinance, which may be amended by City Council actions.

Employees covered by benefit terms – At June 30, 2022, the plan membership consisted of the following:

Inactive employees or beneficiaries currently receiving benefits	215
Active employees	136
	351

Contributions – Contribution requirements of plan members are established and may be amended by the pension board in accordance with city ordinance, union contracts, and plan provisions. The board establishes contribution rates based on an actuarially determined rate per a funding valuation. For the year ended June 30, 2023, the City's contribution was \$244,802. Plan members are required to contribute at 1.50 percent of pay.

OPEB plan reserves – In accordance with city ordinance, the following reserves are required to be set aside within the OPEB plan:

Retiree reserve – The retiree reserve is held in the healthcare benefits reserve fund and is to be computed annually by the actuary as the present value of estimated healthcare benefit payments for all current retirees. Actuarially computed unfunded liabilities are to be covered by a transfer from the employer reserve. The amounts reserved may be used solely to pay retiree healthcare benefit payments.

Employee reserve – The employee reserve is credited as employee contributions are received throughout the year; the plan maintains a record of the amount contributed by each employee and credits interest annually at a rate of 5 percent. For any employee who terminates before vesting in the OPEB plan, their balance is returned to them; for those who stay until retirement, the balance is transferred into the retiree reserve.

Employer reserve – The employer reserve account is held in the healthcare reserve fund and is used to account for the residual net position balance in the OPEB plan after funding the retiree reserve.

The balances of the reserve accounts at June 30, 2023 are as follows:

	Required Reserve		Amount Funded
Retiree reserve	\$ 55,665,970	\$	55,665,970
Employee reserve	4,487,782		4,487,782
Employer reserve	-		32,031,475

**OPEB Liabilities or Assets, OPEB Expense, and Deferred Outflows of Resources and Deferred Inflows of Resources Related to OPEB**

At June 30, 2023, the City reported an asset of \$7,642,629 for its proportionate share of the City of Farmington Hills OPEB plan's net OPEB asset. The net OPEB asset was measured as of June 30, 2023, and the total OPEB liability used to calculate the net OPEB asset was determined by an actuarial valuation rolled forward from June 30, 2022. The City's proportion of the net OPEB asset was determined by dividing each employers' actuarially determined OPEB contributions to

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

the plan during the measurement period by the percent of OPEB contributions required from all applicable employers during the measurement period. At June 30, 2023, the City's proportion was 85.86983 percent, which was an increase of .03850 percent compared to its proportion of 85.83131 percent from its proportion measured as of June 30, 2022. For the year ending June 30, 2023, the City recognized OPEB expense of \$(1,284,084).

At June 30, 2023, the City reported deferred outflows of resources and deferred inflows of resources related to OPEB from the following sources:

	<u>Deferred Outflows of Resources</u>	<u>Deferred Inflows of Resources</u>	<u>Total to Amortize</u>
Differences in experience	\$ -	\$ (4,579,400)	\$ (4,579,400)
Differences in assumptions	2,279,443	(58,853)	2,220,590
Change in proportionate share	108,346	(1,552)	106,794
Net difference between projected and actual earning on plan investments	<u>1,725,600</u>	<u>-</u>	<u>1,725,600</u>
Total	<u>\$ 4,113,389</u>	<u>\$ (4,639,805)</u>	<u>\$ (526,416)</u>

Amounts reported as deferred outflows of resources and deferred inflows of resources related to OPEB will be recognized in OPEB expense as follows:

<u>Year ended June 30,</u>	
2024	\$ (1,698,375)
2025	(1,315,289)
2026	2,710,500
2027	<u>(223,252)</u>
	<u>\$ (526,416)</u>

The net OPEB liability or asset is generally liquidated by the General Fund.

Actuarial assumptions – The total OPEB liability in the June 30, 2022 annual actuarial valuation was determined using the following actuarial assumptions:

Inflation	2.50%
Investment rate of return	7.00%, net of OPEB plan investment expense, including inflation
Healthcare cost trend rates	7.50%, graded down to 3.50%

Mortality rates used were based on the Pub-2010 Mortality Tables using scale MP-2018.

Discount rate – The discount rate used to measure the total OPEB liability is 7.0%. The projection of cash flows used to determine the discount rate assumes that employer and employee contributions will be made at the rates agreed upon for employees and the actuarially determined rates for employers. Based on these assumptions, the OPEB plans fiduciary net position was projected to be available to pay all projected future benefit payments of current active and inactive employees. Therefore, the long-term expected rate of return on OPEB plan investments was applied to all periods of projected benefit payments to determine the total OPEB liability.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

The long-term expected rate of return on OPEB plan investments was determined using a model method in which the best-estimate ranges of expected future real rates of return (expected returns, net of investment and administrative expenses and inflation) are developed for each major asset class. These ranges are combined to produce the long-term expected rate of return by weighting the expected future real rates of return by the target asset allocation percentage and by adding expected inflation. The target allocation and best estimates or arithmetic real rates of return for each major asset class are summarized in the following tables:

<u>Asset Class</u>	<u>Target Allocation</u>
Domestic equity	41.00 %
International equity	16.00
Domestic bonds	20.00
Real estate	10.00
Alternative assets	11.00
Cash or cash equivalents	2.00
	<u>100.00 %</u>

<u>Asset Class</u>	<u>Long-term Expected Real Rate of Return</u>
Domestic equity	7.50 %
International equity	8.50
Domestic bonds	2.50
Real estate	4.50
Alternative assets	6.05

For the year ended June 30, 2023, the annual money-weighted rate of return on OPEB plan investments, net of OPEB plan investment expense, was 8.26 percent.

Sensitivity of the net OPEB liability (asset) to changes in the discount rate – The following presents the net OPEB liability (asset) of the employer, calculated using the discount rate of 7.0%, as well as what

the employer’s net OPEB liability (asset) would be using a discount rate that is 1% point lower (6.0%) or 1% higher (8.0%) than the current rate.

	<u>1% Decrease</u>	<u>Current Discount Rate</u>	<u>1% Increase</u>
Net OPEB liability (asset)	\$ 279,030	\$ (7,642,629)	\$ (14,356,957)

Sensitivity of the net OPEB liability (asset) to changes in the healthcare cost trend rate – The following presents the net OPEB liability (asset), calculated using the healthcare cost trend rate of 7.50%, as well as what the net OPEB liability (asset) would be if it were calculated using a healthcare cost trend rate that is 1% lower (6.50%, decreasing to 2.5%) or 1% higher (8.50% decreasing to 4.5%).

	<u>1% Decrease</u>	<u>Healthcare Cost Trend Rates</u>	<u>1% Increase</u>
Net OPEB liability (asset)	\$ (15,404,205)	\$ (7,642,629)	\$ 1,583,913

Refer to the separately issued City of Farmington Hills Post-Retirement Healthcare Finance Fund financial statements for additional information and disclosures. The City of Farmington Hills Post-Retirement Healthcare Finance Fund’s financial statements may be obtained at the City of Farmington Hills’ city hall.

**City of Farmington Hills**  
**Notes to the Financial Statements**  
**June 30, 2023**

---

**Note 15 - Net Investment in Capital Assets**

The composition of net investment in capital assets as of June 30, 2023, was as follows:

Capital assets			
Capital assets not being depreciated	\$	79,044,034	\$ 13,676,691
Capital assets - net of accumulated depreciation		162,732,958	97,985,514
Deferred outflows or resources (capital related)		74,690	-
Less:			
Government obligation bonds		(10,160,000)	-
Other bonds		(26,790,000)	(31,611,692)
Capital leases			
Lease liability		(136,974)	-
SBITA liability		(454,042)	
Premiums		(2,150,759)	(1,277,271)
Add back:			
Discounts			
Unspent bond proceeds		402,745	-
Net investment in capital assets	\$	<u>202,562,652</u>	<u>\$ 78,773,242</u>

**Note 16 - Change in Accounting Principle**

As indicated in Note 1, The City implemented Governmental Accounting Standards Board (GASB) Statement No. 96, *Subscription-Based Information Technology Arrangements*. The statement establishes a definition for SBITAs and provides uniform guidance for accounting and financial reporting for transactions that meet that definition. The statement enhances the relevance and reliability of a government's financial statements by requiring a government to report a subscription right to use asset and subscription liability for a SBITA and to disclose essential information about the arrangement. There was no effect on beginning net position.

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**General Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Revenues</b>				
Property taxes	\$ 36,162,362	\$ 36,181,817	\$ 36,241,571	\$ 59,754
Licenses and permits	1,698,720	1,627,306	2,151,403	524,097
Federal grants	4,470,500	4,549,527	4,257,065	(292,462)
State-shared revenue and grants	9,683,183	9,779,682	11,980,134	2,200,452
Charges for services	14,710,445	14,964,685	16,504,638	1,539,953
Fines and forfeitures	1,560,455	1,340,800	1,531,952	191,152
Investment income (loss)	291,272	300,001	3,317,292	3,017,291
Other revenue:				
Local donations	43,921	87,194	58,274	(28,920)
Equipment rental	1,352,559	1,352,559	1,623,959	271,400
Other miscellaneous income	1,006,214	797,348	526,599	(270,749)
	<u>70,979,631</u>	<u>70,980,919</u>	<u>78,192,887</u>	<u>7,211,968</u>
<b>Expenditures</b>				
General government:				
City Council	124,497	120,508	108,470	(12,038)
Board and commissions	2,889,785	2,920,996	2,918,860	(2,136)
City administration	860,619	920,358	859,826	(60,532)
Public information	572,288	588,083	468,555	(119,528)
Finance department	2,122,257	2,157,286	2,121,597	(35,689)
Clerk	1,008,707	920,215	868,033	(52,182)
Attorney	764,600	744,844	701,890	(42,954)
Human resources/personnel	607,255	720,110	445,219	(274,891)
Central services	1,229,117	1,214,155	1,271,352	57,197
Support services	4,989,461	4,884,875	4,118,386	(766,489)
	<u>15,168,586</u>	<u>15,191,430</u>	<u>13,882,188</u>	<u>(1,309,242)</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**General Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
Public safety:				
Police	\$ 17,220,462	\$ 17,088,643	\$ 16,710,308	\$ (378,335)
Fire	7,667,152	7,713,052	6,910,449	(802,603)
Total public safety	<u>24,887,614</u>	<u>24,801,695</u>	<u>23,620,757</u>	<u>(1,180,938)</u>
Public services:				
Road maintenance	2,627,029	2,568,330	2,290,562	(277,768)
Administration	519,639	551,442	473,338	(78,104)
General refuse removal	4,428,197	3,920,762	3,919,188	(1,574)
Building maintenance	498,373	517,596	473,125	(44,471)
Maintenance facility	1,350,913	1,741,341	1,429,381	(311,960)
Engineering	1,434,666	1,376,161	1,239,583	(136,578)
Public service reimbursement from road fund	<u>(2,265,533)</u>	<u>(2,265,533)</u>	<u>(1,755,379)</u>	<u>510,154</u>
Total public services	<u>8,593,284</u>	<u>8,410,099</u>	<u>8,069,798</u>	<u>(340,301)</u>
Community and economic development	<u>1,984,575</u>	<u>1,948,237</u>	<u>1,699,740</u>	<u>(248,497)</u>
Recreation and culture	<u>13,034,229</u>	<u>13,404,506</u>	<u>13,284,256</u>	<u>(120,250)</u>
Capital outlay	<u>-</u>	<u>-</u>	<u>331,250</u>	<u>331,250</u>
Debt service	<u>-</u>	<u>-</u>	<u>191,775</u>	<u>191,775</u>
Total expenditures	<u>63,668,288</u>	<u>63,755,967</u>	<u>61,079,764</u>	<u>(2,676,203)</u>
Excess of revenues over expenditures	<u>7,311,343</u>	<u>7,224,952</u>	<u>17,113,123</u>	<u>9,888,171</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**General Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Other Financing Sources (Uses)</b>				
Sale of capital assets	\$ 82,309	\$ 232,337	\$ 176,682	\$ (55,655)
Issuance of debt	-	-	331,250	331,250
Transfers in	1,307,850	1,307,850	1,307,850	-
Transfers out	<u>(9,868,951)</u>	<u>(9,830,000)</u>	<u>(9,849,214)</u>	<u>(19,214)</u>
Total other financing sources (uses)	<u>(8,478,792)</u>	<u>(8,289,813)</u>	<u>(8,033,432)</u>	<u>256,381</u>
Net change in fund balance	(1,167,449)	(1,064,861)	9,079,691	10,144,552
Fund balance - beginning of year	<u>47,214,161</u>	<u>47,214,161</u>	<u>47,214,161</u>	<u>-</u>
Fund balance - end of year	<u>\$ 46,046,712</u>	<u>\$ 46,149,300</u>	<u>\$ 56,293,852</u>	<u>\$ 10,144,552</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**Municipal Street Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under)
	Original	Final		Final Budget
<b>Revenues</b>				
Property taxes	\$ 17,642,620	\$ 17,642,620	\$ 17,605,075	\$ (37,545)
State and other sources	205,714	205,714	556,917	351,203
Investment income	20,000	20,000	384,114	364,114
	<u>17,868,334</u>	<u>17,868,334</u>	<u>18,546,106</u>	<u>677,772</u>
<b>Other Financing Sources (Uses)</b>				
Transfers out	<u>(16,751,503)</u>	<u>(16,751,503)</u>	<u>(16,751,503)</u>	<u>-</u>
	1,116,831	1,116,831	1,794,603	677,772
Fund balance - beginning of year	<u>510,076</u>	<u>510,076</u>	<u>510,076</u>	<u>-</u>
Fund balance - end of year	<u>\$ 1,626,907</u>	<u>\$ 1,626,907</u>	<u>\$ 2,304,679</u>	<u>\$ 677,772</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**Major Roads Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under)
	Original	Final		Final Budget
<b>Revenues</b>				
State and other sources	\$ 7,486,038	\$ 8,194,167	\$ 8,696,516	\$ 502,349
Local contributions	203,309	412,000	6,643	(405,357)
Investment income	75,000	75,000	836,727	761,727
Other revenue	190	190	290	100
	<u>7,764,537</u>	<u>8,681,357</u>	<u>9,540,176</u>	<u>858,819</u>
<b>Expenditures</b>				
Public works	<u>16,734,648</u>	<u>16,666,195</u>	<u>11,903,137</u>	<u>(4,763,058)</u>
Deficiency of revenues over expenditures	(8,970,111)	(7,984,838)	(2,362,961)	5,621,877
<b>Other Financing Sources (Uses)</b>				
Transfers in	<u>4,969,577</u>	<u>4,969,577</u>	<u>4,969,577</u>	<u>-</u>
Net change in fund balance	(4,000,534)	(3,015,261)	2,606,616	5,621,877
Fund balance - beginning of year	<u>13,175,293</u>	<u>13,175,293</u>	<u>13,175,293</u>	<u>-</u>
Fund balance - end of year	<u>\$ 9,174,759</u>	<u>\$ 10,160,032</u>	<u>\$ 15,781,909</u>	<u>\$ 5,621,877</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**Local Roads Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under)
	Original	Final		Final Budget
<b>Revenues</b>				
State and other sources	\$ 2,936,790	\$ 2,936,790	\$ 2,894,156	\$ (42,634)
Investment income	<u>10,000</u>	<u>81,668</u>	<u>510,463</u>	<u>428,795</u>
Total revenues	<u>2,946,790</u>	<u>3,018,458</u>	<u>3,404,619</u>	<u>386,161</u>
<b>Expenditures</b>				
Public works	15,333,592	14,297,387	14,431,586	134,199
Debt service	<u>888,000</u>	<u>888,000</u>	<u>887,088</u>	<u>(912)</u>
Total expenditures	<u>16,221,592</u>	<u>15,185,387</u>	<u>15,318,674</u>	<u>133,287</u>
Deficiency of revenues over expenditures	(13,274,802)	(12,166,929)	(11,914,055)	252,874
<b>Other Financing Sources (Uses)</b>				
Transfers in	<u>11,781,926</u>	<u>11,781,926</u>	<u>11,781,926</u>	<u>-</u>
Net change in fund balance	(1,492,876)	(385,003)	(132,129)	252,874
Fund balance - beginning of year	<u>6,750,914</u>	<u>6,750,914</u>	<u>6,750,914</u>	<u>-</u>
Fund balance - end of year	<u>\$ 5,258,038</u>	<u>\$ 6,365,911</u>	<u>\$ 6,618,785</u>	<u>\$ 252,874</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Budgetary Comparison Schedule**  
**Public Safety Millage Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Revenues</b>				
Taxes	\$ 11,382,653	\$ 11,966,873	\$ 11,955,725	\$ (11,148)
Other state grants	200,513	200,513	137,290	(63,223)
Investment income	63,780	63,780	564,484	500,704
	<u>11,646,946</u>	<u>12,231,166</u>	<u>12,657,499</u>	<u>426,333</u>
<b>Expenditures</b>				
Public safety	<u>12,086,407</u>	<u>12,086,407</u>	<u>11,924,585</u>	<u>(161,822)</u>
Excess (deficiency) of revenues over expenditures	(439,461)	144,759	732,914	588,155
Fund balance - beginning of year	<u>2,660,308</u>	<u>2,660,308</u>	<u>2,660,308</u>	<u>-</u>
Fund balance - end of year	<u>\$ 2,220,847</u>	<u>\$ 2,805,067</u>	<u>\$ 3,393,222</u>	<u>\$ 588,155</u>

**City of Farmington Hills**  
**Required Supplementary Information**  
**Employees' Retirement System**  
**Schedule of the City's Proportionate Share of the Net Pension Liability**  
**June 30, 2023**

Fiscal year ended June 30,	2023	2022	2021	2020	2019	2018	2017*	2016	2015	2014
City's proportion of the net pension liability (%)	96.47%	95.97%	95.78%	95.58%	95.43%	95.43%	95.26%	95.78%	95.92%	95.01%
City's proportionate share of the net pension liability	\$ 63,709,201	\$ 56,839,126	\$ 25,804,703	\$ 60,395,617	\$ 50,973,877	\$ 39,249,558	\$ 37,396,907	\$ 38,326,411	\$ 28,834,315	\$ 18,781,050
City's covered payroll	\$ 20,528,927	\$ 19,549,498	\$ 19,720,476	\$ 18,994,170	\$ 19,118,157	\$ 19,121,057	\$ 19,032,521	\$ 19,018,880	\$ 19,388,355	\$ 20,278,867
City's proportionate share of the net pension liability as a percentage of its covered payroll	310.34%	290.75%	130.85%	317.97%	266.63%	205.27%	196.49%	201.52%	148.72%	92.61%
Plan fiduciary net position as a percentage of the total pension liability	72.50%	73.72%	87.74%	70.71%	74.55%	79.10%	79.21%	77.51%	82.86%	88.48%

\*The June 30, 2016 total pension liability was restated in the June 30, 2017 actuarial valuation to include the retiree healthcare opt-out stipend payments

**City of Farmington Hills**  
**Required Supplementary Information**  
**Employees' Retirement System of Michigan**  
**Schedule of Employer Contributions**  
**June 30, 2023**

Fiscal Year Ended	Annual Determined Contribution	Actual Contribution	Contribution Deficiency (Excess)	Covered Payroll	Actual Contribution as a % of Covered Payroll
2014	\$ 4,330,086	\$ 4,330,086	\$ -	\$ 20,278,867	21.35%
2015	4,683,178	4,683,178	-	19,388,355	24.15%
2016	4,511,908	4,511,908	-	19,018,880	23.72%
2017	4,487,059	4,487,059	-	19,032,521	23.58%
2018	5,107,572	5,490,506	(382,934)	19,121,057	28.71%
2019	5,314,161	5,499,052	(184,891)	19,118,157	28.76%
2020	5,665,884	5,665,884	-	18,994,170	29.83%
2021	6,397,376	6,397,376	-	19,720,476	32.44%
2022	6,890,885	6,890,885	-	19,549,498	35.25%
2023	6,747,849	6,747,860	(11)	20,528,927	32.87%

Notes: Actuarially determined contribution rates are calculated as of June 30 each year, which is 12 months prior to the beginning of the fiscal year in which contributions are reported.

**Methods and assumptions used to determine contribution rates:**

Actuarial cost method	Entry age normal
Amortization method	Level percentage of payroll (level dollar method for general and court divisions)
Remaining amortization period	Police and fire employees: 22 years General and Court employees: 18 years
Asset valuation method	5-year smoothed fair value
Inflation	2.50 percent
Salary increases	4.00 to 7.00 percent (general and court), 4.00 to 23.00 percent (police), 4.00 to 20.00 percent (fire)
Investment rate of return	7.00 percent (net of investment expenses)
Retirement age	Experience-based table of rates that are specific to the type of eligibility condition
Mortality	General and Court: Pub-2010 amount-weighted tables Police and Fire: Pub-2010 headcount-weighted tables All tables include future mortality improvements projected to 2025 using scale MP-2018

**City of Farmington Hills**  
**Required Supplementary Information**  
**Employees' Retirement System**  
**Schedule of Investment Returns**  
**June 30, 2023**

---

Fiscal Year Ended	Annual Return*
2014	16.50%
2015	(0.40)%
2016	(1.80)%
2017	12.30%
2018	7.26%
2019	3.64%
2020	1.36%
2021	32.20%
2022	(9.87)%
2023	8.11%

\* Annual money-weighted rate of return, net of investment expenses

**City of Farmington Hills**  
**Required Supplementary Information**  
**Other Post Employment Benefits**  
**Schedule of the City's Proportionate Share of the Net OPEB Liability (Asset)**  
**June 30, 2023**

Fiscal year ended June 30,	2023	2022	2021	2020	2019	2018	2017
City's proportion of the net OPEB liability (%)	85.87%	85.83%	93.30%	93.05%	92.51%	92.51%	95.95%
City's proportionate share of the net OPEB liability (asset)	\$ (7,642,629)	\$ (5,633,957)	\$ (20,484,443)	\$ 3,815,708	\$ 1,330,769	\$ (5,793,708)	\$ (4,878,157)
City's covered payroll	N/A	N/A	N/A	N/A	N/A	N/A	N/A
City's proportionate share of the net OPEB liability as a percentage of its covered payroll	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Plan fiduciary net position as a percentage of the total OPEB liability	110.69%	108.08%	127.75%	95.00%	98.21%	108.83%	107.47%

Note: GASB Statement No. 74 was implemented for the fiscal year ended June 30, 2017 and GASB Statement No. 75 was implemented for the fiscal year ended June 30, 2018 and does not require retroactive implementation.

Data will be added as information is available until 10 years of such data is available.

Note: OPEB contributions are not based on a measure of pay and, therefore, covered payroll information has been omitted in accordance with GASB Statement No. 85.

**City of Farmington Hills**  
**Required Supplementary Information**  
**Other Post Employment Benefits**  
**Schedule of Employer Contributions**  
**June 30, 2023**

Fiscal Year Ending	Actuarially Determined Contribution	Actual Contribution	Contribution Deficiency (Excess)	Covered Payroll	Actual Contribution as a % of Covered Payroll
2017	\$ 1,722,056	\$ 1,722,056	\$ -	N/A	N/A
2018	718,608	718,608	-	N/A	N/A
2019	710,062	710,062	-	N/A	N/A
2020	520,481	520,481	-	N/A	N/A
2021	504,451	504,451	-	N/A	N/A
2022	264,242	264,242	-	N/A	N/A
2023	244,802	244,802	-	N/A	N/A

**Notes to Schedule of Contributions**

Valuation date: Actuarial valuations are performed as of June 30 of even numbered years.  
Notes: Actuarially determined contribution rates are calculated as of June 30 each year, which is 12 months prior to the start of the fiscal year in which contributions are reported.  
Contributions are not based on a measure of payroll, therefore per GASB Statement No. 85, covered payroll is not presented.

**Methods and assumptions used to determine contribution rates:**

Actuarial cost method	Entry age normal
Amortization method	Level dollar (closed)
Remaining amortization period	14 years
Asset valuation method	5-year smoothed fair value
Inflation	2.50 percent
Healthcare cost trend rates	Initial trend of 7.50% gradually decreasing to an ultimate trend rate of 3.50% in year 12
Investment rate of return	7.00 percent (net of investment expenses)
Retirement age	Experience-based table of rates that are specific to the type of eligibility condition
Mortality	General and Court: Pub-2010 amount-weighted tables Police and Fire: Pub-2010 amount-weighted tables All tables include future mortality improvements projected to 2025 using scale MP-2018

Note: GASB Statement No. 74 was implemented for the fiscal year ended June 30, 2017 and GASB Statement No. 75 was implemented for the fiscal year ended June 30, 2018 and does not require retroactive implementation.

Data will be added as information is available until 10 years of such data is available.

**City of Farmington Hills**  
**Required Supplementary Information**  
**Other Post Employment Benefits**  
**Schedule of Investment Returns**  
**June 30, 2023**

---

Fiscal Year Ended	Annual Return*
2014	16.20%
2015	(0.50)%
2016	(1.70)%
2017	11.90%
2018	7.16%
2019	3.66%
2020	1.36%
2021	32.62%
2022	(10.16)%
2023	8.26%

\* Annual money-weighted rate of return, net of investment expenses

# NONMAJOR GOVERNMENTAL FUNDS

## Special Revenue Funds

### ***Community Development Block Grant Fund***

This fund accounts for CDBG/HUD supported housing rehabilitation projects and other HUD/CDBG approved projects.

### ***Nutrition Grant***

This fund accounts for HUD supported nutrition programming through Special Services Department.

### ***Forfeiture Fund***

This fund accounts for criminal asset forfeiture revenue from cases in federal and state court, in support of police operations in accordance with federal and state forfeiture guidelines.

### ***Parks and Recreation Special Milage***

This fund accounts for the Parks Millage Property Tax Revenue in support of Parks projects and equipment.

### ***Michigan Indigent Defense Commission (MIDC) Fund***

This fund records Grant revenue from the Michigan Indigent Defense Council (MIDC) to support the cost of providing indigent defense council at the 47th District Court.

## Debt Service Fund

### ***General Debt Service***

This fund accounts for the payment of city issued general debt.

## Capital Projects Fund

### ***Community Center Renovation***

This fund accounts for the revenues and expenditures related to the acquisition, development, improvement, and/or maintenance of capital assets

**City of Farmington Hills**  
**Other Supplementary Information**  
**Combining Balance Sheet**  
**Nonmajor Governmental Funds**  
**June 30, 2023**

	Special Revenue Funds					Debt Service Fund	Capital Projects Funds	Total Nonmajor Governmental Funds
	Community Development Block Grant	Nutrition Grant	Forfeiture Funds	Parks and Recreation Special Millage	MIDC Fund	General Debt Service	Community Center Renovations	
<b>Assets</b>								
Cash and cash equivalents	\$ -	\$ 461,004	\$ 146,834	\$ 1,160,549	\$ 14,591	\$ -	\$ 52,591	\$ 1,835,569
Investments	-	46,289	1,091,889	-	-	27,215	75,592	1,240,985
Receivables	175	-	-	-	-	-	-	175
Due from other units of government	119,704	35,397	-	-	-	-	-	155,101
Due from other funds	26,356	2,172	25,626	-	22,313	298,830	81,955	457,252
<b>Total assets</b>	<b>\$ 146,235</b>	<b>\$ 544,862</b>	<b>\$ 1,264,349</b>	<b>\$ 1,160,549</b>	<b>\$ 36,904</b>	<b>\$ 326,045</b>	<b>\$ 210,138</b>	<b>\$ 3,689,082</b>
<b>Liabilities</b>								
Accounts payable	\$ 78,540	\$ 9,449	\$ 76,740	\$ 344,886	\$ 36,904	\$ 2,000	\$ -	\$ 548,519
Due to other funds	67,695	535,413	-	-	-	183,392	-	786,500
<b>Total liabilities</b>	<b>146,235</b>	<b>544,862</b>	<b>76,740</b>	<b>344,886</b>	<b>36,904</b>	<b>185,392</b>	<b>-</b>	<b>1,335,019</b>
<b>Fund Balances</b>								
Restricted for:								
Police and fire	-	-	1,187,609	-	-	-	-	1,187,609
Parks and recreation	-	-	-	815,663	-	-	-	815,663
Assigned:								
Capital projects	-	-	-	-	-	-	210,138	210,138
Debt service	-	-	-	-	-	140,653	-	140,653
<b>Total fund balances</b>	<b>-</b>	<b>-</b>	<b>1,187,609</b>	<b>815,663</b>	<b>-</b>	<b>140,653</b>	<b>210,138</b>	<b>2,354,063</b>
<b>Total liabilities and fund balances</b>	<b>\$ 146,235</b>	<b>\$ 544,862</b>	<b>\$ 1,264,349</b>	<b>\$ 1,160,549</b>	<b>\$ 36,904</b>	<b>\$ 326,045</b>	<b>\$ 210,138</b>	<b>\$ 3,689,082</b>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Combining Statement of Revenues, Expenditures and Changes in Fund Balances**  
**Nonmajor Governmental Funds**  
**For the Year Ended June 30, 2023**

	Special Revenue Funds					Debt Service Fund	Capital Projects Funds	Total Nonmajor Governmental Funds
	Community Development Block Grant	Nutrition Grant	Forfeiture Funds	Parks and Recreation Special Millage	MIDC Fund	General Debt Service	Community Center Renovations	
<b>Revenues</b>								
Property taxes	\$ -	\$ -	\$ -	\$ 1,790,423	\$ -	\$ -	\$ -	\$ 1,790,423
Federal grants	1,051,148	235,965	392,276	-	-	-	-	1,679,389
State and other sources	-	185,822	42,410	56,525	298,957	-	-	583,714
Local contributions	-	-	-	-	5,424	-	-	5,424
Investment income	3	5,380	17,310	88,614	1,998	4,418	31,108	148,831
Other revenue	-	158,949	-	-	-	51,506	-	210,455
<b>Total revenues</b>	<u>1,051,151</u>	<u>586,116</u>	<u>451,996</u>	<u>1,935,562</u>	<u>306,379</u>	<u>55,924</u>	<u>31,108</u>	<u>4,418,236</u>
<b>Expenditures</b>								
Current:								
Public safety	-	-	121,140	-	-	-	-	121,140
Health and welfare	-	-	-	-	360,687	-	-	360,687
Community and economic development	1,051,151	-	-	-	-	-	-	1,051,151
Recreation and culture	-	635,330	-	-	-	-	-	635,330
Capital outlay	-	-	-	658,792	-	-	157,022	815,814
Debt service	-	-	-	-	-	2,217,460	-	2,217,460
<b>Total expenditures</b>	<u>1,051,151</u>	<u>635,330</u>	<u>121,140</u>	<u>658,792</u>	<u>360,687</u>	<u>2,217,460</u>	<u>157,022</u>	<u>5,201,582</u>
Excess (deficiency) of revenues over expenditures	-	(49,214)	330,856	1,276,770	(54,308)	(2,161,536)	(125,914)	(783,346)
<b>Other Financing Sources (Uses)</b>								
Transfers in	-	49,214	-	-	-	2,200,000	-	2,249,214
Transfers out	-	-	-	(1,307,850)	-	-	-	(1,307,850)
<b>Total other financing sources (uses)</b>	<u>-</u>	<u>49,214</u>	<u>-</u>	<u>(1,307,850)</u>	<u>-</u>	<u>2,200,000</u>	<u>-</u>	<u>941,364</u>
Net change in fund balance	-	-	330,856	(31,080)	(54,308)	38,464	(125,914)	158,018
Fund balance - beginning of year	-	-	856,753	846,743	54,308	102,189	336,052	2,196,045
Fund balance - end of year	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 1,187,609</u>	<u>\$ 815,663</u>	<u>\$ -</u>	<u>\$ 140,653</u>	<u>\$ 210,138</u>	<u>\$ 2,354,063</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**Community Development Block Grant Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual
	Original	Final		Over (Under) Final Budget
<b>Revenues</b>				
Federal grants	\$ 450,067	\$ 1,037,979	\$ 1,051,148	\$ 13,169
Investment income	-	-	3	3
	<u>450,067</u>	<u>1,037,979</u>	<u>1,051,151</u>	<u>13,172</u>
Total revenues	450,067	1,037,979	1,051,151	13,172
<b>Expenditures</b>				
Community and economic development	<u>450,067</u>	<u>1,037,979</u>	<u>1,051,151</u>	<u>13,172</u>
Excess (deficiency) of revenues over expenditures	-	-	-	-
Fund balance - beginning of year	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
Fund balance - end of year	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**Nutrition Grant Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under)
	Original	Final		Final Budget
<b>Revenues</b>				
Federal grants	\$ 360,000	\$ 360,000	\$ 235,965	\$ (124,035)
State and other sources	-	-	185,822	185,822
Investment income	32,358	36,905	5,380	(31,525)
Other revenue	120,834	120,834	158,949	38,115
	<u>513,192</u>	<u>517,739</u>	<u>586,116</u>	<u>68,377</u>
<b>Expenditures</b>				
Recreation and culture	<u>582,143</u>	<u>586,690</u>	<u>635,330</u>	<u>48,640</u>
Deficiency of revenues over expenditures	(68,951)	(68,951)	(49,214)	19,737
<b>Other Financing Sources</b>				
Transfers in	<u>68,951</u>	<u>68,951</u>	<u>49,214</u>	<u>(19,737)</u>
Net change in fund balance	-	-	-	-
Fund balance - beginning of year	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>
Fund balance - end of year	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**Forfeiture Funds**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under)
	Original	Final		Final Budget
<b>Revenues</b>				
Federal grants	\$ -	\$ -	\$ 392,276	\$ 392,276
State and other sources	-	2,586	42,410	39,824
Investment income	-	18,231	17,310	(921)
	<u>-</u>	<u>20,817</u>	<u>451,996</u>	<u>431,179</u>
Total revenues	-	20,817	451,996	431,179
<b>Expenditures</b>				
Public safety	-	129,538	121,140	(8,398)
	<u>-</u>	<u>129,538</u>	<u>121,140</u>	<u>(8,398)</u>
Excess (deficiency) of revenues over expenditures	-	(108,721)	330,856	439,577
Fund balance - beginning of year	<u>856,753</u>	<u>856,753</u>	<u>856,753</u>	<u>-</u>
Fund balance - end of year	<u>\$ 856,753</u>	<u>\$ 748,032</u>	<u>\$ 1,187,609</u>	<u>\$ 439,577</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**Parks and Recreation Special Millage Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Revenues</b>				
Property taxes	\$ 1,738,872	\$ 1,771,893	\$ 1,790,423	\$ 18,530
State and other sources	25,000	25,000	56,525	31,525
Charges for services	60,000	60,000	-	(60,000)
Investment income	3,000	47,461	88,614	41,153
	<u>1,826,872</u>	<u>1,904,354</u>	<u>1,935,562</u>	<u>31,208</u>
<b>Expenditures</b>				
Capital outlay	<u>892,300</u>	<u>1,166,541</u>	<u>658,792</u>	<u>(507,749)</u>
Excess of revenues over expenditures	934,572	737,813	1,276,770	538,957
<b>Other Financing Sources (Uses)</b>				
Transfers out	<u>(1,307,850)</u>	<u>(1,307,850)</u>	<u>(1,307,850)</u>	<u>-</u>
Net change in fund balance	(373,278)	(570,037)	(31,080)	538,957
Fund balance - beginning of year	<u>846,743</u>	<u>846,743</u>	<u>846,743</u>	<u>-</u>
Fund balance - end of year	<u>\$ 473,465</u>	<u>\$ 276,706</u>	<u>\$ 815,663</u>	<u>\$ 538,957</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**MIDC Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under)
	Original	Final		Final Budget
<b>Revenues</b>				
State and other sources	\$ 334,784	\$ 334,784	\$ 298,957	\$ (35,827)
Local contributions	21,697	21,697	5,424	(16,273)
Investment income	100	100	1,998	1,898
	<u>356,581</u>	<u>356,581</u>	<u>306,379</u>	<u>(50,202)</u>
<b>Expenditures</b>				
Health and welfare	<u>356,581</u>	<u>356,581</u>	<u>360,687</u>	<u>4,106</u>
	<u>356,581</u>	<u>356,581</u>	<u>360,687</u>	<u>4,106</u>
Deficiency of revenues over expenditures	<u>-</u>	<u>-</u>	<u>(54,308)</u>	<u>(54,308)</u>
Fund balance - beginning of year	<u>54,308</u>	<u>54,308</u>	<u>54,308</u>	<u>-</u>
Fund balance - end of year	<u>\$ 54,308</u>	<u>\$ 54,308</u>	<u>\$ -</u>	<u>\$ (54,308)</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**General Debt Service Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Revenues</b>				
Investment income	\$ 200	\$ 200	\$ 4,418	\$ 4,218
Other revenue	<u>50,000</u>	<u>50,000</u>	<u>51,506</u>	<u>1,506</u>
Total revenues	50,200	50,200	55,924	5,724
<b>Expenditures</b>				
Debt service	<u>2,217,460</u>	<u>2,217,460</u>	<u>2,217,460</u>	<u>-</u>
Deficiency of revenues over expenditures	(2,167,260)	(2,167,260)	(2,161,536)	5,724
<b>Other Financing Sources</b>				
Transfers in	<u>2,200,000</u>	<u>2,200,000</u>	<u>2,200,000</u>	<u>-</u>
Net change in fund balance	32,740	32,740	38,464	5,724
Fund balance - beginning of year	<u>102,189</u>	<u>102,189</u>	<u>102,189</u>	<u>-</u>
Fund balance - end of year	<u>\$ 134,929</u>	<u>\$ 134,929</u>	<u>\$ 140,653</u>	<u>\$ 5,724</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**Capital Improvement Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Revenues</b>				
Special assessments	\$ -	\$ -	\$ 14,208	\$ 14,208
State and other sources	-	68,000	40,599	(27,401)
Investment income	20,000	431,234	576,590	145,356
Other revenue	-	-	6,426	6,426
	<u>20,000</u>	<u>499,234</u>	<u>637,823</u>	<u>138,589</u>
<b>Expenditures</b>				
Capital outlay	13,964,250	18,122,552	6,597,712	(11,524,840)
Debt service	452,543	452,543	-	(452,543)
	<u>14,416,793</u>	<u>18,575,095</u>	<u>6,597,712</u>	<u>(11,977,383)</u>
Deficiency of revenues over expenditures	<u>(14,396,793)</u>	<u>(18,075,861)</u>	<u>(5,959,889)</u>	<u>12,115,972</u>
<b>Other Financing Sources (Uses)</b>				
Transfers in	7,600,000	7,600,000	7,600,000	-
Issuance of debt	5,420,000	7,000,000	7,000,457	457
	<u>13,020,000</u>	<u>14,600,000</u>	<u>14,600,457</u>	<u>457</u>
Net change in fund balance	(1,376,793)	(3,475,861)	8,640,568	12,116,429
Fund balance - beginning of year	<u>7,372,950</u>	<u>7,372,950</u>	<u>7,372,950</u>	<u>-</u>
Fund balance - end of year	<u>\$ 5,996,157</u>	<u>\$ 3,897,089</u>	<u>\$ 16,013,518</u>	<u>\$ 12,116,429</u>

**City of Farmington Hills**  
**Other Supplementary Information**  
**Budgetary Comparison Schedule**  
**Community Center Renovations Fund**  
**For the Year Ended June 30, 2023**

	Budgeted Amounts		Actual	Actual Over (Under) Final Budget
	Original	Final		
<b>Revenues</b>				
Investment income	\$ 30,000	\$ 67,002	\$ 31,108	\$ (35,894)
<b>Expenditures</b>				
Capital outlay	<u>130,300</u>	<u>162,774</u>	<u>157,022</u>	<u>(5,752)</u>
Deficiency of revenues over expenditures	(100,300)	(95,772)	(125,914)	(30,142)
Fund balance - beginning of year	<u>336,052</u>	<u>336,052</u>	<u>336,052</u>	<u>-</u>
Fund balance - end of year	<u>\$ 235,752</u>	<u>\$ 240,280</u>	<u>\$ 210,138</u>	<u>\$ (30,142)</u>

# City of Farmington Hills

## Description of Statistical Section

---

This part of the City of Farmington Hills' comprehensive annual financial report presents detailed information as a context for understanding what the information in the financial statements, note disclosures, and required supplemental information says about the City's overall financial health. Many of the schedules present data for the past fiscal years that will allow the reader to discern trends that cannot be seen in a single year's financial statements.

### Contents

#### **Financial Trends:**

These schedules contain certain trend information to help the reader understand how the City's financial position and performance have changed over time.

#### **Revenue Capacity:**

These schedules contain information to help the reader assess the factors affecting the City's ability to generate its main income source - property taxes.

#### **Debt Capacity:**

These schedules present information to help the reader assess the affordability of the City's current level of outstanding debt and the ability to issue additional debt in the future.

#### **Demographic Information:**

These schedules present various demographic and economic indicators for the reader to understand the environment within the City that affects the City's financial statements.

#### **Operating Information:**

These schedules contain information about the City's operations and resources to help the reader understand how the City's financial information relates to the services the City provides and the activities it performs.

### Sources

Unless otherwise noted, the information in these schedules is derived from the comprehensive annual financial reports for the relevant year.

**City of Farmington Hills  
Net Position by Component  
Last Ten Fiscal Years  
(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Governmental Activities:</b>										
Net investment in capital assets	\$ 133,625,640	\$ 132,814,511	\$ 136,304,301	\$ 140,687,061	\$ 142,784,702	\$ 152,362,081	\$ 172,734,509	\$ 189,055,502	\$ 198,014,183	\$ 202,562,652
Restricted	16,177,067	14,835,556	17,383,179	25,378,243	27,368,668	14,735,839	9,572,011	15,291,028	26,870,546	38,125,414
Unrestricted	23,858,724	6,399,143	5,341,244	(914,254)	5,817,769	(2,327,893)	(4,906,858)	6,839,971	6,714,540	11,972,365
Total net position	<u>\$ 173,661,431</u>	<u>\$ 154,049,210</u>	<u>\$ 159,028,724</u>	<u>\$ 165,151,050</u>	<u>\$ 175,971,139</u>	<u>\$ 164,770,027</u>	<u>\$ 177,399,662</u>	<u>\$ 211,186,501</u>	<u>\$ 231,599,269</u>	<u>\$ 252,660,431</u>
<b>Business-type Activities:</b>										
Net investment in capital assets	\$ 73,322,194	\$ 65,547,709	\$ 72,467,388	\$ 66,261,936	\$ 66,690,516	\$ 66,301,953	\$ 68,910,061	\$ 70,436,527	\$ 72,709,369	\$ 78,773,242
Unrestricted	64,951,514	72,052,142	67,206,707	75,685,405	77,017,904	78,451,561	76,963,942	74,991,278	71,512,451	65,525,528
Total net position	<u>\$ 138,273,708</u>	<u>\$ 137,599,851</u>	<u>\$ 139,674,095</u>	<u>\$ 141,947,341</u>	<u>\$ 143,708,420</u>	<u>\$ 144,753,514</u>	<u>\$ 145,874,003</u>	<u>\$ 145,427,805</u>	<u>\$ 144,221,820</u>	<u>\$ 144,298,770</u>
<b>Primary Government in Total:</b>										
Net investment in capital assets	\$ 206,947,834	\$ 198,362,220	\$ 208,771,689	\$ 206,948,997	\$ 209,475,218	\$ 218,664,034	\$ 241,644,570	\$ 259,492,029	\$ 270,723,552	\$ 281,335,894
Restricted	16,177,067	14,835,556	17,383,179	25,378,243	27,368,668	14,735,839	9,572,011	15,291,028	26,870,546	38,125,414
Unrestricted	88,810,238	78,451,285	72,547,951	74,771,151	82,835,673	76,123,668	72,057,084	81,831,249	78,226,991	77,497,893
Total net position	<u>\$ 311,935,139</u>	<u>\$ 291,649,061</u>	<u>\$ 298,702,819</u>	<u>\$ 307,098,391</u>	<u>\$ 319,679,559</u>	<u>\$ 309,523,541</u>	<u>\$ 323,273,665</u>	<u>\$ 356,614,306</u>	<u>\$ 375,821,089</u>	<u>\$ 396,959,201</u>

**City of Farmington Hills**  
**Changes in Governmental Net Position**  
**Last Ten Fiscal Years**  
**(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Expenses:</b>										
General government	\$ 14,315,814	\$ 13,799,558	\$ 16,208,153	\$ 12,966,197	\$ 15,467,484	\$ 17,593,114	\$ 16,985,367	\$ 10,616,854	\$ 17,807,296	\$ 17,441,760
Public safety	26,778,223	30,663,569	31,598,884	32,569,828	33,101,621	38,570,736	37,350,515	30,488,230	35,374,948	41,650,599
Public services	18,265,922	17,710,227	19,333,197	20,560,119	20,309,790	27,456,946	21,949,505	21,792,879	21,642,494	27,687,683
Health and Welfare	-	-	-	-	-	-	-	-	199,574	359,628
Community and economic development	1,383,537	1,582,677	2,175,213	1,938,615	1,995,922	1,925,343	1,970,504	2,550,617	2,182,133	2,754,805
Recreation and culture	8,470,535	8,774,076	9,000,976	8,990,365	9,769,002	8,664,042	9,436,459	9,703,991	14,302,545	15,919,670
Interest on long-term debt	704,688	734,698	499,969	571,203	521,785	470,284	1,191,147	918,731	785,557	687,530
Total expenses	69,918,719	73,264,805	78,816,392	77,596,327	81,165,604	94,680,465	88,883,497	76,071,302	92,294,547	106,501,675
<b>Program revenues:</b>										
Charges for services										
General government	4,952,419	4,982,503	5,623,842	5,825,246	5,248,109	7,827,566	7,273,250	6,989,875	7,213,066	7,114,125
Public safety	1,858,740	2,115,647	2,098,423	2,170,085	2,070,345	2,332,747	2,645,120	2,181,621	2,570,605	3,007,330
Public services	2,162,983	1,929,655	2,135,470	2,046,939	2,174,599	3,809,043	3,285,783	2,796,015	2,475,015	4,038,117
Community & economic development	226,124	352,890	561,734	368,733	80,679	-	-	-	-	-
Recreation and culture	4,403,579	4,450,090	4,638,028	4,744,048	4,858,219	4,840,888	3,643,577	3,781,843	6,736,483	7,936,003
Total charges for services	13,603,845	13,830,785	15,057,497	15,155,051	14,431,951	18,810,244	16,847,730	15,749,354	18,995,169	22,095,575
Operating grants and contributions	7,938,020	8,858,842	11,345,832	16,625,862	11,125,360	12,322,939	11,806,082	20,024,920	17,479,719	20,049,311
Capital grants and contributions	209,289	331,999	148,957	175,637	851,238	-	-	-	7,635	-
Total program revenue	21,751,154	23,021,626	26,552,286	31,956,550	26,408,549	31,133,183	28,653,812	35,774,274	36,482,523	42,144,886
<b>Excess of Expenses Over Program Revenue</b>	<b>(48,167,565)</b>	<b>(50,243,179)</b>	<b>(52,264,106)</b>	<b>(45,639,777)</b>	<b>(54,757,055)</b>	<b>(63,547,282)</b>	<b>(60,229,685)</b>	<b>(40,297,028)</b>	<b>(55,812,024)</b>	<b>(64,356,789)</b>
<b>General revenues:</b>										
Property taxes	38,910,074	39,015,386	46,644,560	46,432,310	48,612,050	50,044,486	61,198,407	62,969,729	64,470,701	67,592,794
State-shared revenues	6,359,066	6,477,230	6,773,437	7,824,407	8,112,310	8,589,005	8,542,647	9,759,804	10,996,874	11,056,305
Investment earnings	414,038	396,972	718,517	518,714	879,918	1,872,340	2,206,577	600,963	-	6,333,121
Gain (loss) on disposal	-	-	-	-	-	144,963	157,129	160,606	-	140,958
Special Items	-	-	-	-	-	(8,982,681)	-	-	-	-
Miscellaneous	2,083,279	3,401,950	3,107,106	2,625,365	3,113,354	680,257	754,560	438,153	780,305	294,773
Total general revenues	47,766,457	49,291,538	57,243,620	57,400,796	60,717,632	62,348,370	72,859,320	73,929,255	76,247,880	85,417,951
<b>Transfers</b>	<b>(51,752)</b>	<b>(59,369)</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>Change in net position</b>	<b>\$ (452,860)</b>	<b>\$ (1,011,010)</b>	<b>\$ 4,979,514</b>	<b>\$ 11,761,019</b>	<b>\$ 5,960,577</b>	<b>\$ (11,198,912)</b>	<b>\$ 12,629,635</b>	<b>\$ 33,632,227</b>	<b>\$ 20,435,856</b>	<b>\$ 21,061,162</b>

Source: Annual financial statements

**City of Farmington Hills**  
**Changes in Business-type Net Position**  
**Last Ten Fiscal Years**  
**(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Program Revenue</b>										
Water and sewer	\$ 24,749,466	\$ 25,401,057	\$ 26,460,743	\$ 27,747,324	\$ 27,029,571	\$ 29,546,893	\$ 27,163,569	\$ 30,238,018	\$ 31,011,125	\$ 34,313,232
Capital grants and contributions	281,559	352,150	265,413	847,316	2,204,688	713,391	1,182,295	2,083,715	1,227,275	1,467,055
Total program revenue	25,031,025	25,753,207	26,726,156	28,594,640	29,234,259	30,260,284	28,345,864	32,321,733	32,238,400	35,780,287
<b>Operating Expenses</b>										
Water and sewer	26,344,508	26,769,838	24,962,971	26,340,919	27,618,360	30,060,159	28,168,384	32,567,104	33,444,385	38,031,569
Interest expense	166,488	322,305	426,514	556,588	781,888	980,526	747,083	730,656	639,980	381,016
Total operating expenses	26,551,741	27,092,143	25,389,485	26,897,507	28,400,248	31,040,685	28,915,467	33,297,760	34,084,365	38,412,585
<b>Net (Expenses) Revenue</b>	(1,520,716)	(1,338,936)	1,336,671	1,697,133	834,011	(780,401)	(569,603)	(976,027)	(1,845,965)	(2,632,298)
<b>General Revenue - Investment earnings and other</b>	920,925	605,710	737,573	576,113	927,068	1,825,495	1,690,092	529,829	(1,038,294)	2,709,248
<b>Transfers</b>	51,752	59,369	-	-	-	-	-	-	-	-
<b>Total Change in Net Position</b>	<b>\$ (548,039)</b>	<b>\$ (673,857)</b>	<b>\$ 2,074,244</b>	<b>\$ 2,273,246</b>	<b>\$ 1,761,079</b>	<b>\$ 1,045,094</b>	<b>\$ 1,120,489</b>	<b>\$ (446,198)</b>	<b>\$ (2,884,259)</b>	<b>\$ 76,950</b>
<b>Change in Net Position - Primary Government</b>	<b>\$ (1,000,899)</b>	<b>\$ (1,684,867)</b>	<b>\$ 7,053,758</b>	<b>\$ 14,034,265</b>	<b>\$ 7,721,656</b>	<b>\$ (10,153,818)</b>	<b>\$ 13,750,124</b>	<b>\$ 33,186,029</b>	<b>\$ 17,551,597</b>	<b>\$ 21,138,112</b>

**City of Farmington Hills**  
**Fund Balances - Governmental Funds**  
**Last Ten Fiscal Years**  
**(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>General Fund:</b>										
Nonspendable	\$ 996,654	\$ 839,501	\$ 1,032,308	\$ 983,364	\$ 838,111	\$ 867,649	\$ 858,835	\$ 304,826	\$ 587,647	\$ 240,863
Restricted	-	-	-	-	-	-	-	-	-	618,051
Committed	22,408	22,408	22,409	22,409	22,409	-	-	-	-	-
Assigned	12,178,626	12,888,638	16,409,880	17,599,194	19,224,548	20,714,136	18,207,555	19,711,996	35,554,064	4,490,061
Unassigned	11,599,339	13,987,360	13,418,341	14,558,909	14,941,090	15,684,325	20,905,683	25,512,066	11,072,450	50,944,877
Total general fund	<u>\$ 24,797,027</u>	<u>\$ 27,737,907</u>	<u>\$ 30,882,938</u>	<u>\$ 33,163,876</u>	<u>\$ 35,026,158</u>	<u>\$ 37,266,110</u>	<u>\$ 39,972,073</u>	<u>\$ 45,528,888</u>	<u>\$ 47,214,161</u>	<u>\$ 56,293,852</u>
<b>All other governmental funds:</b>										
Unassigned reported in:										
Debt service funds	\$ (279,629)	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 102,189	\$ -
Nonspendable										
Special revenue funds	-	32	-	199,698	-	-	612	-	-	-
Capital project funds	-	2,405	-	-	78,500	-	-	-	-	-
Restricted										
Special revenue funds	8,532,419	8,217,395	9,301,626	10,213,655	16,215,802	18,117,308	13,089,014	15,745,839	24,854,395	30,101,867
Capital project funds	796,306	-	-	-	-	-	15,953,360	1,334,343	7,709,002	402,745
Debt service funds	2,177,737	2,097,263	2,113,034	2,094,668	1,994,366	-	-	-	102,189	-
Committed										
Special revenue funds	52,534	52,536	52,986	52,997	53,159	-	-	-	-	-
Capital project funds	643,726	241,695	874,876	1,670,443	2,445,103	-	-	-	-	-
Assigned										
Special revenue funds	-	150,000	-	-	-	-	-	-	-	-
Capital project funds	2,386,920	2,126,379	2,902,057	1,778,128	3,771,142	3,768,298	5,485,305	7,323,118	7,709,002	15,820,911
Debt service funds	164,698	162,297	162,344	144,293	137,484	146,786	273,594	89,047	102,189	140,653
Total other governmental funds	<u>\$ 14,474,711</u>	<u>\$ 13,050,002</u>	<u>\$ 15,406,923</u>	<u>\$ 16,153,882</u>	<u>\$ 24,695,556</u>	<u>\$ 22,032,392</u>	<u>\$ 34,801,885</u>	<u>\$ 24,492,347</u>	<u>\$ 40,578,966</u>	<u>\$ 46,466,176</u>

Source: Annual Financial Statements

**City of Farmington Hills**  
**Change in Fund Balances - Governmental Funds**  
**Last Ten Fiscal Years**  
**(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Revenue</b>										
Property taxes	\$ 38,909,350	\$ 39,244,016	\$ 46,644,560	\$ 46,432,310	\$ 48,612,050	\$ 50,218,109	\$ 61,198,407	\$ 62,969,729	\$ 64,516,770	\$ 67,607,002
Special assessments	1,103,197	954,676	1,267,377	2,102,178	2,284,000	1,402,272	-	-	-	-
Licenses and permits	1,357,184	1,224,287	1,558,094	1,913,682	1,417,161	1,783,163	1,890,690	1,620,709	1,685,309	2,151,403
Federal grants	1,250,376	1,187,938	1,321,952	1,528,952	1,345,653	963,179	1,296,311	6,734,127	5,332,309	5,936,454
State-shared revenue and grants	12,822,738	13,441,669	14,284,441	15,546,926	17,428,020	19,179,709	18,857,483	20,925,527	22,913,998	24,889,326
Other grants and contributions	255,452	280,500	254,787	259,606	273,269	174,372	175,836	2,024,962	349,362	12,067
Charges for services	9,598,537	10,228,020	11,020,824	10,939,531	11,062,483	11,407,257	11,626,315	10,736,549	13,692,720	16,504,638
Fines and forfeitures	2,141,689	2,179,726	2,145,354	2,006,801	2,085,541	2,197,948	1,751,346	1,647,759	1,548,589	1,531,952
Investment income	414,038	396,972	718,517	518,714	879,918	1,926,079	2,207,078	600,996	(2,495,624)	6,338,501
Other and equipment rental	2,239,825	3,192,688	2,686,204	2,883,400	3,691,309	3,067,183	2,543,594	2,085,684	2,693,431	2,426,003
<b>Total revenue</b>	<b>70,092,386</b>	<b>72,330,492</b>	<b>81,902,110</b>	<b>84,132,100</b>	<b>89,079,404</b>	<b>92,319,271</b>	<b>101,547,060</b>	<b>109,346,042</b>	<b>110,236,864</b>	<b>127,397,346</b>
<b>Expenditures</b>										
Current:										
General government	13,584,599	12,087,690	11,924,336	12,354,442	12,700,889	12,896,343	13,221,497	13,189,248	14,092,538	13,882,188
Public safety	26,920,590	28,781,433	28,583,053	29,916,423	30,556,875	30,825,852	31,940,936	32,563,982	34,375,131	35,666,482
Public services	12,863,648	12,388,557	14,299,423	15,523,489	14,115,430	19,879,270	36,699,154	30,821,569	26,200,373	34,404,521
Health and Welfare	-	-	-	-	-	-	-	-	199,480	360,687
Community and economic development	1,542,280	1,559,679	2,141,207	2,024,943	1,984,459	1,924,657	1,969,161	2,556,330	2,239,964	2,750,891
Recreation and culture	7,102,151	7,521,804	7,789,813	7,862,950	8,488,297	8,642,314	8,249,851	8,535,568	12,394,600	13,919,586
Capital outlay	5,980,088	5,695,657	9,723,407	21,574,339	8,069,908	15,913,541	15,541,788	22,632,176	7,847,129	7,744,776
Debt service	2,827,739	2,867,814	2,031,223	2,211,018	2,943,763	2,845,901	4,020,961	4,641,397	3,151,843	3,296,323
<b>Total expenditures</b>	<b>70,821,095</b>	<b>70,902,634</b>	<b>76,492,462</b>	<b>91,467,604</b>	<b>78,859,621</b>	<b>92,927,878</b>	<b>111,643,348</b>	<b>114,940,270</b>	<b>100,501,058</b>	<b>112,025,454</b>
<b>Excess of Revenue Over (Under) Expenditures</b>	<b>(728,709)</b>	<b>1,427,858</b>	<b>5,409,648</b>	<b>(7,335,504)</b>	<b>10,219,783</b>	<b>(608,607)</b>	<b>(10,096,288)</b>	<b>(5,594,228)</b>	<b>9,735,806</b>	<b>15,371,892</b>
<b>Other Financing Sources (Uses)</b>										
Debt issuance	-	-	-	14,015,246	-	-	25,297,018	4,125,000	-	7,331,707
Transfers in	10,402,521	10,291,938	14,270,227	17,870,989	16,749,125	22,750,816	29,593,899	28,725,383	29,403,087	27,908,567
Transfers out	(10,454,273)	(10,351,307)	(14,270,227)	(17,870,989)	(16,749,125)	(22,750,816)	(29,593,899)	(28,725,383)	(29,403,087)	(27,908,567)
Proceeds from sale of capital assets	61,001	147,682	92,304	112,115	184,173	185,395	274,726	162,171	122,706	176,682
Debt defeasance	-	-	-	(3,763,960)	-	-	-	(3,600,278)	-	-
<b>Total other financing sources (uses)</b>	<b>9,249</b>	<b>88,313</b>	<b>92,304</b>	<b>10,363,401</b>	<b>184,173</b>	<b>185,395</b>	<b>25,571,744</b>	<b>686,893</b>	<b>122,706</b>	<b>7,508,389</b>
<b>Net change in fund balances</b>	<b>(719,460)</b>	<b>1,516,171</b>	<b>5,501,952</b>	<b>3,027,897</b>	<b>10,403,956</b>	<b>(423,212)</b>	<b>15,475,456</b>	<b>(4,907,335)</b>	<b>9,858,512</b>	<b>22,880,281</b>
<b>Fund Balances - Beginning of year</b>	<b>39,991,198</b>	<b>39,271,738</b>	<b>40,787,909</b>	<b>46,289,861</b>	<b>49,317,758</b>	<b>59,721,714</b>	<b>59,298,502</b>	<b>74,773,958</b>	<b>70,021,235</b>	<b>79,879,747</b>
<b>Prior Period Adjustment</b>	<b>-</b>	<b>154,612</b>	<b>-</b>	<b>-</b>						
<b>Fund Balances - End of year</b>	<b>\$ 39,271,738</b>	<b>\$ 40,787,909</b>	<b>\$ 46,289,861</b>	<b>\$ 49,317,758</b>	<b>\$ 59,721,714</b>	<b>\$ 59,298,502</b>	<b>\$ 74,773,958</b>	<b>\$ 70,021,235</b>	<b>\$ 79,879,747</b>	<b>\$ 102,760,028</b>

**City of Farmington Hills**  
**Assessed Value and Actual Value of Taxable Property**  
**Last Ten Years**  
**(Unaudited)**

Tax Year	Residential	Commercial	Industrial	Personal Property	IFT	Total Value	Tax Rate (mills)	Estimated Actual Value	Taxable Value as a % of Actual
2014	\$ 2,071,108,470	\$ 654,855,950	\$ 92,381,530	\$ 235,714,160	\$ 2,101,850	\$ 3,056,161,960	12.3806	\$ 3,260,293,240	93.74%
2015	2,140,673,280	647,245,830	94,923,440	245,515,980	1,515,030	3,129,873,560	14.3908	3,555,094,530	88.04%
2016	2,181,346,960	649,105,680	93,312,600	203,299,780	1,036,930	3,128,101,950	14.3273	3,752,944,510	83.35%
2017	2,244,198,190	666,176,630	94,984,180	202,500,580	929,350	3,208,788,930	14.6569	3,975,835,450	80.71%
2018	2,328,645,800	686,193,840	105,437,480	195,872,700	846,360	3,316,996,180	14.5794	4,151,773,160	79.89%
2019	2,424,630,660	715,406,880	111,975,400	207,556,420	667,030	3,460,236,390	17.1905	4,407,606,380	78.51%
2020	2,517,986,910	746,753,390	120,726,760	211,527,870	603,160	3,597,598,090	17.0117	4,652,525,100	77.33%
2021	2,595,436,420	782,346,140	125,654,300	226,793,400	221,760	3,730,452,020	16.8566	4,908,706,890	76.00%
2022	2,750,297,650	858,650,680	137,060,770	231,069,790	3,369,780	3,980,448,670	16.5693	5,237,966,510	75.99%
2023	2,938,629,300	923,405,640	145,725,250	230,364,150	3,512,890	4,241,637,230	16.5195	5,722,759,540	74.12%

Note: Under Michigan law, the revenue base is taxable value. Taxes levied in a particular "tax year" become revenue of the subsequent fiscal year

Source: City Assessing Department records

**City of Farmington Hills**  
**Direct and Overlapping Property Tax Rates**  
**Last Ten Years**  
**(Unaudited)**

Tax Year	General		Voted	Total Direct Taxes	Overlapping Taxes							State Education	School:	School:	School:	School: Non-	School: Non-	School: Non-	Zoo	
	Operating	Debt	Special Purpose		County	OCP	Library	Oakland Community College	Schoolcraft Community College	Intermediate School District	Homestead Farmington		Homestead Clarenceville	Homestead Walled Lake	Homestead Farmington	Homestead Clarenceville	Homestead Walled Lake	Authority	Art Institute	
2013	8.0579	0.6313	3.6646	12.3538	4.6461	0.5900	1.5856	1.5844	1.7967	3.3690	6.0000	13.0140	4.5000	7.4730	20.5600	22.5000	23.1445	0.1000	0.2000	
2014	8.0792	0.6368	3.6646	12.3806	4.6461	1.0000	1.5856	1.5844	1.7967	3.3690	6.0000	11.7472	4.5000	7.6843	20.2600	22.5000	23.4872	0.1000	0.2000	
2015	8.2774	0.4488	5.6646	14.3908	4.5456	0.9998	1.5856	1.5819	1.7967	3.3633	6.0000	12.4418	4.5000	7.2841	21.4400	22.5000	23.1180	0.0998	0.1996	
2016	8.2218	0.4671	5.6384	14.3273	4.4938	0.9941	1.5781	1.5707	1.7880	3.3398	6.0000	12.1482	4.5000	7.0150	21.4400	22.5000	22.9279	0.0990	0.1981	
2017	8.6232	0.4434	5.5903	14.6569	4.4908	0.9863	1.5644	1.5555	1.7766	3.3079	6.0000	11.4268	4.5000	6.9458	21.3000	22.5000	20.4179	0.0980	0.1961	
2018	8.6410	0.3892	5.5492	14.5794	4.4878	1.0000	1.5517	1.5431	1.7662	3.2813	6.0000	11.3026	4.4626	6.7968	21.3000	22.4626	22.5643	0.0982	0.1945	
2019	8.4314	0.5216	8.2375	17.1905	4.4846	0.9927	1.5393	1.5303	2.2516	3.2539	6.0000	10.8634	4.3831	6.2300	21.3000	22.3831	21.9531	0.0973	0.1929	
2020	8.1883	0.6017	8.0666	16.8566	4.5691	0.9765	1.5062	1.5057	2.2700	3.2012	6.0000	9.4482	4.2940	6.0742	21.2000	22.2940	21.5648	0.0956	0.1897	
2021	8.0081	0.5887	7.9725	16.5693	4.5187	0.9765	1.4860	1.4891	2.2700	3.1658	6.0000	8.4667	4.2257	4.5969	20.4523	22.2257	21.3430	0.0945	0.1945	
2022	7.9583	0.5887	7.9725	16.5195	4.5187	0.9500	1.4742	1.4891	2.2700	3.1658	6.0000	8.7764	4.2257	4.6300	21.2000	22.2257	21.3761	0.0945	0.1945	

Note: Includes Capital, Refuse Removal and Economic Development Millages

Source: City Assessing Department records

**City of Farmington Hills  
Principal Property Taxpayers  
Last Ten Years  
(Unaudited)**

	Taxpayer	2023 Taxable Value	Percentage of Total	2014 Taxable Value	Percentage of Total	2014 Rank
1	Oakland Management Co.	\$ 75,689,220	1.79	\$ 63,277,950	2.07	1
2	Detroit Edison	41,874,060	0.99	33,049,350	1.08	2
3	Consumers Energy	37,904,160	0.89	8,510,170	N/A	N/A
4	Meadows at Hunters Ridge LLC	34,982,870	0.83	12,472,910	0.41	9
5	Independence Green Apts	28,150,040	0.66	12,583,400	0.41	8
6	FH Corporate Investors (Kojaian)	26,868,250	0.63	22,274,220	0.73	5
7	Green Hill Apts	20,708,050	0.49	17,200,840	0.56	6
8	Nissan Corp	19,376,020	0.46	27,629,060	0.90	4
9	FREG Farmington Hills	16,891,110	0.40	9,951,850	0.33	N/A
10	LREH	16,489,040	0.39		N/A	N/A

Source: City Assessing Department Records

**City of Farmington Hills  
Property Tax Levies and Collections  
Last Ten Fiscal Years  
(Unaudited)**

Fiscal Year	Total Levy (1)		Collections	Percent Collected	Delinquent Collections		Total Tax Collections	Percent of Levy Collected		
					(Real)					
2014	\$	37,629,773	\$	36,922,255	98.12%	\$	650,236	\$	37,572,491	99.85%
2015		37,756,272		37,247,698	98.65%		464,793		37,712,491	99.88%
2016		44,773,169		44,164,096	98.64%		563,701		44,727,797	99.90%
2017		44,753,190		44,190,157	98.74%		525,565		44,715,722	99.92%
2018		46,939,639		46,311,617	98.66%		585,082		46,896,699	99.91%
2019		48,336,062		47,730,339	98.75%		556,469		48,286,808	99.90%
2020		59,410,292		58,585,869	98.61%		731,998		59,317,867	99.84%
2021		61,140,114		60,420,160	98.82%		644,250		61,064,410	99.88%
2022		62,882,476		62,230,047	98.96%		554,277		62,784,324	99.84%
2023		65,955,776		65,199,295	98.85%		648,934		65,848,229	99.84%

(1) Does not include penalty and interest on late payment of taxes.

Source: City Treasurer's Office records

**City of Farmington Hills**  
**Ratios of Outstanding Debt**  
**Last Ten Fiscal Years**  
**(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Governmental Activities:</b>										
General obligation bonds	\$ 15,237,784	\$ 13,375,000	\$ 12,240,000	\$ 10,870,000	\$ 9,380,000	\$ 31,940,000	\$ 30,775,000	\$ 28,370,000	\$ 25,995,000	\$ 32,280,000
Special assessment bonds	2,135,000	1,860,000	11,290,000	11,020,000	10,100,000	9,110,000	7,585,000	6,845,000	6,050,000	6,950,000
Total governmental activities	<u>17,372,784</u>	<u>15,235,000</u>	<u>23,530,000</u>	<u>21,890,000</u>	<u>19,480,000</u>	<u>41,050,000</u>	<u>38,360,000</u>	<u>35,215,000</u>	<u>32,045,000</u>	<u>39,230,000</u>
<b>Business-type Activities:</b>										
County contractual obligations	<u>16,982,242</u>	<u>19,524,676</u>	<u>30,610,124</u>	<u>34,018,350</u>	<u>31,558,439</u>	<u>30,079,769</u>	<u>28,552,514</u>	<u>25,524,019</u>	<u>26,529,960</u>	<u>32,888,963</u>
<b>Total Debt of the Government</b>	<b>\$ 34,355,026</b>	<b>\$ 34,759,676</b>	<b>\$ 54,140,124</b>	<b>\$ 55,908,350</b>	<b>\$ 51,038,439</b>	<b>\$ 71,129,769</b>	<b>\$ 66,912,514</b>	<b>\$ 60,739,019</b>	<b>\$ 58,574,960</b>	<b>\$ 72,118,963</b>
<b>Total Taxable Value</b>	\$ 3,045,845,690	\$ 3,056,161,960	\$ 3,129,873,560	\$ 3,128,101,950	\$ 3,208,788,930	\$ 3,316,996,180	\$ 3,460,236,390	\$ 3,597,598,090	\$ 3,730,452,020	\$ 3,980,448,670
<b>Ratio of Total Debt to Taxable Value</b>	1.13%	1.14%	1.73%	1.79%	1.59%	2.14%	1.93%	1.69%	1.57%	1.81%
<b>Total Population</b>	81,798	81,910	81,412	81,803	81,129	81,093	80,612	83,986	83,292	82,737
<b>Total Debt per Capita</b>	\$ 420	\$ 424	\$ 665	\$ 683	\$ 629	\$ 877	\$ 830	\$ 723	\$ 703	\$ 872
<b>Personal Income</b>	\$ 2,356,493,265	\$ 2,382,461,814	\$ 2,370,596,289	\$ 2,367,002,730	\$ 2,317,845,555	\$ 2,349,102,738	\$ 2,757,410,271	\$ 2,828,780,496	\$ 2,963,545,056	\$ 3,328,866,552
<b>Ratio of Debt to Personal Income</b>	1.46%	1.46%	2.28%	2.36%	2.20%	3.03%	2.43%	2.15%	1.98%	2.17%

Source: City Annual Financial Statements: Population data reported from demographics data.

**City of Farmington Hills**  
**Ratios of General Bonded Debt Outstanding**  
**Last Ten Fiscal Years**  
**(Unaudited)**

Fiscal Year Ended June 30	Advalorem + IFT Assessed Value (SEV)	Estimated Population	General Bonded Debt Outstanding	Obligation Debt to Assessed Value (Percent)	General Obligation Debt per Capita
2014	\$ 3,260,293,240	81,798	\$ 15,521,374	0.50%	189.75
2015	3,555,094,530	81,910	13,772,393	0.42%	168.14
2016	3,752,944,510	81,412	12,492,161	0.35%	153.44
2017	3,975,835,450	81,803	11,216,930	0.30%	137.12
2018	4,151,773,160	81,129	9,701,699	0.24%	119.58
2019	4,407,606,380	81,093	8,015,000	0.19%	98.84
2020	4,652,525,100	80,612	30,500,000	0.69%	378.36
2021	4,908,706,890	83,986	27,095,000	0.55%	322.61
2022	5,237,966,510	83,292	25,995,000	0.50%	312.09
2023	5,722,759,540	82,737	32,280,000	0.56%	390.15

Note: General bonded debt - Includes General Obligation and Building Authority Bonds.

Note: As of 2011, General Bonded Debt includes General Obligation Bonds for the Ice Arena.

The debt service requirements of all remaining debt are currently funded through revenue sources other than property taxes.

**City of Farmington Hills**  
**Direct and Overlapping Governmental Activities Debt**  
**June 30, 2023**  
**(Unaudited)**

Jurisdiction	Net General Bonded Debt Outstanding	Percent Applicable to Farmington Hills Taxpayers	Amount Applicable to Farmington Hills Taxpayers
Direct Debt - City of Farmington Hills	\$ 25,995,000	100.00%	\$ 25,995,000
Overlapping debt:			
Farmington School District	173,975,000	86.69%	150,818,928
Walled Lake School District	313,745,000	2.96%	9,286,852
Oakland County at Large	181,894,707	5.78%	10,513,514
Oakland County Intermediate School District	39,675,000	5.81%	2,305,118
Oakland Community College	-	- %	-
Schoolcraft Community College	50,820,000	0.64%	325,248
Total overlapping debt	760,109,707		173,249,660
Total direct and overlapping debt	<u>\$ 786,104,707</u>		<u>\$ 199,244,660</u>

Note: Direct debt - For the purpose of this schedule, direct debt is defined as all Governmental Activities bonded debt less deferred amounts.

Source: City Records and the Municipal Advisory Council of Michigan

**City of Farmington Hills  
Legal Debt Margins  
Last Ten Fiscal Years  
(Unaudited)**

	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Debt Limit (Fiscal Year Ended) (1)</b>										
State equalized valuation (previous year)	\$ 3,087,553,500	\$ 3,260,293,240	\$ 3,555,094,530	\$ 3,752,944,510	\$ 3,975,835,450	\$ 4,151,733,160	\$ 4,652,525,100	\$ 4,908,706,890	\$ 5,237,966,510	\$ 5,722,759,540
Debt limit (10 percent of SEV) (2)	308,755,350	326,029,324	355,509,453	375,294,451	397,583,545	415,173,316	465,252,510	490,870,689	523,796,651	572,275,954
<b>Debt Applicable to Debt Limit</b>										
Total bonded debt	34,355,026	34,759,676	54,140,124	55,908,350	51,038,439	71,129,769	66,912,514	60,739,019	58,574,960	72,118,963
Less deductions allowed by law:										
Special Assessment Bonds	2,135,000	1,860,000	11,290,000	11,020,000	10,100,000	9,110,000	7,585,000	6,845,000	6,050,000	6,950,000
<b>Total amount of debt applicable to debt limit</b>	<u>32,220,026</u>	<u>32,899,676</u>	<u>42,850,124</u>	<u>44,888,350</u>	<u>40,938,439</u>	<u>62,019,769</u>	<u>59,327,514</u>	<u>53,894,019</u>	<u>52,524,960</u>	<u>65,168,963</u>
<b>Legal Debt Margin</b>	<u>\$ 276,535,324</u>	<u>\$ 293,129,648</u>	<u>\$ 312,659,329</u>	<u>\$ 330,406,101</u>	<u>\$ 356,645,106</u>	<u>\$ 353,153,547</u>	<u>\$ 405,924,996</u>	<u>\$ 436,976,670</u>	<u>\$ 471,271,691</u>	<u>\$ 507,106,991</u>
<b>Net Debt Subject to Limit as Percentage of Debt Limit</b>	10.44%	10.09%	12.05%	11.96%	10.30%	14.94%	12.75%	10.98%	10.03%	11.39%

(1) The legal debt limit continues to be derived from State Equalized Value (SEV), not Taxable Value (TV).

(2) Debt limit set forth in Section 4a, Act 279 of 1909 and Act 202, P.A. 1943 as amended by Act 42 P.A. 1960

Source: City budget and financial statements

**City of Farmington Hills  
Demographic and Economic Statistics  
Last Ten Fiscal Years  
(Unaudited)**

Fiscal year	Population		Median Personal		Unemployment Rate	Number of Occupied Households	Total Personal Income
			Income Per Household	Median Per Capita Personal Income			
2014	81,798	(1)	\$ 67,803	\$ 28,809	7.6%	34,755	\$ 2,356,493,265
2015	81,910	(1)	67,803	29,086	5.6%	35,138	2,382,461,814
2016	81,412	(1)	67,803	29,119	5.1%	34,963	2,370,596,289
2017	81,803	(1)	67,803	28,935	3.6%	34,910	2,367,002,730
2018	81,129	(1)	67,803	28,570	3.9%	34,185	2,317,845,555
2019	81,093	(1)	67,803	28,968	4.0%	34,646	2,349,102,738
2020	80,612	(1)	81,203	44,789	16.3%	33,957	2,757,410,271
2021	83,986	(2)	83,268	45,494	2.3%	33,972	2,828,780,496
2022	83,292	(2)	85,152	50,082	2.9%	34,803	2,963,545,056
2023	82,737	(2)	93,434	50,287	2.2%	35,628	3,328,866,552

Note: Personal income is equal to the median household income and only available per the decennial census data/American Factfinder/ SEMCOG

(1) U.S. Department of Commerce/Labor, Bureau of Labor Statistics/SEMCOG

(2) <https://www.census.gov/quickfacts/farmingtonhillscitymichigan>

**City of Farmington Hills**  
**Principal Employers**  
**June 30, 2023**  
**(Unaudited)**

---

Employer	2023 Employees	Percentage of Total	2014 Employees	Percentage of Total	2014 Rank
1 Mercedes-Benz	1,460	2.18%	600	1.49%	7
2 Beaumont Hospital - Farmington Hills (1)	1,336	2.00%	2,746	6.80%	1
3 Farmington Public Schools	1,200	1.80%	1,418	3.51%	3
4 Trinity Health	1,200	1.80%	N/A	N/A	N/A
5 TD Auto Finance	1,188	1.78%	N/A	N/A	N/A
6 ZF TRW	829	1.24%	N/A	N/A	N/A
7 Robert Bosch Corporation	650	0.97%	1,600	3.96%	2
8 Nissan Technical Center	800	1.20%	500	1.24%	10
9 Panasonic	608	0.91%	N/A	N/A	N/A
10 Judson Center	529	0.79%	N/A	N/A	N/A

Source: City Records, Individual Employers and United States Census Bureau

(1) In 2013, was Botsford Hospital

**City of Farmington Hills**  
**Full-time Equivalent Government Employees**  
**Last Ten Fiscal Years**  
**(Unaudited)**

Function/Program	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>General Government</b>										
City administration	5.50	6.00	6.00	6.00	5.10	4.79	4.65	5.65	5.65	5.70
Finance	19.00	20.00	20.00	20.00	20.09	20.09	20.00	20.00	20.50	20.50
City clerk	6.65	6.31	6.34	6.35	6.20	6.28	6.78	6.38	6.81	6.87
Human resources	4.00	4.00	4.00	4.14	4.14	4.14	4.14	5.40	6.40	6.40
Central services	9.40	9.40	9.40	9.40	9.90	9.90	9.97	10.88	10.88	10.88
<b>Public Safety</b>										
Police	152.88	153.88	154.14	153.79	153.74	152.79	153.47	154.22	160.22	163.22
Fire and EMS	93.63	93.63	93.63	91.70	93.92	91.69	92.81	93.99	95.99	103.99
<b>Public Services</b>										
Administration	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00
Road maintenance	22.46	23.46	26.92	26.92	27.92	26.46	26.49	27.49	26.81	26.81
Building maintenance	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00	4.00
Engineering	15.31	15.31	15.31	15.39	15.32	15.32	15.99	17.47	17.28	17.28
D.P.W. garage	11.00	12.00	13.00	13.00	12.00	11.60	10.60	10.60	10.60	10.75
Waste collection/recycling	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00
<b>Planning and Community</b>										
<b>Development</b>	18.60	18.00	19.00	19.04	19.37	19.50	19.50	20.00	20.00	20.00
<b>Special Services</b>										
Administration	20.95	20.98	21.15	20.55	22.25	22.00	23.00	39.10	42.64	40.49
Public information	4.00	4.00	4.00	6.10	6.10	6.10	5.50	5.50	6.00	8.50
Youth and families	8.00	8.00	9.56	9.73	9.73	9.73	9.73	7.88	9.73	-
Senior adults	27.53	27.53	26.13	26.13	26.16	26.25	27.01	27.96	27.08	27.08
Parks division	24.87	24.87	25.83	25.70	25.59	24.92	26.92	26.55	26.17	26.17
Cultural arts	2.75	3.40	3.47	3.47	3.47	3.47	3.47	6.41	7.04	16.77
Golf course division	13.17	13.01	13.57	13.46	13.41	13.43	13.43	12.88	12.88	12.88
Recreation	-	10.32	11.81	11.69	12.05	12.92	13.15	33.36	48.30	48.30
Ice arena	14.13	14.13	12.66	13.16	13.41	13.16	13.66	13.66	13.66	16.66
<b>Total</b>	<u>482.83</u>	<u>497.23</u>	<u>504.92</u>	<u>504.72</u>	<u>508.87</u>	<u>503.54</u>	<u>509.27</u>	<u>554.38</u>	<u>583.64</u>	<u>598.25</u>

Source: City personnel/budget records

**City of Farmington Hills  
Operating Indicators  
Last Ten Fiscal Years  
(Unaudited)**

Function/Program	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Police:</b>										
Physical Arrests	3,002	3,016	2,486	2,805	2,830	2,692	1,579	1,750	1,819	2,899
Traffic violations	10,441	9,305	7,606	8,861	9,000	9,593	6,833	5,696	8,342	12,123
<b>Fire:</b>										
Total incidents	8,539	8,763	9,027	9,208	9,524	9,500	10,383	10,920	11,354	12,250
Public education programs	98	104	112	112	140	140	128	130	55	95
Fire loss	\$ 3,901,800	\$ 4,200,900	\$ 2,719,603	\$ 2,830,913	\$ 8,577,000	\$ 3,888,500	\$3,229,451	\$3,753,450	\$2,298,561	\$7,500,000
<b>Public works:</b>										
Dwelling units receiving refuse service	23,227	23,320	23,329	23,343	23,356	23,372	23,393	23,452	23,467	23,493
Percentage of waste stream recycled	44.20	43.40	44.00	39.40	42.00	42.00	40.00	40.00	36.80	36.00
<b>Parks and recreation:</b>										
Recreation programs	2,630	2,640	2,660	2,670	2,690	2,714	2,735	2,850	2,860	2,905
<b>Water:</b>										
Water customers	22,768	22,838	22,910	22,982	22,966	23,094	23,101	23,151	23,185	23,205
Water main breaks	81	52	40	53	47	39	49	68	74	71
Total consumption (mcf)	400,658	351,872	370,493	391,749	371,701	340,512	339,627	365,736	364,353	347,516
Average consumption per user (mcf/year)	17.60	15.41	16.17	17.05	16.18	14.75	14.70	15.80	15.72	14.98
<b>Sewer:</b>										
Average consumption per user (mcf/year)	15.69	17.01	17.06	18.36	18.12	18.75	18.76	17.60	18.33	15.53
Metered Volume (mcf)	352,562	383,701	385,851	416,257	410,961	426,641	427,282	401,646	418,967	355,362
Sewer customers	22,473	22,553	22,618	22,667	22,684	22,756	22,771	22,820	22,858	22,878

Source: City records, Department annual reports, and Oakland County Water Resources Commissioner's Office

**City of Farmington Hills  
Capital Asset Statistics  
Last Ten Fiscal Years  
(Unaudited)**

Function/ program	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023
<b>Police:</b>										
Stations	1	1	1	1	1	1	1	1	1	1
Fleet vehicles	67	67	68	69	69	69	72	66	74	73
<b>Fire:</b>										
Stations	5	5	5	5	5	5	5	5	5	5
Trucks (4)	17	18	18	17	16	16	16	16	17	17
<b>Public Works - Streets (miles)</b>										
Major	58.36	58.36	58.36	58.36	58.36	58.36	58.36	58.36	58.36	58
Local	246.38	246.38	246.38	246.38	246.38	246.87	246.87	246.87	246.87	247
<b>Parks and recreation:</b>										
Acreage	636	636	636	636	636	636	669	669	669	669
Playgrounds	4	4	4	6	6	6	6	6	6	6
Football/Soccer fields (2)	19	19	19	19	19	19	19	19	19	19
Baseball/Softball diamonds (3)	12	12	12	12	12	12	13	13	13	13
Pools/Splash pads	2	2	2	2	2	2	3	4	4	4
Ice arena	1	1	1	1	1	1	1	1	1	1
Community center	0	0	0	0	0	1	2	2	2	2
Senior center	1	1	1	1	1	1	1	1	1	1
Golf course	1	1	1	1	1	1	1	1	1	1
<b>Water:</b>										
Mains (miles)	449	456	456	457	459	459	459	470	471	475
Fire hydrants	5,103	5,115	5,126	5,156	5,169	5,169	5,169	5,230	5,250	5,305
Storage capacity (gallons)	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000	3,000,000
<b>Sewer:</b>										
Miles of sanitary sewers	328	328	329	329	329	329	330	330	330	330
Treatment capacity	(1)	(1)	(1)	(1)	(1)	(1)	(1)	(1)	(1)	(1)

Source: City records, department annual reports, and Oakland County Drain Commission

(1) Information not available

(2) Plus the City maintains 31 football/soccer fields for other entities.

(3) Plus the City maintains 30 baseball/softball diamonds for other entities.

(4) Plus 18 other vehicles and equipment.

December 4, 2023

City Council and Management  
City of Farmington Hills  
Farmington Hills, MI

We have audited the financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of City of Farmington Hills (the City) as of and for the year ended June 30, 2023. Professional standards require that we provide you with information about our responsibilities under generally accepted auditing standards, *Government Auditing Standards* and the Uniform Guidance, as well as certain information related to the planned scope and timing of our audit. We have communicated such information in our engagement letter to you dated June 1, 2023. Professional standards also require that we communicate to you the following information related to our audit.

We discussed these matters with various personnel in the City during the audit including management. We would also be pleased to meet with you to discuss these matters at your convenience.

## **Significant Audit Matters**

### **Qualitative Aspects of Accounting Practices**

Management is responsible for the selection and use of appropriate accounting policies. The significant accounting policies used by the City are described in the footnotes of the financial statements. The City has adopted the following Governmental Accounting Standards Board Statements effective July 1, 2022:

- Statement No. 96, *Subscription-Based Information Technology Arrangements* is based on the standards established in Statement No. 87 *Leases*. This statement (1) defines a SBITA as a contract that conveys control of the right to use a SBITA vendor's IT software, alone or in combination with tangible capital assets, as specified in the contract for a period of time in an exchange or exchange-like transaction (2) requires governments with SBITAs to recognize a right-to-use subscription asset, an intangible asset, and a corresponding subscription liability, and (3) provides guidance related to outlays other than subscription payments, including implementation costs, and requirements for note disclosures related to a SBITA.

We noted no transactions entered into by the City during the year for which there is lack of authoritative guidance or consensus. All significant transactions have been recognized in the financial statements in the proper period.

Accounting estimates are an integral part of the financial statements prepared by management and are based on management's knowledge and experience about past and current events and assumptions about future events. Certain accounting estimates are particularly sensitive because of their significance to the financial statements and because of the possibility that future events affecting them may differ significantly from those expected. The most sensitive estimates affecting the City's financial statements were:

- The useful lives of its capital assets. Useful lives are estimated based on the expected length of time during which the asset is able to deliver a given level of service.
- Net pension liability, and related deferred outflows of resources and deferred inflows of resources. The estimate is based on an actuarial report.

- Net other postemployment benefits (OPEB) asset, and related deferred outflows of resources and deferred inflows of resources. The estimate is based on an actuarial report.
- Allowance for doubtful accounts. Management's estimate is based on the judgement of collectability and aging of the accounts receivable balances.

We evaluated the key factors and assumptions used to develop these estimates in determining that they are reasonable in relation to the financial statements taken as a whole.

Disclosures in the financial statements are neutral, consistent and clear.

A significant risk is an identified and assessed risk of material misstatement that, in the auditors' professional judgment, requires special audit consideration. Within our audit, we focused on the following areas:

- Management override of controls
- Improper revenue recognition
- Implementation of new accounting standard

### **Accounting Standards and Regulatory Updates**

The Governmental Accounting Standards Board has released additional Statements. Details regarding these Statements are described in the footnotes of the financial statements.

Implementation Guide No 2021-1, *Implementation Guidance Update-2021* has an amended response related to the capitalization of assets purchased as a group. Under the amended guidance, governments *should* capitalize individual items when the purchase in the aggregate is considered significant, even if the individual items are less than the capitalization threshold of the government. The effective date for implementation is for reporting periods beginning after June 15, 2023 (effectively, for the first year ended June 30, 2024 or later) and requires retroactive implementation.

### **Difficulties Encountered in Performing the Audit**

We encountered no significant difficulties in dealing with management in performing and completing our audit.

### **Corrected and Uncorrected Misstatements**

Professional standards require us to accumulate all known and likely misstatements identified during the audit, other than those that are clearly trivial and communicate them to the appropriate level of management. Management has corrected all such misstatements.

The following material misstatements were detected as a result of our audit procedures and corrected by management:

- The City's Major Roads and Local Roads funds required an adjustment of \$696,296 and \$242,149, respectively, to account for Act 51 revenue accruals.

There were no known uncorrected misstatements that were more than trivial.

### **Disagreements with Management**

For purposes of this letter, a disagreement with management is a financial accounting, reporting, or auditing matter, whether or not resolved to our satisfaction, that could be significant to the financial statements or the auditors' report. We are pleased to report that no such disagreements arose during the course of our audit.

## **Management Representations**

We have requested certain representations from management that are included in the management representation letter dated as of the date of the audit report.

## **Management’s Consultations with Other Accountants**

In some cases, management may decide to consult with other accountants about auditing and accounting matters, similar to obtaining a “second opinion” on certain situations. If a consultation involves application of an accounting principle to the City’s financial statements or a determination of the type of auditors’ opinion that may be expressed on those statements, our professional standards require the consulting accountant to check with us to determine that the consultant has all the relevant facts. To our knowledge, there were no such consultations with other accountants.

## **Other Audit Findings or Issues**

We generally discuss a variety of matters, including the application of accounting principles and auditing standards, with management each year prior to retention as the City’s auditors. However, these discussions occurred in the normal course of our professional relationship and our responses were not a condition to our retention.

## **Emphasis of Matters in Independent Auditors’ Report**

Our report will include the following emphasis of matter paragraph:

### **Adoption of New Accounting Standard**

As discussed in Note 16 to the financial statements, during the year ended June 30, 2023 the City adopted new accounting guidance, GASB Statement No. 96, *Subscription-Based Information Technology Arrangements*. Our opinions are not modified with respect to this matter.

## **Other Reports**

Other information that is required to be reported to you is included in the: Independent Auditors’ Report on Internal Control Over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance with *Government Auditing Standards*; Independent Auditors’ Report on Compliance For Each Major Federal Program; Independent Auditors’ Report on Internal Control Over Compliance; Independent Auditors’ Report on Schedule of Expenditures of Federal Awards Required by the Uniform Grant Guidance; and the Schedule of Findings and Questioned Costs. Please read all information included in those reports to ensure you are aware of relevant information.

## **Report on Required Supplementary Information**

We applied certain limited procedures to management’s discussion and analysis and the remaining required supplementary information (RSI) as described in the table of contents of the financial statements that supplements the basic financial statements. Our procedures consisted of inquiries of management regarding the methods of preparing the information and comparing the information for consistency with management’s responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We did not audit the RSI and do not express an opinion or provide any assurance on the RSI.

## **Report on Other Supplementary Information**

We were engaged to report on other supplementary information as described in the table of contents of the financial statements, which accompany the financial statements but are not RSI. With respect to this supplementary information, we made certain inquiries of management and evaluated the form, content, and methods of preparing the information to determine that the information complies with accounting principles

generally accepted in the United States of America, the method of preparing it has not changed from the prior period, and the information is appropriate and complete in relation to our audit of the financial statements. We compared and reconciled the supplementary information to the underlying accounting records used to prepare the financial statements or to the financial statements themselves.

### **Annual Comprehensive Financial Report**

The City's audited financial statements are included in their annual comprehensive financial report. Our responsibility for the other information contained in the annual comprehensive financial report does not extend beyond the financial information identified in our audit report. We do not have an obligation to perform any procedures to corroborate the other information contained in the introductory section and statistical section. However, we read the other information and considered whether such information, or the manner of its presentation, was materially inconsistent with information, or the manner of its presentation, appearing in the financial statements. Nothing came to our attention that caused us to believe that such information, or its manner of presentation, was materially inconsistent with the information, or manner of its presentation, appearing in the financial statements.

### **Restriction on Use**

This information is intended solely for the information and use of the City Council and management of the City and is not intended to be, and should not be, used by anyone other than these specified parties.

*Yeo & Yeo, P.C.*

Auburn Hills, Michigan

**City of Farmington Hills**

**Single Audit**

**June 30, 2023**



**YEO & YEO**

**BUSINESS SUCCESS  
PARTNERS**

## Table of Contents

	<b>Page</b>
Report on Internal Control Over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance with <i>Government Auditing Standards</i>	1
Report on Compliance for Each Major Federal Program; Report on Internal Control Over Compliance; and Report on Schedule of Expenditures of Federal Awards Required by the Uniform Guidance	3
Schedule of Expenditures of Federal Awards	6
Notes to the Schedule of Expenditures of Federal Awards	8
Schedule of Findings and Questioned Costs	9
Summary Schedule of Prior Audit Findings	11
Corrective Action Plan	12



# **Report on Internal Control Over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance With *Government Auditing Standards***

## **Independent Auditors' Report**

Management and the City Council  
City of Farmington Hills  
Farmington Hills, Michigan

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States, the financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of the City of Farmington Hills, as of and for the year ended June 30, 2023, and the related notes to the financial statements, which collectively comprise the City of Farmington Hills' basic financial statements, and have issued our report thereon dated December 4, 2023.

### **Report on Internal Control Over Financial Reporting**

In planning and performing our audit of the financial statements, we considered the City of Farmington Hills' (the "City") internal control over financial reporting (internal control) as a basis for designing audit procedures that are appropriate in the circumstances for the purpose of expressing our opinions on the financial statements, but not for the purpose of expressing an opinion on the effectiveness of the City of Farmington Hills' internal control. Accordingly, we do not express an opinion on the effectiveness of the City of Farmington Hills' internal control.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected, on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies and therefore, material weaknesses or significant deficiencies may exist that were not identified. We identified a certain deficiency in internal control, described in the accompanying schedule of findings and questioned costs as item 2023-001 that we consider to be a material weakness.

## Report on Compliance and Other Matters

As part of obtaining reasonable assurance about whether the City's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts, and grant agreements, noncompliance with which could have a direct and material effect on the financial statements. However, providing an opinion on compliance with those provisions was not an objective of our audit, and accordingly, we do not express such an opinion. The results of our tests disclosed no instances of noncompliance or other matters that are required to be reported under *Government Auditing Standards*.

## City of Farmington Hills' Response to Findings and Corrective Action Plan

*Government Auditing Standards* requires the auditor to perform limited procedures on the City's response to the finding identified in our audit and described in the accompanying schedule of findings and questioned costs. The City's response was not subjected to the other auditing procedures applied in the audit of the financial statements and, accordingly, we express no opinion on the response.

The City is responsible for preparing a corrective action plan to address each audit finding included in our auditors' report. The City's corrective action plan was not subjected to the auditing procedures applied in the audit of compliance and, accordingly, we express no opinion on it.

## Purpose of this Report

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the entity's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the entity's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

*Yeo & Yeo, P.C.*

Auburn Hills, Michigan  
December 4, 2023



## **Report on Compliance for Each Major Federal Program; Report on Internal Control Over Compliance; and Report on Schedule of Expenditures of Federal Awards Required by the Uniform Guidance**

### **Independent Auditors' Report**

Management and the City Council  
City of Farmington Hills  
Farmington Hills, Michigan

#### **Report on Compliance for Each Major Federal Program**

##### **Opinion on Each Major Federal Program**

We have audited the City of Farmington Hills' (the "City") compliance with the types of compliance requirements identified as subject to audit in the *OMB Compliance Supplement* that could have a direct and material effect on each of the City's major federal programs for the year ended June 30, 2023. The City's major federal programs are identified in the summary of auditors' results section of the accompanying schedule of findings and questioned costs.

In our opinion, the City complied, in all material respects, with the compliance requirements referred to above that could have a direct and material effect on each of its major federal programs for the year ended June 30, 2023.

##### **Basis for Opinion on Each Major Federal Program**

We conducted our audit of compliance in accordance with auditing standards generally accepted in the United States of America (GAAS); the standards applicable to financial audits contained in *Government Auditing Standards* issued by the Comptroller General of the United States; and the audit requirements of Title 2 *U.S. Code of Federal Regulations Part 200, Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards* (Uniform Guidance). Our responsibilities under those standards and the Uniform Guidance are further described in the Auditors' Responsibilities for the Audit of Compliance section of our report.

We are required to be independent of the City and to meet our other ethical responsibilities, in accordance with relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our opinion on compliance for each major federal program. Our audit does not provide a legal determination of the City's compliance with the compliance requirements referred to above.

## Responsibilities of Management for Compliance

Management is responsible for compliance with the requirements referred to above and for the design, implementation, and maintenance of effective internal control over compliance with the requirements of laws, statutes, regulations, rules, and provisions of contracts or agreements applicable to the City's federal programs.

## Auditors' Responsibilities for the Audit of Compliance

Our objectives are to obtain reasonable assurance about whether material noncompliance with the compliance requirements referred to above occurred, whether due to fraud or error, and express an opinion on the City's compliance based on our audit. Reasonable assurance is a high level of assurance but is not absolute assurance and therefore is not a guarantee that an audit conducted in accordance with GAAS, *Government Auditing Standards*, and the Uniform Guidance will always detect material noncompliance when it exists. The risk of not detecting material noncompliance resulting from fraud is higher than for that resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Noncompliance with the compliance requirements referred to above is considered material if there is a substantial likelihood that, individually or in the aggregate, it would influence the judgment made by a reasonable user of the report on compliance about the City's compliance with the requirements of each major federal program as a whole.

In performing an audit in accordance with GAAS, *Government Auditing Standards*, and the Uniform Guidance, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material noncompliance, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the City's compliance with the compliance requirements referred to above and performing such other procedures as we considered necessary in the circumstances.
- Obtain an understanding of the City's internal control over compliance relevant to the audit in order to design audit procedures that are appropriate in the circumstances and to test and report on internal control over compliance in accordance with the Uniform Guidance, but not for the purpose of expressing an opinion on the effectiveness of the City's internal control over compliance. Accordingly, no such opinion is expressed.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit and any significant deficiencies and material weaknesses in internal control over compliance that we identified during the audit.

## Report on Internal Control over Compliance

A *deficiency in internal control over compliance* exists when the design or operation of a control over compliance does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, noncompliance with a type of compliance requirement of a federal program on a timely basis. A *material weakness in internal control over compliance* is a deficiency, or combination of deficiencies, in internal control over compliance, such that there is a reasonable possibility that material noncompliance with a type of compliance requirement of a federal program will not be prevented, or detected and corrected, on a timely basis. A *significant deficiency in internal control over compliance* is a deficiency, or a combination of deficiencies, in internal control over compliance with a type of compliance requirement of a federal

program that is less severe than a material weakness in internal control over compliance, yet important enough to merit attention by those charged with governance.

Our consideration of internal control over compliance was for the limited purpose described in the Auditors' Responsibilities for the Audit of Compliance section above and was not designed to identify all deficiencies in internal control over compliance that might be material weaknesses or significant deficiencies in internal control over compliance. Given these limitations, during our audit we did not identify any deficiencies in internal control over compliance that we consider to be material weaknesses, as defined above. However, material weaknesses or significant deficiencies in internal control over compliance may exist that were not identified.

Our audit was not designed for the purpose of expressing an opinion on the effectiveness of internal control over compliance. Accordingly, no such opinion is expressed.

The purpose of this report on internal control over compliance is solely to describe the scope of our testing of internal control over compliance and the results of that testing based on the requirements of the Uniform Guidance. Accordingly, this report is not suitable for any other purpose.

### **Report on Schedule of Expenditures of Federal Awards Required by the Uniform Guidance**

We have audited the financial statements of the governmental activities, the business-type activities, the aggregate discretely presented component units, each major fund, and the aggregate remaining fund information of the City, as of and for the year ended June 30, 2023, and the related notes to the financial statements, which collectively comprise the City's basic financial statements. We issued our report thereon dated December 4, 2023, which contained unmodified opinions on those financial statements. Our audit was performed for the purpose of forming opinions on the financial statements that collectively comprise the basic financial statements. The accompanying schedule of expenditures of federal awards is presented for purposes of additional analysis as required by the Uniform Guidance and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the basic financial statements. The information has been subjected to the auditing procedures applied in the audit of the financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the basic financial statements or to the basic financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the schedule of expenditures of federal awards is fairly stated in all material respects in relation to the basic financial statements as a whole.

*Yeo & Yeo, P.C.*

Auburn Hills, Michigan  
December 4, 2023

**City of Farmington Hills**  
**Schedule of Expenditures of Federal Awards**  
**For the Year Ended June 30, 2023**

Federal Grantor Pass-Through Grantor Program or Cluster Title	Assistance Listing Number	Federal or Pass-Through Grant Number	Federal Expenditures	Current Year Cash Transferred To Subrecipients
<b>U.S. Department of Housing and Urban Development</b>				
CDBG Entitlement Grants Cluster				
Community Development Block Grant Entitlement 2018	14.218	B-18-MC-26-0032	\$ 125,748	\$ -
Community Development Block Grant Entitlement 2019	14.218	B-19-MC-26-0032	62,175	-
Community Development Block Grant Entitlement 2020	14.218	B-20-MC-26-0032	201,432	-
Community Development Block Grant Entitlement 2021	14.218	B-21-MC-26-0032	197,915	-
Community Development Block Grant Entitlement 2022	14.218	B-22-MC-26-0032	210,418	42,500
COVID-19 - Community Development Block Grant (CDBG)	14.218	B-20-MC-26-0032	10,949	-
Program Income - program Year 2021 carry over	14.218	N/A	89,132	-
Program Income - program Year 2022	14.218	N/A	<u>153,377</u>	<u>-</u>
Total CDBG Entitlement Grants Cluster			<u>1,051,146</u>	<u>42,500</u>
<b>U.S. Department of Justice</b>				
Federal Equitable Sharing Program	16.922	N/A	<u>120,820</u>	<u>-</u>
<b>U.S. Department of Treasury</b>				
Coronavirus Relief Funds				
Direct Programs				
COVID-19 - Coronavirus State and Local Fiscal Recovery Funds	21.027	1505-0271	<u>4,052,390</u>	<u>-</u>
<b>National Endowment for the Arts</b>				
Passed through Michigan Council for Arts and Cultural Affairs				
Promotion of the Arts Partnership Agreement	45.025	22PS4632	<u>2,250</u>	<u>-</u>
<b>U.S Election Assistance Commission</b>				
Passed through Michigan Department of State				
Help America Vote (HABA) Election Security Grant	90.404	N/A	<u>16,918</u>	<u>-</u>

See Accompanying Notes to the Schedule of Expenditures of Federal Awards

**City of Farmington Hills**  
**Schedule of Expenditures of Federal Awards**  
**For the Year Ended June 30, 2023**

Federal Grantor Pass-Through Grantor Program or Cluster Title	Assistance Listing Number	Federal or Pass-Through Grant Number	Federal Expenditures	Current Year Cash Transferred To Subrecipients
<b>U.S. Department of Health and Human Services</b>				
Passed through Area Agency on Aging				
Aging Cluster				
Special Programs for the Aging - Title III Part C - Nutrition Services	93.045	21-9018-CH	\$ 31,830	\$ -
Special Programs for the Aging - Title III Part C - Nutrition Services	93.045	22-9018-CH	<u>121,611</u>	<u>-</u>
Total Special Programs for the Aging - Title III Part C - Nutrition Services			<u>153,441</u>	<u>-</u>
Nutrition Services Incentive Program	93.053	21-9018-CH	29,921	-
Nutrition Services Incentive Program	93.053	22-9018-CH	<u>52,604</u>	<u>-</u>
Total Nutrition Services Incentive Program			<u>82,525</u>	<u>-</u>
Total Aging Cluster			<u>235,966</u>	<u>-</u>
<b>U.S. Office of National Drug Control Policy</b>				
Passed through Oakland County				
High Intensity Drug Trafficking Area	95.001	2023	<u>6,100</u>	<u>-</u>
<b>U.S. Department of Homeland Security</b>				
Direct Program				
COVID-19 - Farmington Hills COVID Activities	97.036	PA-05-MI-4494-PW-00189	<u>83,151</u>	<u>-</u>
<b>Total Expenditures of Federal Awards</b>			<u>\$ 5,568,741</u>	<u>\$ 42,500</u>

See Accompanying Notes to the Schedule of Expenditures of Federal Awards

**City of Farmington Hills**  
**Notes to the Schedule of Expenditures of Federal Awards**  
**June 30, 2023**

---

**Note 1 - Basis of Presentation**

The accompanying schedule of expenditures of federal awards (the Schedule) includes the federal award activity of the City under programs of the federal government for the year ended June 30, 2023. The information in this Schedule is presented in accordance with the requirements of Title 2 U.S. Code of Federal Regulations Part 200, *Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards* (Uniform Guidance). Because the Schedule presents only a selected portion of the operations of the City, it is not intended to and does not present the financial position, changes in net position, or cash flows of the City.

**Note 2 - Summary of Significant Accounting Policies**

**Expenditures**

Expenditures reported on the Schedule are reported on the accrual or modified accrual basis of accounting. Such expenditures are recognized following the cost principles contained in the Uniform Guidance where certain types of expenditures are not allowable or are limited as to reimbursement.

**Indirect Cost Rate**

The City of Farmington Hills has elected to use the 10 percent de minimis indirect cost rate as allowed under the Uniform Guidance.

**Note 3 - Reconciliation to the Financial Statements**

Federal revenue per the governmental funds	\$ 5,936,454
Non-federal grants included with federal grants	(96,256)
Forfeiture expenditures not included in revenue	(271,456)
Rounding	(1)
Total expenditures of federal awards	\$ 5,568,741

**Note 4 - Subrecipients**

Of the federal expenditures presented in the Schedule, the City provided federal awards to subrecipients as follows:

<b>Assistance Listing Number</b>	<b>Amount</b>
14.218	\$ 42,500

**City of Farmington Hills**  
**Schedule of Findings and Questioned Costs**  
**June 30, 2023**

---

**Section I – Summary of Auditors’ Results**

*Financial Statements*

Type of report the auditor issued on whether the financial statements were prepared in accordance with Generally Accepted Accounting Principles:  
 Unmodified

Internal control over financial reporting:

- Material weakness(es) identified? \_\_\_\_\_ X \_\_\_\_\_ yes \_\_\_\_\_ no
- Significant deficiency(ies) identified \_\_\_\_\_ yes \_\_\_\_\_ X \_\_\_\_\_ none reported
- Noncompliance material to financial statements noted? \_\_\_\_\_ yes \_\_\_\_\_ X \_\_\_\_\_ no

*Federal Awards*

Internal control over major federal programs:

- Material weakness(es) identified? \_\_\_\_\_ yes \_\_\_\_\_ X \_\_\_\_\_ no
- Significant deficiency(ies) identified \_\_\_\_\_ yes \_\_\_\_\_ X \_\_\_\_\_ none reported

Type of auditors’ report issued on compliance for major federal programs: Unmodified

Any audit findings disclosed that are required to be reported in accordance with 2 CFR 200.516(a)? \_\_\_\_\_ yes \_\_\_\_\_ X \_\_\_\_\_ no

Identification of major federal programs:  
*Assistance Listing Number(s)*

21.027	Coronavirus State and Local Fiscal Recovery Funds
14.218	CDBG Entitlement Cluster

Dollar threshold used to distinguish between type A and type B programs: \$ 750,000

Auditee qualified as low-risk auditee? \_\_\_\_\_ X \_\_\_\_\_ yes \_\_\_\_\_ no

**City of Farmington Hills**  
**Schedule of Findings and Questioned Costs**  
**June 30, 2023**

---

**Section II – Government Auditing Standards Findings**

**Finding 2023-001 – Material Weakness – Audit Adjustments**

- Criteria:** Management is responsible for reporting reliable financial data in accordance with Generally Accepted Accounting Principles (GAAP).
- Condition:** Material adjustments were identified by the auditors and calculated and posted by the City to increase the Act 51 accounts receivable and revenue in the Major Roads Fund and Local Roads Fund (\$696,296 and \$242,149, respectively) for money received after year-end that related back to fiscal year 2023.
- Cause and Effect:** The Controller’s office had staff turnover throughout the year. With the added complexities each year brings with new GASB pronouncements and new grant requirements, the City of Farmington Hills did not have adequate time to finish a final review of all funds prior to providing the trial balance to the auditors. This resulted in the auditors identifying the aforementioned two material journal entries during the year-end closing process that were not originally detected by the City of Farmington Hills. To put this in context, the City records over 100 journal entries each year to close the books.
- Recommendation:** We recommend that the City of Farmington Hills implement a process where a second review is performed over all year-end adjustments in order to ensure all material journal entries are identified and recorded. Further, we recommend that the City of Farmington Hills does a more thorough review of the trial balances at year-end for reasonableness prior to the start of the audit.
- Views of Responsible Officials:** Management agrees with the finding.
- Corrective Action Plan:** See attached corrective action plan.

**Section III – Federal Award Findings**

There were no findings or questioned costs for Federal Awards for the year ended June 30, 2023.

**City of Farmington Hills**  
**Summary Schedule of Prior Audit Findings**  
**June 30, 2023**

---

**Section IV – Prior Audit Findings**

***Government Auditing Standards Findings***

There were no *Government Auditing Standards* findings for the year ended June 30, 2022.

**Federal Award Findings**

There were no findings or questioned costs for Federal Awards for the year ended June 30, 2022.



December 6, 2023

Condition: Material adjustments were identified by the auditors and calculated and posted by the City to increase the Act 51 accounts receivable and revenue in the Major Roads Fund and Local Roads Fund (\$696,296 and \$242,149, respectively) for money received after year-end that related back to fiscal year 2023.

Planned Corrective Action: Accruing Act 51 revenues were included on a year-end audit checklist. This audit checklist was reviewed by the Finance Director, however, this particular item was missed. In the future, the audit checklist will be certified by a second person to ensure completeness.

Contact person responsible for corrective action: Thomas C. Skrobola, Finance Director/Treasurer

Anticipated Completion Date: 12/6/2024

A handwritten signature in blue ink that reads "Thomas C. Skrobola". The signature is written in a cursive style with a long horizontal line extending to the right.



## **Inter-Office Correspondence**

**DATE:** December 11, 2023  
**TO:** Gary Mekjian, City Manager  
**FROM:** Charmaine Kettler-Schmult, Director of Planning and Community Development  
**SUBJECT:** Site Plan 52-4-2023 – Certificate of Need - Construction of Cellular Tower

---

**Applicant:** Atlas Tower Group, Bill Williams, Territory Manager

**Owner:** Motel Rainbow

**Sidwell:** 22-23-35-105-017

**Zoning:** B-3, General Business District

**Master Plan:** Non-Center Type Business

**Location:** 30691 Grand River Avenue

### **Description:**

The applicant has submitted for City Council consideration proposed [Site Plan 52-4-2023](#) and [Project Narrative](#) which seeks to permit the construction of a one-hundred-and-twenty (120)-foot-tall cellular tower and associated fenced, 50' x 50' equipment enclosure on the site of an existing motel.

Cellular towers are a principal permitted use within the B-3 District, subject to the standards of Section 34-4.24 of the Zoning Ordinance. Although cellular towers are a principal permitted use, Section 34-4.24 requires public hearings at both the Planning Commission and City Council.

Per Section 34-4.24.1 of the Zoning Ordinance, the maximum height of a cellular tower shall not exceed one-hundred (100) feet measured from grade at the base of the tower *when occupied by one (1) telecommunications provider*. However, in the event that the tower *provides antennae for more than one (1) provider*, as is proposed in the subject application, the maximum height may be increased to one-hundred-and-twenty (120) feet measured from grade at the base of the tower.

Please see Giffels Webster's review [attached](#) for a detailed review of the plans. The application does not request any exceptions from the applicable standards of the Zoning Ordinance.

### **Procedural Background:**

- September 21, 2023 – Planning Commission unanimously passes motion (6-0) setting application for public hearing ([minutes](#))
- October 26, 2023 – Following public hearing, Planning Commission unanimously passes motion (9-0) recommending approval of application to City Council ([minutes](#))



## **Inter-Office Correspondence**

### **Standard of Review:**

Following tonight's public hearing, Section 34-4.24.8.A.i.-v. of the Zoning Ordinance requires that City Council determine whether the applicant has demonstrated that the following standards are met;

- The proposed facility is needed because of proximity to an interstate highway or major highway or major thoroughfare, or its proximity to areas of population concentration, or concentrations of commercial, industrial and/or business centers; or
- The proposed facility is needed because there are areas where signal interference has occurred due to tall buildings, masses of trees or other obstructions; and
- The proposed facility is needed because the telecommunications provider is unable to co-locate its proposed facility with another provider; and
- The proposed facility is needed to complete its grid as it relates to the needs of Farmington Hills and its surrounding communities and that there are no suitable sites in any of said surrounding communities.
- The proposed facility is designed to operate within the requirements for radio frequency emissions of the Federal Communications Commission and applicant has operated similar facilities within these requirements consistently.

If such standards are met, Council shall issue a certificate of need for the application.

### **Possible Council Actions:**

#### **Suggested Motion for APPROVAL:**

If City Council elects to approve Site Plan 52-4-2023, the following motion is suggested:

*Resolve to issue a certificate of need approving Site Plan 52-4-2023, because the applicable standards of Section 34-4.24 of the Zoning Ordinance are met, subject to the following conditions:*

- (1) The applicant shall make adequate provision for removal of all or part of the facility by users and owners when the facility has not been used for one-hundred-and-eighty (180) days or more; for purposes of this condition, the removal of antennas or other equipment from the facility, or the cessation of operations (transmission and/or reception of radio signals) shall be considered as the beginning of a period of nonuse; and*
- (2) The applicant shall deposit with the City a performance guarantee of \$5,000 as security for the removal of the tower if abandoned for use of cellular facilities.*

#### **Suggested Motion for POSTPONEMENT:**

*Resolve to postpone Site Plan 52-4-2023 to allow for the applicant to provide additional information [please specify] necessary to demonstrate that the applicable standards of Section 34-4.24 of the Zoning Ordinance are met.*

**Department Authorization by:** Charmaine Kettler-Schmult, Director of Planning and Community Development

**Prepared by:** Erik Perdonik, City Planner

### **Attachments:**

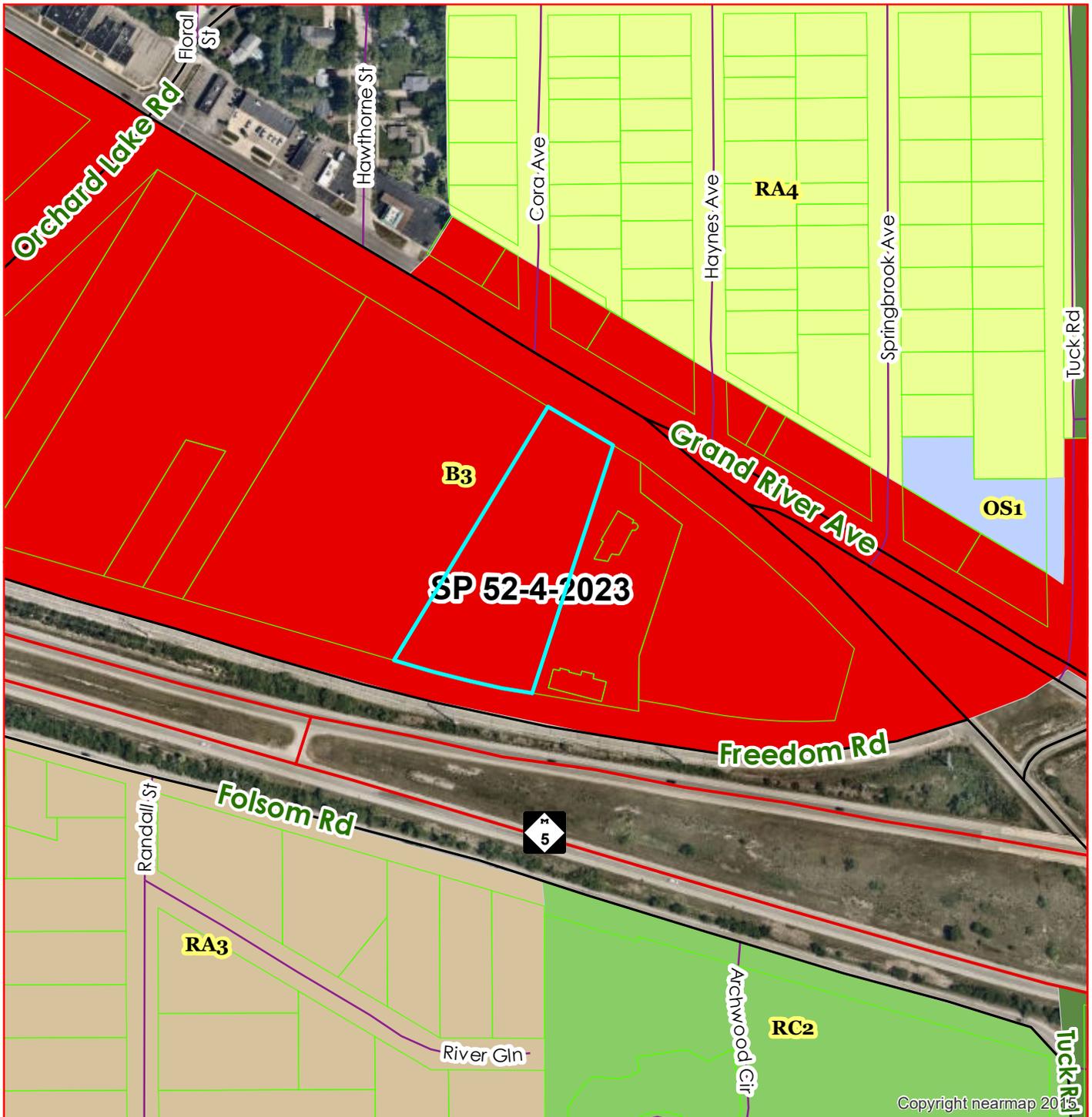
- [Site Plan 52-4-2023](#)
- [Site Plan 52-4-2023 Project Narrative](#)
- [Giffels Webster's review, dated June 27, 2023](#)
- [Engineering Division review, dated August 7, 2023](#)



## **Inter-Office Correspondence**

- Fire Department review, dated August 16, 2023
- September 21, 2023, Planning Commission meeting minutes
- October 26, 2023, Planning Commission meeting minutes
- Public Notice

**SP 52-4-2023 B-3**  
**30691 Grand River Ave.**  
**23-35-105-017, Construct a Cell tower**



Copyright nearmap 2015

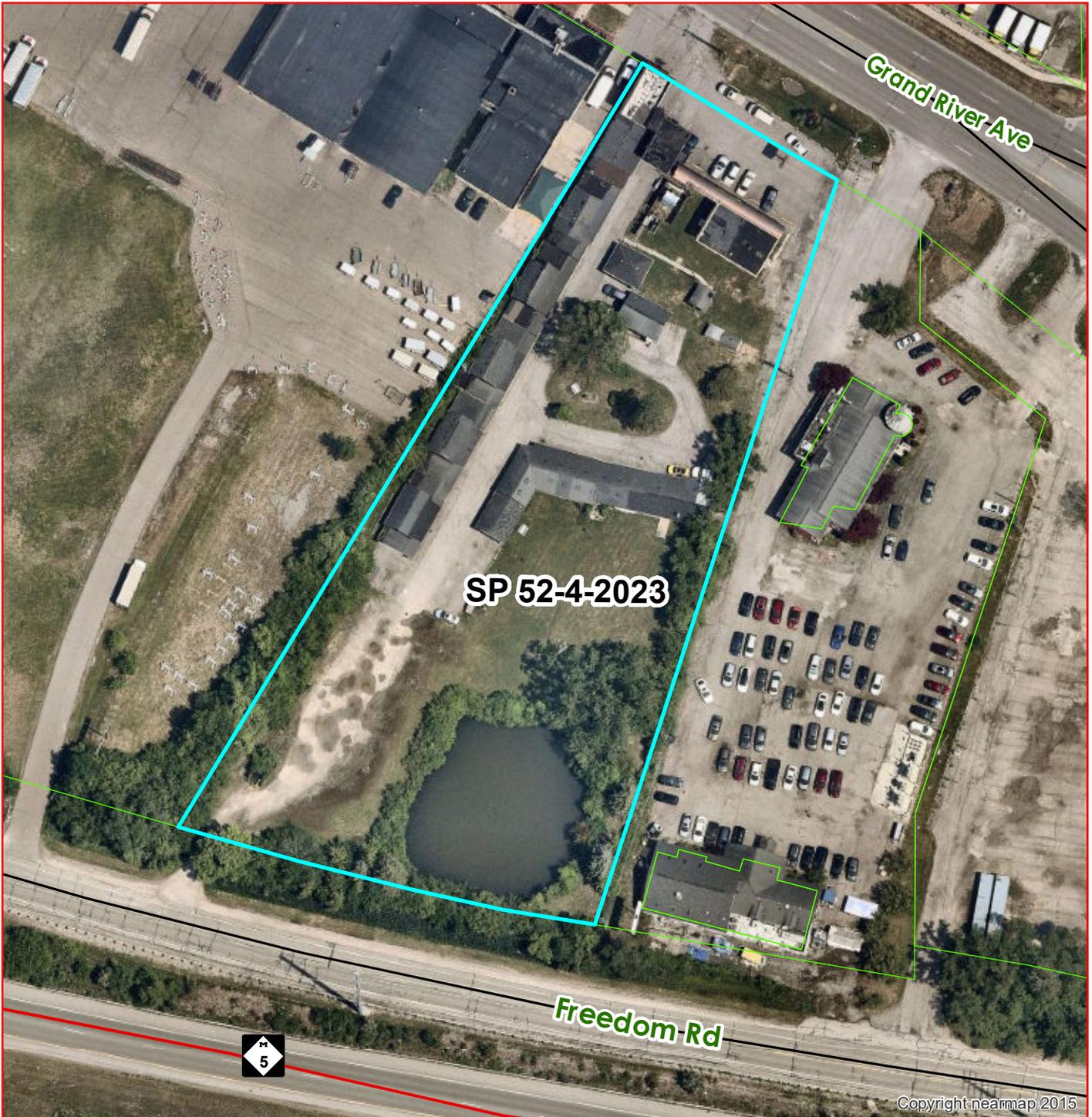
Tax parcel	OS-1 Office Service District
Minor roads	RA-3 One Family Residential District
<b>Zoning Districts</b>	RA-4 One Family Residential District
<b>Zoning Districts</b>	RC-2 Multiple Family Residential
B-3 General Business District	RC-3 Multiple Family Residential



SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

SP 52-4-2023 B-3  
30691 Grand River Ave.  
23-35-105-017, Construct a Cell tower



## Planning Division



SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

Tax parcel



**GENERAL NOTES:**

- ALL REFERENCES TO OWNER IN THESE DOCUMENTS SHALL BE CONSIDERED ATLAS TOWER 1, LLC., OR ITS DESIGNATED REPRESENTATIVE.
- ALL WORK PRESENTED ON THESE DRAWINGS MUST BE COMPLETED BY THE CONTRACTOR UNLESS NOTED OTHERWISE. THE CONTRACTOR MUST HAVE CONSIDERABLE EXPERIENCE IN PERFORMANCE OF WORK SIMILAR TO THAT DESCRIBED HEREIN. BY ACCEPTANCE OF THIS ASSIGNMENT, THE CONTRACTOR IS ATTESTING THAT HE DOES HAVE SUFFICIENT EXPERIENCE AND ABILITY, THAT HE IS KNOWLEDGEABLE OF THE WORK TO BE PERFORMED AND THAT HE IS PROPERLY LICENSED AND PROPERLY REGISTERED TO DO THIS WORK IN THE STATE OF MICHIGAN.
- STRUCTURE IS DESIGNED IN ACCORDANCE WITH ANSI/TIA-222-H, 2017. THIS CONFORMS TO THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- UNLESS SHOWN OR NOTED OTHERWISE ON THE CONTRACT DRAWINGS, OR IN THE SPECIFICATIONS, THE FOLLOWING NOTES SHALL APPLY TO THE MATERIALS LISTED HEREIN, AND TO THE PROCEDURES TO BE USED ON THIS PROJECT.
- ALL HARDWARE ASSEMBLY MANUFACTURER'S INSTRUCTIONS SHALL BE FOLLOWED EXACTLY AND SHALL SUPERCEDE ANY CONFLICTING NOTES ENCLOSED HEREIN.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION AND/OR FIELD MODIFICATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, GUYS OR THE DOAMS THAT MAY BE NECESSARY. SUCH MATERIAL SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER THE COMPLETION OF THE PROJECT.
- ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS SHOWN ON THE DRAWINGS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING ANY MATERIALS ORDERING, FABRICATION OR CONSTRUCTION WORK ON THIS PROJECT. CONTRACTOR SHALL NOT SCALE CONTRACT DRAWINGS IN LIEU OF FIELD VERIFICATIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND THE OWNER'S ENGINEER. THE DISCREPANCIES MUST BE RESOLVED BEFORE THE CONTRACTOR IS TO PROCEED WITH THE WORK. THE CONTRACT DOCUMENTS DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE OWNER AND/OR THE ENGINEER SHALL NOT INCLUDE INSPECTION OF THE PROTECTIVE MEASURES OR THE PROCEDURES.
- ALL MATERIALS AND EQUIPMENT FURNISHED SHALL BE NEW AND OF GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONTRACT DOCUMENTS. ANY AND ALL SUBSTITUTIONS USE BE PROPERLY APPROVED AND AUTHORIZED IN WRITING BY THE OWNER AND ENGINEER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF THE MATERIALS AND EQUIPMENT BEING SUBSTITUTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR INSURING THAT THIS PROJECT AND RELATED WORK COMPLIES WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL SAFETY CODES AND REGULATIONS GOVERNING THIS WORK.
- ACCESS TO THE PROPOSED WORK SITE MAY BE RESTRICTED. THE CONTRACTOR SHALL COORDINATE INTENDED CONSTRUCTION ACTIVITY, INCLUDING WORK SCHEDULE AND MATERIALS ACCESS, WITH THE RESIDENT LEASING AGENT FOR APPROVAL.
- BILL OF MATERIALS AND PART NUMBERS LISTED ON CONSTRUCTION DRAWINGS ARE INTENDED TO AID CONTRACTOR. CONTRACTOR SHALL VERIFY PARTS AND QUANTITIES WITH MANUFACTURER PRIOR TO BIDDING AND/OR ORDERING MATERIALS.
- ALL PERMITS THAT MUST BE OBTAINED ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR WILL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
- 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, THE CONTRACTOR MUST NOTIFY THE APPLICABLE JURISDICTIONAL (STATE, COUNTY OR CITY) ENGINEER.
- THE CONTRACTOR SHALL REWORK (DRY, SCARIFY, ETC.) ALL MATERIAL NOT SUITABLE FOR SUBGRADE IN ITS PRESENT STATE. AFTER REWORKING, IF THE MATERIAL REMAINS UNSUITABLE, THE CONTRACTOR SHALL UNDERCUT THIS MATERIAL AND REPLACE WITH APPROVED MATERIAL. ALL SUBGRADES SHALL BE PROTECTED WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK PRIOR TO PAVING. ANY SOFTER MATERIAL SHALL BE REWORKED OR REPLACED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL PIPES, DITCHES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURE IN OPERABLE CONDITION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE WARRANTED FOR ONE YEAR FROM ACCEPTANCE DATE.
- ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH THE PLANS (LATEST REVISION) PRIOR TO COMMENCING CONSTRUCTION. NOTIFY THE ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED. THE OWNER SHALL HAVE A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHILE WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY GOVERNING AGENCY INSPECTORS.
- NO WIRELESS TELECOMMUNICATION FACILITY OR EQUIPMENT OWNER OR LESSEE OR EMPLOYEE THEREOF SHALL ACT TO EXCLUDE OR ATTEMPT TO EXCLUDE ANY OTHER WIRELESS TELECOMMUNICATION PROVIDER FROM USING THE SAME BUILDING, STRUCTURE OR LOCATION. WIRELESS TELECOMMUNICATION FACILITY OR EQUIPMENT OWNERS OR LESSEES OR EMPLOYEES THEREOF, AND APPLICATIONS FOR THE INSTALLATION OF SUCH FACILITIES OR EQUIPMENT, SHALL COOPERATE IN GOOD FAITH TO ACHIEVE CO-LOCATION OF WIRELESS TELECOMMUNICATION FACILITIES AND EQUIPMENT.

**STRUCTURAL STEEL NOTES:**

- THE FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATION FOR MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL ELEMENTS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
  - STRUCTURAL STEEL, ASTM DESIGNATION A36 OR A992 GR50.
  - ALL BOLTS, ASTM A325 TYPE 1 GALVANIZED HIGH STRENGTH BOLTS.
  - ALL NUTS, ASTM A563 CARBON AND ALLOY STEEL NUTS.
  - ALL WASHERS, ASTM F436 HARDENED STEEL WASHERS.
- ALL CONNECTIONS NOT FULLY DETAILED ON THESE PLANS SHALL BE DETAILED BY THE STEEL FABRICATOR IN ACCORDANCE WITH AISC SPECIFICATION FOR MANUAL OF STEEL CONSTRUCTION, 14TH EDITION.
- HOLES SHALL NOT BE FLAME CUT THROUGH STEEL UNLESS APPROVED BY THE ENGINEER.
- HOT-DIP GALVANIZE ALL ITEMS UNLESS OTHERWISE NOTED, AFTER FABRICATION WHERE PRACTICABLE. GALVANIZING: ASTM A123, ASTM A153/A153M OR ASTM A653/A653M, D90, AS APPLICABLE.
- REPAIR DAMAGED SURFACES WITH GALVANIZING REPAIR METHOD AND PAINT CONFORMING TO ASTM A780 OR BY APPLICATION OF STICK OR THICK PASTE MATERIAL SPECIFICALLY DESIGNED FOR REPAIR OF GALVANIZING. CLEAN AREAS TO BE REPAIRED AND REMOVE SLAG FROM WELDS. HEAT SURFACES TO WHICH STICK OR PASTE MATERIAL IS APPLIED, WITH A TORCH TO A TEMPERATURE SUFFICIENT TO MELT THE METALLICS IN STICK OR PASTE; SPREAD MOLTEN MATERIAL UNIFORMLY OVER SURFACES TO BE COATED AND WIPE OFF EXCESS MATERIAL.
- A NUT LOCKING DEVICE SHALL BE INSTALLED ON ALL PROPOSED AND/OR REPLACED BOLTS.
- ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE SUFFICIENT LENGTH TO EXCLUDE THE THREADS FROM THE SHEAR PLANE.
- ALL PROPOSED AND/OR REPLACED BOLTS SHALL BE OF SUFFICIENT LENGTH SUCH THAT THE END OF THE BOLT BE AT LEAST FLUSH WITH THE FACE OF THE NUT. IT IS NOT PERMITTED FOR THE BOLT END TO BE BELOW THE FACE OF THE NUT AFTER TIGHTENING IS COMPLETED.
- ALL ASSEMBLY AND ANCHOR BOLTS ARE TO BE TIGHTENED TO A "SHUG TIGHT" CONDITION AS DEFINED IN SECTION 8.1 OF THE AISC, "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS", DATED JUNE 30, 2004.
- FLAT WASHERS ARE TO BE INSTALLED WITH BOLTS OVER SLOTTED HOLES.
- DO NOT OVER TORQUE ASSEMBLY BOLTS. GALVANIZING ON BOLTS, NUTS, AND STEEL PARTS MAY ACT AS A LUBRICANT, THUS OVER TIGHTENING MAY OCCUR AND MAY CAUSE BOLTS TO CRACK AND SHAP OFF.
- PAL NUTS ARE TO BE INSTALLED AFTER NUTS ARE TIGHT AND WITH EDGE LIP OUT. PAL NUTS ARE NOT REQUIRED WHEN SELF-LOCKING NUTS ARE PROVIDED.
- GALVANIZED ASTM A325 BOLTS SHALL NOT BE REUSED.
- WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AMERICAN WELDING SOCIETY (AWS) D1.1-2010 STRUCTURAL WELDING CODE - STEEL.

**GENERAL NOTES**

PLANS PREPARED FOR:  
  
 OFFICE: (303) 448-8896

PLANS PREPARED FOR:  
  
 3000 1/2 INTERNATIONAL STREET  
 BOULDER, CO 80301  
 OFFICE: (303) 448-8896

PLANS PREPARED BY:  
  
 TOWER ENGINEERING PROFESSIONALS  
 500 E 84TH AVE, SUITE C-10  
 THORNTON, CO 80229  
 OFFICE: (303) 966-9614

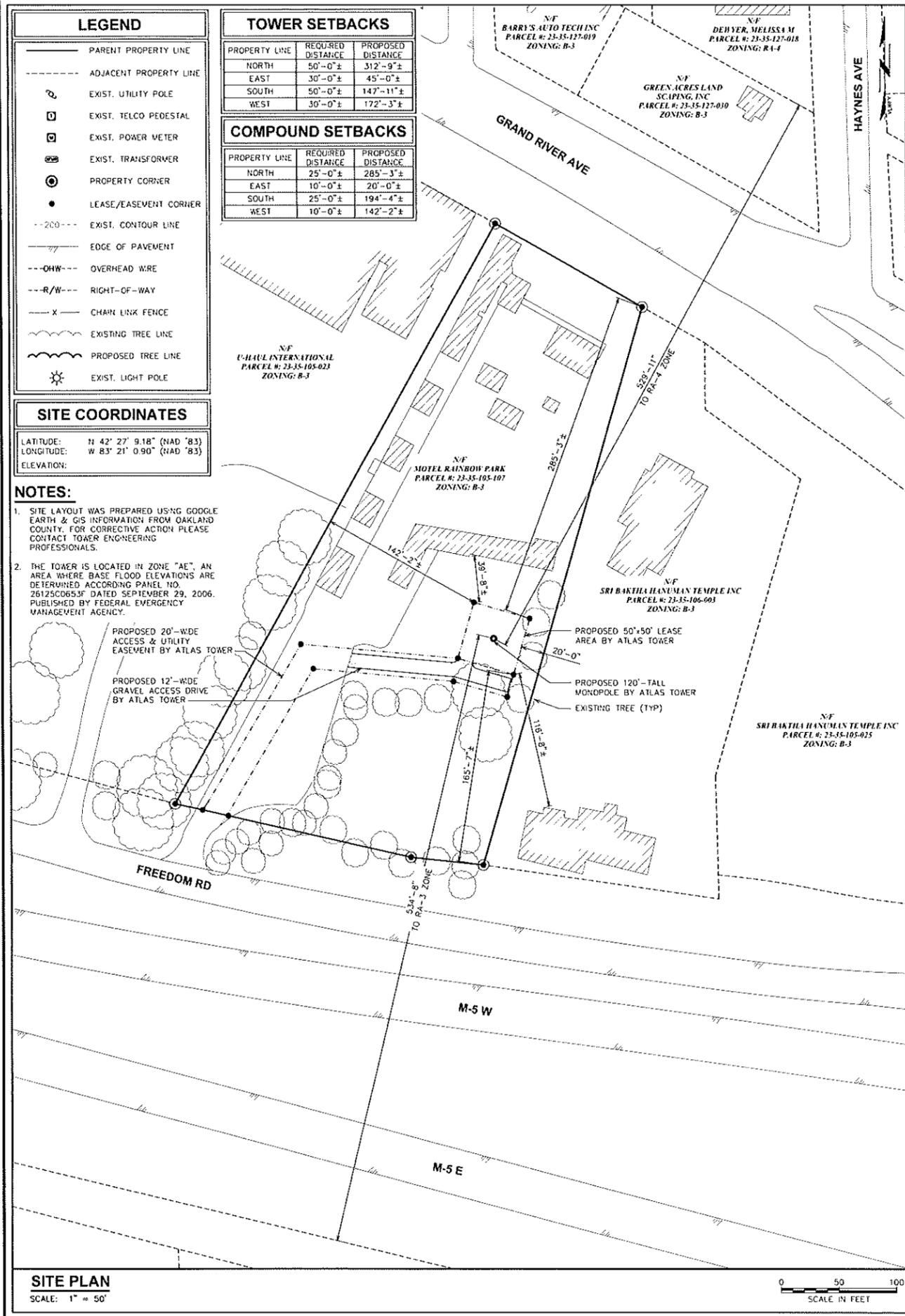
REV	DATE	ISSUED FOR	CHECKED BY
3	06-08-23	ZONING	INAC
2	06-06-23	ZONING	
1	02-17-23	ZONING	
0	03-23-23	ZONING	

DRAWN BY: N-1

PROJECT INFORMATION:  
**FARMINGTON ONE**  
 36891 GRAND RIVER AVE  
 FARMINGTON, ILL. 62536  
 (OAKLAND COUNTY)



SEAL:  
 REVISION: **3**  
**GENERAL NOTES**  
 SHEET NUMBER: **N-1**  
 SEP 13 2023 09:35:23



**LEGEND**

- PARENT PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- ⊗ EXIST. UTILITY POLE
- ⊠ EXIST. TELCO PEDESTAL
- ⊡ EXIST. POWER METER
- ⊞ EXIST. TRANSFORMER
- ⊙ PROPERTY CORNER
- LEASE/EASEMENT CORNER
- - - 200' EXIST. CONTOUR LINE
- EDGE OF PAVEMENT
- - - OHW OVERHEAD WIRE
- - - R/W RIGHT-OF-WAY
- - - X CHAIN LINK FENCE
- ~ EXISTING TREE LINE
- ~ PROPOSED TREE LINE
- ⊙ EXIST. LIGHT POLE

**TOWER SETBACKS**

PROPERTY LINE	REQUIRED DISTANCE	PROPOSED DISTANCE
NORTH	50'-0" ±	312'-9" ±
EAST	30'-0" ±	45'-0" ±
SOUTH	50'-0" ±	147'-11" ±
WEST	30'-0" ±	172'-3" ±

**COMPOUND SETBACKS**

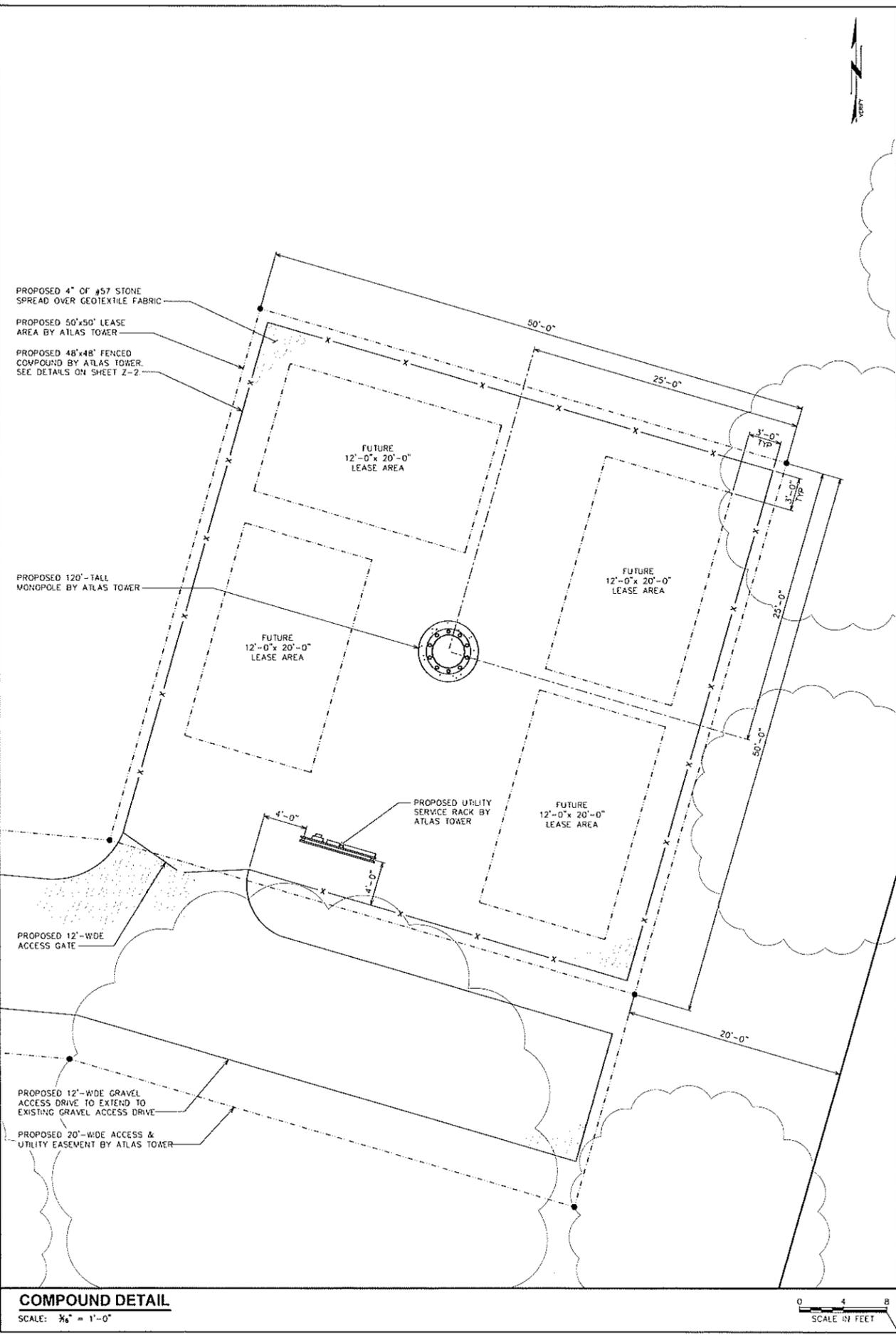
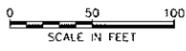
PROPERTY LINE	REQUIRED DISTANCE	PROPOSED DISTANCE
NORTH	25'-0" ±	285'-3" ±
EAST	10'-0" ±	20'-0" ±
SOUTH	25'-0" ±	194'-4" ±
WEST	10'-0" ±	142'-2" ±

**SITE COORDINATES**

LATITUDE: N 42° 27' 9.18" (NAD '83)  
 LONGITUDE: W 83° 21' 0.90" (NAD '83)  
 ELEVATION:

- NOTES:**
- SITE LAYOUT WAS PREPARED USING GOOGLE EARTH & GIS INFORMATION FROM OAKLAND COUNTY. FOR CORRECTIVE ACTION PLEASE CONTACT TOWER ENGINEERING PROFESSIONALS.
  - THE TOWER IS LOCATED IN ZONE "AE" AN AREA WHERE BASE FLOOD ELEVATIONS ARE DETERMINED ACCORDING PANEL NO. 26125CD653F DATED SEPTEMBER 29, 2006. PUBLISHED BY FEDERAL EMERGENCY MANAGEMENT AGENCY.

**SITE PLAN**  
SCALE: 1" = 50'



**COMPOUND DETAIL**  
SCALE: 3/8" = 1'-0"



PLANS PREPARED FOR:

**Atlas Tower**  
 ATLAS TOWER  
 3000 INTERNATIONAL STREET  
 SUITE 400  
 BOULDER, CO 80201  
 OFFICE: (303) 448-8898

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
 5015 BATHWAY SUITE C-10  
 THORNTON, CO 80229  
 OFFICE: (303) 966-9814

REV	DATE	ISSUED FOR	CHECKED BY
3	06-06-25	ZONING	JMC
2	06-06-23	ZONING	
1	05-12-23	ZONING	
0	03-23-23	ZONING	

PROJECT INFORMATION:

**FARMINGTON ONE**  
 3661 GRAND RIVER AVE  
 FARMINGTON HILLS, MI 48336  
 (OAKLAND COUNTY)

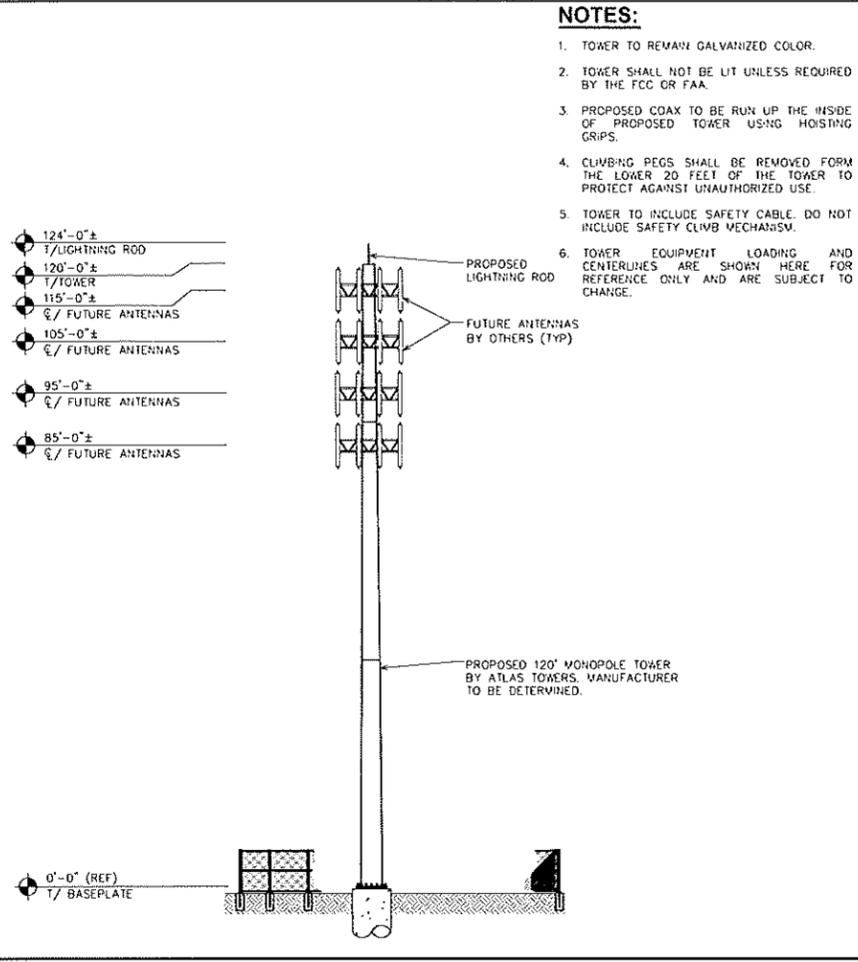
SEAL:

REVISION: **3**

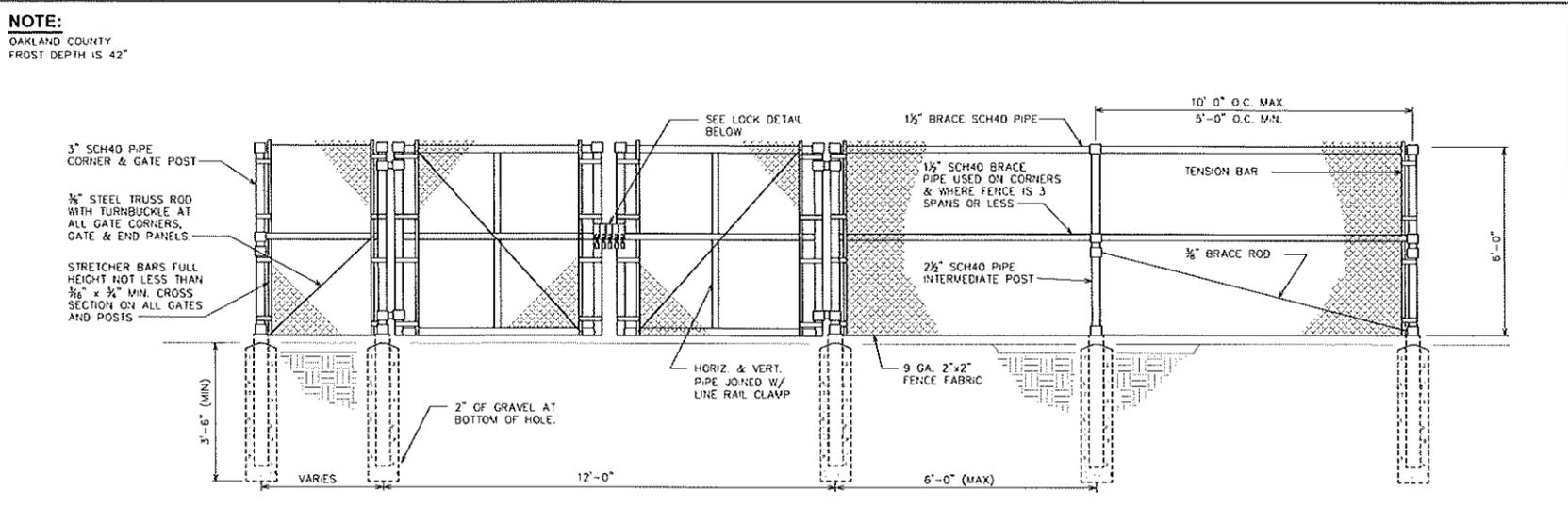
SHEET TITLE: **SITE PLAN & COMPOUND DETAIL**

SHEET NUMBER: **Z-1**

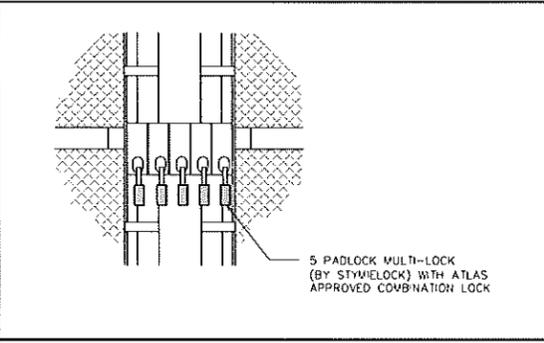
TEP # 202576-202520



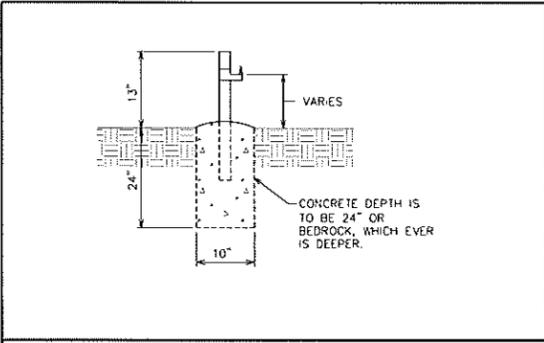
**TOWER ELEVATION**  
SCALE: 1/8" = 1'-0"



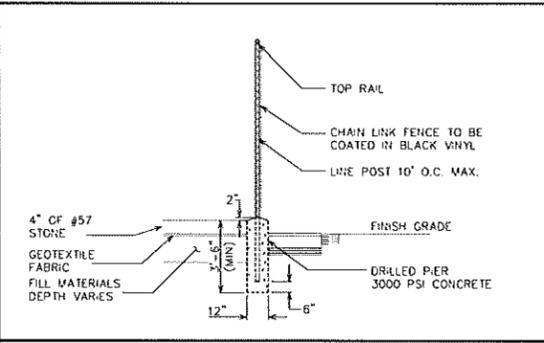
**TYPICAL FENCE ELEVATION**  
SCALE: N.T.S.



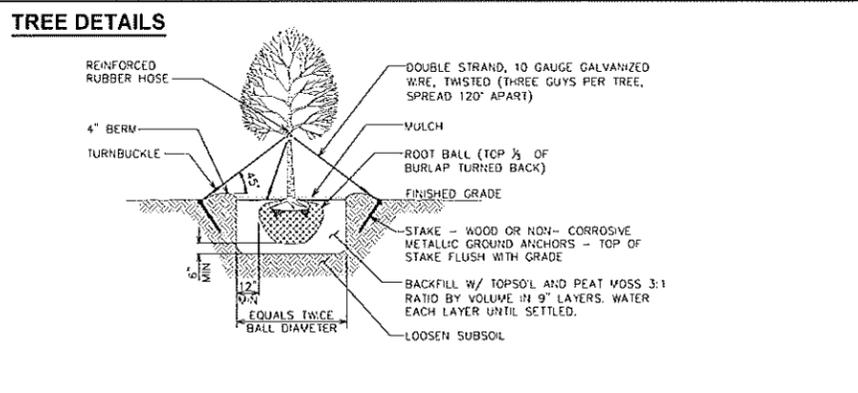
**GATE LOCK DETAIL**  
SCALE: N.T.S.



**GATE STOP/KEEPER DETAIL**  
SCALE: N.T.S.



**FENCE / BARBED WIRE ARM DETAIL**  
SCALE: N.T.S.

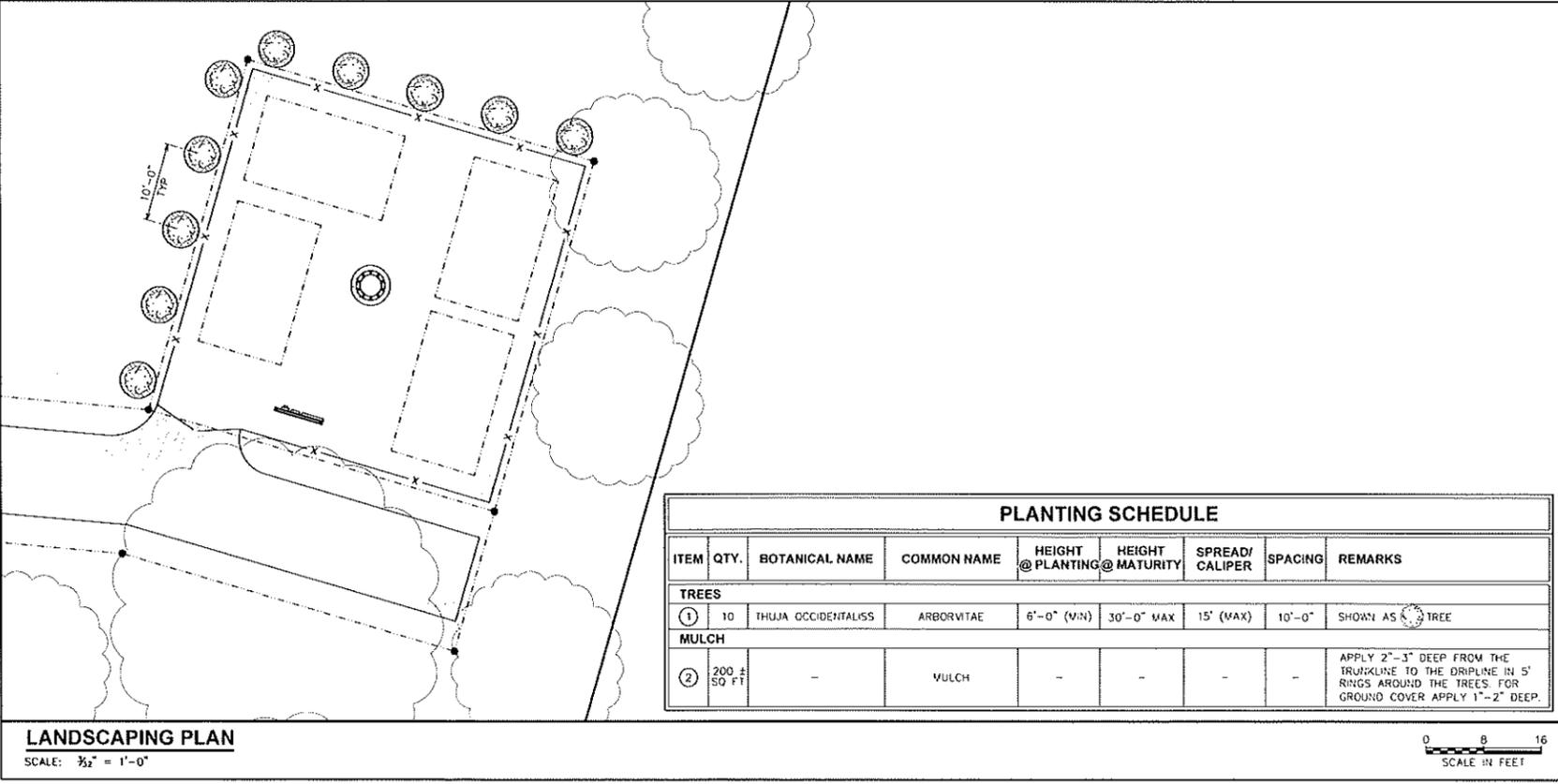


**GENERAL LANDSCAPING NOTES**

- TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISH GRADE.
- EACH PLANT TO BE IN THE TOP OF ITS CLASS AFTER SHEARING AND PRUNING.
- EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, AND MECHANICAL INJURIES, AND IN ALL RESPECTS BE SUITABLE FOR FIELD PLANTING.
- PLANTS SHALL CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI Z60.1-1973 IN REGARD TO SIZING, GROWING, AND B&B SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES.

**TREE PLANTING NOTES:**

- WHERE SEVERAL TREES WILL BE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AROUND TREES TO A DEPTH OF 4-6" OVER THE ENTIRE AREA.
- FOR CONTAINER GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- DURING THE DESIGN PHASE, CONFIRM THAT THE WATER DRAINS OUT OF THE SOIL; USE TOWERED PLANTING HOLE DEPTH AND DESIGN ALTERNATIVE DRAINAGE SYSTEM AS REQUIRED.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS UNTIL ESTABLISHED.
- BEFORE PLANTING, ADD 3-4" OF WELL COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND TILL INTO 6" OF PREPARED SOIL. ADD COMPOST AT 20-35% BY VOLUME TO BACKFILL.
- DO NOT WRAP TRUNK; MARK THE NORTH SIDE OF THE TREE IN THE NURSERY AND LOCATE TO THE NORTH SIDE IN THE FIELD.
- AVOID PURCHASING TREES WITH TWO LEADERS OR REMOVE ONE AT PLANTING. OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.



PLANS PREPARED FOR:

**Wibblue inc.**  
OFFICE: (303) 448-8896

PLANS PREPARED FOR:

**ATLAS TOWER**  
3002 BLUFF STREET  
BOULDER, CO 80301  
OFFICE: (303) 448-8896

PLANS PREPARED BY:

**TOWER ENGINEERING PROFESSIONALS**  
500 E 84TH AVE, SUITE C-10  
THORNTON, CO 80229  
OFFICE: (303) 966-9914

NO.	DATE	REVISION	ISSUED FOR:	CHECKED BY:
1	06-02-23	ZONING		INVC
2	06-06-23	ZONING		
3	07-13-23	ZONING		
4	03-23-23	ZONING		

DRAWN BY: INVC

PROJECT INFORMATION:

**FARMINGTON ONE**  
30691 GRAND RIVER AVE  
FARMINGTON HILLS, MI 48336  
(OAKLAND COUNTY)

SEAL:

**ZONING REVIEW**

REVISION: 3

SHEET TITLE: **TOWER ELEVATION & FENCE & LANDSCAPING DETAILS**

SHEET NUMBER: **Z-2**

SEP 18 2023 10:23:50

# ATLAS TOWER

RECEIVED  
APR 11 2023  
CITY OF FARMINGTON HILLS  
PLANNING DEPT.

April 5, 2023

City of Farmington Hills Planning Office  
31555 W. Eleven Mile Rd.  
Farmington Hills, MI 48336

RE: Zoning Narrative for Telecommunications Facility  
Site Name: FARMINGTON ONE - Rainbow

To Whom It May Concern:

Atlas Tower 1, LLC is submitting an Admin Design Review to the City of Farmington Hills Planning Office Planning and Zoning Department for review of a new proposed wireless telecommunications facility build on the property of 30691 GRAND RIVER Ave, Farmington Hills MI 48336 in Oakland County, Parcel #: 2335105017. This letter shall serve as a narrative for the proposed 120' foot Monopole telecommunications facility and will show how this project will provide the needed mobile network coverage while reducing the need for additional cellular facilities in the future. This project is being proposed and this justification is being provided in an effort to alleviate current mobile network voice, data, and first responder issues in an area that is severely lacking in reliable network coverage and capacity.

## SITE DETAILS

### Land Owner:

MOTEL RAINBOW PARK  
30691 GRAND RIVER AVE  
FARMINGTON HILLS, MI 48336

### Site Address:

30691 GRAND RIVER Ave,  
Farmington Hills, MI, 48336  
Oakland County  
Parcel #: 2335105017.

### Applicant:

Atlas Tower 1, LLC  
3002 Bluff St., Suite 300  
Boulder, CO 80301

### Coordinates:

Latitude: 42.45255  
Longitude: -83.35091  
Ground Elevation: 673 feet

### Zoning:

Commercial

### Lease Area:

(50 feet x 50 feet, measuring 2500 sq. feet.)

## PROPOSAL SUMMARY

The purpose of this request is to build a 120-foot Monopole telecommunications tower within a (50 feet x 50 feet, measuring 2500 sq. feet.) wireless facility. This facility will provide critical wireless coverage to the surrounding area. The proposed site is zoned Commercial where coverage is lacking, and the capacity of the existing infrastructure is reaching its limit. As the area develops further, and users demand more data for their existing devices, current infrastructure will reach capacity limits and be unable to meet coverage needs. This tower and facility will be used for structural support of up to four wireless providers. Each provider will install antennas and on-the-ground base-station equipment.

## WIRELESS TELECOMMUNICATION FACILITY CHARACTERISTICS

### Visual Effect

We strive to design our facilities and locate parcels that create the least amount of community disturbance. The surrounding area is largely rural with low density residential zones nearby. The proposed site is chosen to maximize visual aesthetic and distance from residential homes.

### Frequency Of Maintenance Work On The Proposed Facility

On average, after initial installation, a carrier or its contactors would likely visit the facility about one to four times a year for maintenance, though this number could vary depending on the specific circumstances of the facility.

### The Average Number Of Vehicles Visiting The Facility

The average maintenance visit by a carrier or its contractors would likely involve one pickup truck. With an average of one to four visits a year and one truck a visit, there would likely be about one pickup truck visiting the site a month, per carrier, if at full capacity.

### The Average Duration Work Visits On The Facility

For typical maintenance visits, a carrier or its contactors would only be at the site a few hours, but this number could increase depending on the work that needed to be completed at the site.

### Expected Noise Levels

Telecommunications facilities are essentially silent. This would be true whether there were one or four carriers. A generator could be operated on site in the rare instance that power went out. The generator would create noise, but it would not be noticeable or audible in the location the telecommunications facility is proposed to be.

### Building Codes; Safety Standards

Atlas Tower will ensure the structural integrity of towers, ensure that it is maintained in compliance with standards contained in applicable state or local building codes and the applicable standards for towers that are published by the Electronic Industries Association, as amended from time to time. If, upon inspection, City of Farmington Hills Planning Office concludes that a tower fails to comply with such codes and standards and constitutes a danger to persons or property, then upon notice being provided to the owner of the tower, the owner shall have thirty (30) days to bring such tower into compliance with such standards, unless a longer time is reasonably necessary. Failure to bring such tower into compliance within said thirty (30) days shall constitute grounds for the removal of the tower or antenna at the owner's expense.

### FAA/FCC Compliance

*The proposed facility shall conform to the requirements of this title, this code, and other laws, including pertinent federal regulations of the Federal Communications Commission (FCC) and the Federal Aviation Administration (FAA).*

This narrative represents required and supplementary information to document the technological, economic, and social necessity and benefits of a new 120-foot Monopole telecommunications tower in Farmington Hills. The information provided highlights the advantages associated with a telecommunications facility at our proposed site. See attached documents showing our survey and tower drawings.

Atlas Tower 1, LLC respectfully requests the acceptance of our application for an Admin Design review for the proposed communications tower facility.

Best Regards,

*Bill Williams*  
Territory Manager  
303-448-8896  
[www.atlastowers.com](http://www.atlastowers.com)

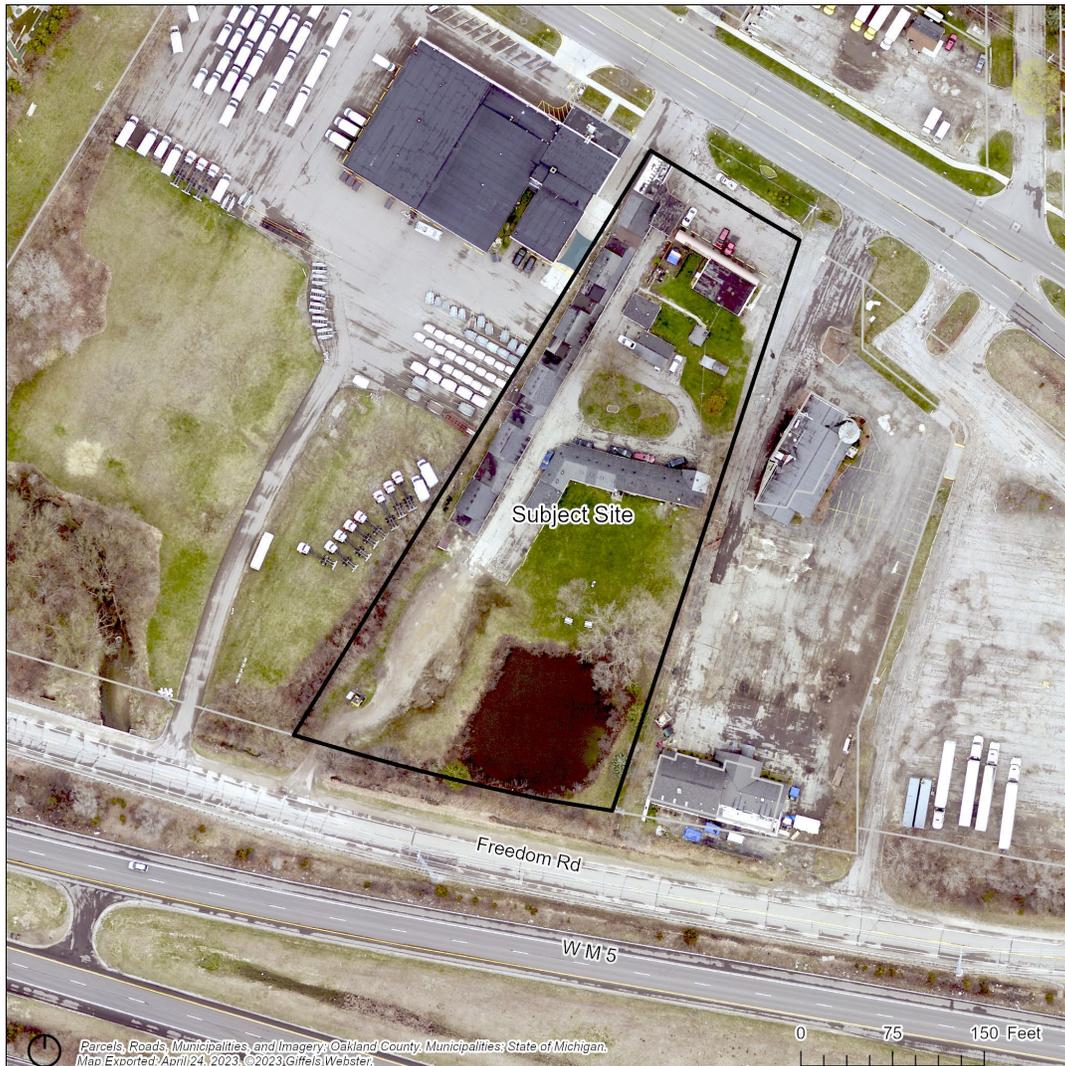
June 27, 2023

Farmington Hills Planning Commission  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

## Site Plan Review

Case: 52-4-2023  
Site: 30691 Grand River Ave (Parcel 22-23-35-105-017)  
Applicant: Bill Williams, Atlas Tower Group  
Plan Date: 6/8/23  
Zoning: B-3 General Commercial

We have completed a review of the application for site plan approval referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



## SUMMARY OF FINDINGS

### Summary of Proposal

The applicant is proposing a new, 120-foot cellular tower on the site of an existing motel. The installation will include a fenced, 50' x 50' equipment enclosure. Cellular towers are a permitted use in the B-3 district, subject to the standards of Section 34-4.24. Though they are a permitted use, Section 34-4.24 requires public hearings at both the planning commission and city council.

### Existing Conditions

1. **Zoning.** The site is zoned B-3 General Commercial.
2. **Existing site.** The site is developed with a motel. The southern third of the site is largely open, apart from a detention pond. The site has frontage on both Grand River Avenue and Freedom Road.

### 3. **Adjacent properties.**

Direction	Zoning	Land Use
North (across GR)	B-3	Commercial
East	B-3	Place of worship
South	M-5 (RA-3 beyond)	M-5 (single family beyond)
West	B-3	U-Haul

4. **Access and circulation.** The site is accessed from Grand River, but has an unimproved drive onto Freedom Road as well.

### Site Plan and Landscape Plan

1. **Dimensional Standards (B-3 district and Cell Tower Standards of 4.24).** Cellular towers have distinct standards; many of the underlying district standards are modified for this use. This table considers the district setbacks, and other dimensional standards contained in 34-4.24 below (see item 6 below for more). Setbacks must be provided to review compliance.

Item	Required (B-3)	Required (4.24)	Proposed/Comments
Min. lot size	--		--
Min. lot width	--		--
Front Setback (north)	25 ft	50 ft	285 ft, 3 in
Rear Setback (south)	25 ft	50 ft	165 ft, 7 in
Side Setback (east)	10 ft	30 ft	20 ft
Side Setback (west)	10 ft	30 ft	142 ft, 2 in
Setback to RA, RC, MH, RP & SP-1	--	500 ft	529 ft, 11 in to RA-3 district
Height	--	100 ft/120 if multiple colocations accommodated	120 feet with up to 4 colocation opportunities (124 ft to top of lightning rod)

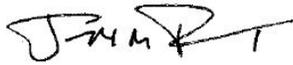
2. **Mechanical Equipment (34-5.1.4.D).** The mechanical equipment associated with this tower is proposed to be located within a fenced enclosure at the base of the tower.

3. **Fences (34-5.12.2.) and Walls (34-5.15.)** The applicant proposes to surround the equipment enclosure with a fence. The fence is no longer proposed to be topped with barbed wire.
4. **Minimum parking (34-5.2.11).** Parking is not required for the tower; the enclosure and area around it provide an area for the service technician to park.
5. **Lighting (Section 34-5.16).**
6. **Cellular Tower Standards (Section 34-4.24).** Section 34-4.24 sets forth standards for cellular towers. Some of these are addressed above. The remainder are addressed below:
  - a. Location. When located on a property with another permitted use, towers shall not be located in a front yard or in a side yard abutting a street. This lot is a through lot; the tower is in the side yard, which does not abut a street.
  - b. The applicant must demonstrate the need for the tower, based on the following five criteria:
    - i. The proposed facility is needed because of proximity to an interstate highway or major thoroughfare, or its proximity to areas of population concentration, or concentrations of commercial, industrial and/or business centers; or
    - ii. The proposed facility is needed because there are areas where signal interference has occurred due to tall buildings, masses of trees or other obstructions; and
    - iii. The proposed facility is needed because the telecommunications provider is unable to co-locate its proposed facility with another provider; and
    - iv. The proposed facility is needed to complete its grid as it relates to the needs of Farmington Hills and its surrounding communities and that there are no suitable sites in any of said surrounding communities.
    - v. The proposed facility is designed to operate within the requirements for radio frequency emissions of the Federal Communications Commission and applicant has operated similar facilities within these requirements consistently.
  - c. Equipment buildings are required to match principal buildings on the site; no equipment building appears to be proposed at this point; such shelters would be constructed by others at the time of location on the tower.
  - d. The tower is a monopole design, as required.
  - e. The tower is set among existing vegetation screening two sides of the enclosure, and arborvitae are proposed along the other two sides.
  - f. A decommissioning agreement has been provided, per the applicant's letter dated June 12, 2023.
  - g. If any exceptions to these standards are required, they must be granted by City Council.

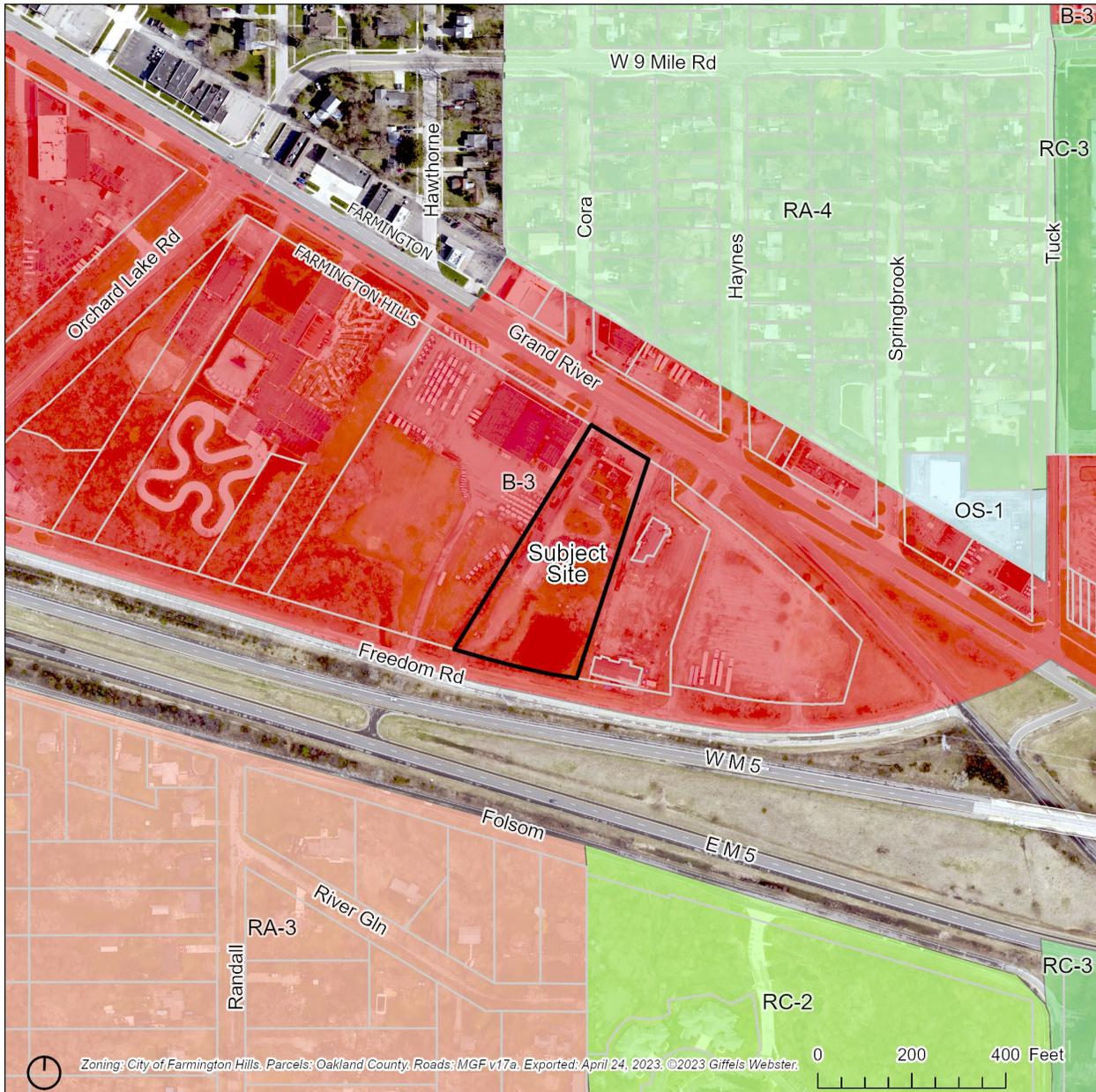
We are available to answer questions.

Respectfully,

Giffels Webster



Joe Tangari, AICP  
Principal Planner



Current zoning



Wetlands

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION MEETING  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
September 21, 2023, 7:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Regular Meeting was called to order by Chair Countegan at 7:30 p.m.

**ROLL CALL**

Commissioners present: Countegan, Grant, Trafelet, Stimson, Varga, Ware

Commissioners Absent: Aspinall, Brickner, Mantey,

Others Present: City Planner Perdonik, City Attorney Schultz, Planning Consultant Tangari

**APPROVAL OF THE AGENDA**

As there were members of the public who were waiting to offer comment from the 6:30 Study Session, and as the first agenda item had been postponed at the request of the applicant, the following motion was offered:

**MOTION by Trafelet, support by Varga, to amend and approve the agenda as follows:**

- **Add Public Comment following Approval of Agenda, in order to allow public comment from the 6:30pm Study Session to continue, and**
- **Delete 4.A. Site Plan 65-8-2023 (Planned Unit Development 3, 2021)**

**Motion passed unanimously by voice vote.**

**PUBLIC COMMENT**

**REGULAR MEETING**

**A. SITE PLAN 52-4-2023**

LOCATION: 30691 Grand River Avenue  
PARCEL I.D.: 22-23-35-105-017  
PROPOSAL: Construction of cellular tower in B-3, General Business zoning districts  
ACTION REQUESTED: Set for public hearing  
APPLICANT: Atlas Tower Group, Bill Williams, Territory Manager  
OWNER: Motel Rainbow

Planning Consultant Tangari explained that tonight's action was to set this item for public hearing. A full review, based on his June 27, 2023 written memorandum, would be made at the time of the public hearing. The applicant had addressed all issues at a pre-application meeting.

Planning Consultant Tangari provided the following information:

- The applicant is proposing a new, 120' cellular tower at 30691 Grand River Avenue.

- Cellular towers are a permitted use in the B-3 district, subject to the standards of 34-4.24, which requires public hearings at both the Planning Commission and City Council.

Applicant Bill Williams, Atlas Tower Group, was present on behalf of this application. Amy Burroughs and Lydia Brent were also present from Atlas Tower Group.

Mr. Williams explained that the proposed cellular tower will replace the tower at the Farmington Junction building – located about a half mile away – that is being sold. The new tower will be an upgrade and will have full potential to serve the telecommunications need in the area for the foreseeable future.

Atlas Tower Group will develop the site and own the tower. T-Mobile is the anchor tenant, with other providers also co-locating on the tower.

In response to questions, the applicants explained that the tower will not be camouflaged to look like something else, such as a tree. The tower will be constructed above the 100-year floodplain. The site had a slight difference in slope (perhaps one or two feet) from Grand River to Freedom Road.

In response to questions from the Commission, Chair Countegan explained that City Ordinance regulated cellular towers in the City.

City Attorney Schultz added that federal and state statutes limited how cellular towers can be regulated.

Commissioner Ware noted that the recent surveys regarding the Master Plan addressed functionality of internet service in the area.

Chair Countegan said the public hearing would be an opportunity to communicate with residents how cellular towers are regulated, and address questions regarding public safety and community benefit.

Mr. Williams pointed out that the public safety component of cellular towers is very important, as across the country over 80% of 911 calls are made on a handheld device, and in many urban jurisdictions that ratio goes up to 90%. AT&T is interested in the site, and AT&T is the FirstNet provider (First Responder Network Authority) that enables first responders to communicate seamlessly.

Commissioner Trafelet asked how deep the footings would be, and the measure of the fall radius. Mr. Williams said the towers were built to stand, and the fall radius was taken into account in terms of location placement. He was not sure of the depth of the footings, but that information could be provided.

In response to further questions, Mr. Williams said the Telecommunications Act of 1996 specifies that the governing authority on health and safety of cellular towers is the FCC, and the FCC and FDA and all governing authorities have deemed the cellular communication facilities as safe for human use.

**MOTION by Stimson, support by Trafelet, that Site Plan 52-4-2023, dated April 14, 2023, submitted by Atlas Tower Group, Bill Williams, Territory Manager, be set for public hearing, for the Planning Commission's next available regular meeting agenda.**

**Motion passed unanimously by voice vote.**

**ADJOURNMENT**

**Motion by Stimson, support by Grant, to adjourn the meeting at 9:05pm.**

**Motion carried unanimously by voice vote.**

Respectfully Submitted,  
Marisa Varga  
Planning Commission Secretary  
/cem

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION MEETING  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
October 26, 2023, 7:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Regular Meeting was called to order by Chair Countegan at 7:30 p.m.

**ROLL CALL**

Commissioners present:           Aspinall, Brickner, Countegan, Grant, Mantey, Trafelet, Stimson, Varga, Ware

Commissioners Absent:           None

Others Present:                   City Planner Perdonik, City Attorney Schultz, Planning Consultant Bahm

**APPROVAL OF THE AGENDA**

**MOTION by Brickner, support by Trafelet, to approve the agenda as published.**

**Motion passed unanimously by voice vote.**

**PUBLIC HEARING**

**A. SITE PLAN 52-4-2023**

LOCATION:                           30691 Grand River Avenue  
PARCEL I.D.:                       22-23-35-105-017  
PROPOSAL:                        Construction of cellular tower in B-3, General Business zoning district  
  
ACTION REQUESTED:            Recommendation to City Council  
APPLICANT:                       Atlas Tower Group, Bill Williams, Territory Manager  
OWNER:                             Motel Rainbow

Applicant presentation

Bill Williams, Atlas Tower Group, Boulder CO, was present on behalf of this application to construct a cellular tower in a B-3 General Business zoning district.

The tower will be located at 30691 Grand River Avenue, with T Mobile as the primary anchor tenant. The tower will replace the T Mobile tower currently located on the smokestack at the Farmington Junction building.

In response to questions, Mr. Williams provided the following information:

- As the project moves forward, other providers will be encouraged to co-locate on this tower. AT&T has already expressed interest; this would be an important location for AT&T's First Responder system.
- The nearest tower to this location is over 2 miles away.

- Security will be provided by a 6-foot fence. Barbed wire was not allowed in the City. Atlas Tower Group has not had much malicious activity at their sites.
- The tower will be a monopole. The fall zone is no longer calculated because the pole is built to crumble.
- The tower will not need an FAA light. The access road off Freedom Road will not change. Atlas Tower will trim back the overgrowth near the tower.
- It came out in discussion that without a co-locator the tower could only be 100' tall. Mr. Williams said they would have a co-locator.

#### Planners review

Referencing the June 27, 2023 Giffels Webster memorandum, Planning Consultant Bahm gave the background and review for this application for a new, 120' cellular tower on the site of an existing motel. The installation will include a fenced, 50'x50' equipment enclosure. Cellular towers are a permitted use in the B-3 district, although they do require public hearings before both the Planning Commission and City Council.

There were no outstanding issues. A 120' tall pole must have up to 4 colocation opportunities.

#### Public Hearing

No public indicated they wished to speak.

#### Commission discussion and/or action

**MOTION by Brickner, support by Trafelet, that the Planning Commission recommend to City Council that Site Plan 54-2-2023, dated April 14, 2023, submitted by Atlas Tower Group, Bill Williams, Territory Manager, be approved, because it appears to meet all applicable requirements of the Zoning Chapter, with the following condition:**

- **This approval is for 100' for a sole location, or 120' feet for colocation(s).**

**Motion passed unanimously by voice vote.**

### **REGULAR MEETING**

#### **PUBLIC COMMENT**

None.

#### **ADJOURNMENT**

**Motion by Mantey, support by Ware, to adjourn the meeting at 9:15pm.**

**Motion carried unanimously by voice vote.**

Respectfully Submitted,  
Marisa Varga  
Planning Commission Secretary

/cem



DEPARTMENT OF PUBLIC SERVICES  
KAREN MONDORA, P.E., DIRECTOR

## INTEROFFICE CORRESPONDENCE

**DATE:** August 7, 2023  
**TO:** Erik Perdonik  
**FROM:** James Cubera, Engineering   
**SUBJECT:** Farmington One Cell Tower  
30691 Grand River  
22-23-35-105-017  
PJ #35-23-120, SP #52-4-2023

---

This office has performed a preliminary review of the above referenced plans submitted to the Engineering Division on July 26, 2023. Our preliminary comments are as follows:

1. The plan does not include any survey information, typographic information, or easements of record. This information is necessary in order to perform a proper review.
2. Our office notes that an 8-inch water main exists along the frontage of this site and is available for service.
3. A 10-inch sanitary sewer exists in close proximity to the site on the south side of Grand River. We note that the site is apparently serviced by a private sewer that is shared with the site to the east. This needs to be investigated. It is suggested that the sewer be upgraded to public standards if possible. In addition, caution needs to be maintained to ensure that the footings of the tower do not conflict with the private sewer.
4. The plans identify access from Freedom Road. It is difficult to identify where this gravel access drive will fit in with relationship to the existing driveway. This needs to be clarified.
5. We note a detention pond is located in the southeast corner of the site. It is difficult to determine if the cell tower area will infringe on the pond. This will need to be clarified.



DEPARTMENT OF PUBLIC SERVICES  
KAREN MONDORA, P.E., DIRECTOR

6. The 100-year Flood Plain runs through the south half of the property. It is not clearly identified on the site plan. This needs to be shown in detail. Note that if there is any involvement with the 100-year Flood Plain, a permit and or review from EGLE will be required prior to moving forward with the City of Farmington Hills.
7. It appears that the plan that has been submitted is a concept plan. Prior to construction, a detailed engineering plan must be submitted for construction review.



**INTEROFFICE CORRESPONDENCE**

**DATE:** August 16, 2023  
**TO:** Planning Commission  
**FROM:** Jason Baloga, Fire Marshal  
**SUBJECT:** Site Plan 52-4-2023 (30691 Grand River)

The Fire Department will have no objection to approval of this proposed project contingent upon compliance with the following:

1. Utility access easement shall not obstruct Fire Department access to rear of hotel.

A handwritten signature in blue ink, appearing to read "Jason Baloga".

Jason Baloga, Fire Marshal

**CITY OF FARMINGTON HILLS  
CITY COUNCIL PUBLIC HEARING NOTICE**

[www.fhgov.com](http://www.fhgov.com)

**DATE:** December 11, 2023  
**TIME:** 7:30 P.M.  
**PLACE:** Farmington Hills City Hall, City Council Chambers  
31555 Eleven Mile Rd., Farmington Hills, MI 48336  
**ITEM:** Site Plan 52-4-2023

The Farmington Hills City Council shall consider an Application for Site Plan Approval, dated April 14, 2023. The applicant, Atlas Tower Group, Bill Williams, Territory Manager, seeks to construct a cellular tower within the B-3, General Business zoning district.

The subject property is located at 30691 Grand River Avenue, south of Grand River Avenue, between Orchard Lake and Tuck Roads, and being more particularly described as: Parcel Identification Number: 22-23-35-105-017, City of Farmington Hills, Oakland County, Michigan.

Any interested person is invited to comment on the request in person at the scheduled hearing, or written comments may be submitted to the City of Farmington Hills Planning Office at 31555 W. Eleven Mile Road, Farmington Hills, Michigan 48336, or [ckettler@fhgov.com](mailto:ckettler@fhgov.com), prior to the hearing. The application may be reviewed at the Planning Office between 8:30 a.m. and 4:30 p.m., Monday through Friday.

Charmaine Kettler-Schmult  
Director of Planning and Community  
Development

Phone: (248) 871-2540  
Email: [ckettler@fhgov.com](mailto:ckettler@fhgov.com)  
Publish: November 26, 2023



**Procedures for accommodations for persons with disabilities:**

The City will be following its normal procedures for accommodation of persons with disabilities. Those individuals needing accommodations for effective participation in this meeting should contact the City Clerk (248) 871-2410 at least two (2) working days in advance of the meeting. An attempt will be made to make reasonable accommodations.



**INTEROFFICE CORRESPONDENCE**

**DATE:** December 11, 2023  
**TO:** City Council  
**FROM:** Theresa Rich, Mayor  
**SUBJECT:** Recommendation for appointment.

I would like to recommend the following appointments at the December 11, 2023 City Council meeting.

**Commission on Community Health**

	<b>Length of Term:</b>	<b>Term ending:</b>
Daniel Konja	3 years	February 1, 2027

Daniel will fill the vacancy left by Joseph Curran who resigned in 2022. Attached, please find Daniel's resume.

**Emergency Preparedness Commission**

	<b>Length of Term:</b>	<b>Term ending:</b>
Sean Thomas	3 years	February 1, 2027

Sean will fill the alternate vacancy. Attached, please find Sean's resume.

**Economic Development Corporation**

	<b>Length of Term:</b>	<b>Term ending:</b>
Gerrard Allen	6 years	February 1, 2030

Gerrard will fill the vacant seat. Attached, please find Gerrard's resume.

**Brownfield Redevelopment Authority**

	<b>Length of Term:</b>	<b>Term ending:</b>
Alex Meyers	3 years	February 1, 2027

Alex will fill the vacancy left by Lori McDaniel who resigned in 2021. Attached, please find Alex's resume.

**Grand River Corridor Improvement Authority**

Mary Newlin	<b>Length of Term:</b> 4 years	<b>Term ending:</b> February 1, 2028
-------------	-----------------------------------	---

Mary will fill the vacancy left by Teresa Brazzle. Attached, please find Mary's resume.

**Commission on Children, Youth & Families**

Ashley Gabb	<b>Length of Term:</b> 3 years	<b>Term ending:</b> February 1, 2027
-------------	-----------------------------------	---

Ashley will fill the vacancy left by Edward Cherkinsky who resigned in 2023. Attached, please find Ashley's resume.

**Zoning Board of Appeals**

Asim Khan	<b>Length of Term:</b> Unexpired term	<b>Term ending:</b> February 1, 2025
-----------	--	---

Asim is currently an alternate and will be promoted to full member filling the vacancy left by Azam Masood who resigned in 2023.

**Commission on Aging**

Tiffany Tuttle	<b>Length of Term:</b> Unexpired term	<b>Term ending:</b> February 1, 2025
----------------	--	---

Tiffany will fill the vacancy left by Colleen Irvin who resigned in 2022. Attached, please find Tiffany's resume.

## Danielle King

---

**From:** postmaster@muniweb.com  
**Sent:** Monday, August 28, 2023 8:41 PM  
**To:** CMO  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

---

<b>Submittor's Name</b>	Daniel Konja
<b>Submittor's Address</b>	[REDACTED]
<b>Submittor's Phone</b>	[REDACTED]
<b>Submittor's Email</b>	[REDACTED]
<b>Interest(s)</b>	Commission on Aging Commission on Community Health Emergency Preparedness Commission

---

### Resume

My name is Daniel Konja, I am a registered nurse and clinical director for Drip Hydration of Michigan. I currently possess a Master of Science in Nursing Administration and Master of Business Administration. I have also recently returned to Madonna University to earn a Post-Master's Certificate to become a family nurse practitioner. These programs have been sought after in hopes of becoming a kind, compassionate, and influential leader in healthcare. I have previously worked as an emergency department nurse, emergency department nursing supervisor, and hospital house supervisor with Ascension Health before working with Drip Hydration. My passion in nursing has always been to improve the lives of the people in my community through compassion and hard work. After living in Farmington Hills for 29 years I feel it is my time and duty to give back to the community.

### References

Mark Kouda- Lieutenant Firefighter Novi fire department-[REDACTED] Luke Yaldo- Partner in Drip Hydration and Venus Hair Restoration-[REDACTED]

---

8/28/2023 8:40:05 PM

---

## Danielle King

---

**From:** postmaster@muniweb.com  
**Sent:** Sunday, November 26, 2023 11:53 PM  
**To:** DistributionList-CityManagerOffice  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

---

<b>Submittor's Name</b>	Sean Thomas
<b>Submittor's Address</b>	[REDACTED]
<b>Submittor's Phone</b>	[REDACTED]
<b>Submittor's Email</b>	[REDACTED]
<b>Interest(s)</b>	Emergency Preparedness Commission

---

### Resume

Emergency Emergency Response Team team Leader ( )sgt Michigan Department of Corrections . Conflict Resolution Counselor /Trainer ( Americorps ) Michigan Institute for Non Violence Education. PTA Board Member Wood creek Elementary School Student Council Government Member Wcccd University of Detroit Mercy Criminal Justice/ Law Administration Michigan Department of Insurance and Financial Services (Licensed Insurance Agent/Broker Agency Owner) Promoter/Producer (Professional Boxing , Live Events ,Television) Briar Hill Board member Briar Hill sub division Block director

---

### References

Dr. Sabrina Jackson (Mental Health Counselor/Television personality) Fox2Detroit Micheal Rodgers ( retired Michigan State Police Sergeant ) Terrance Hardrick retired Michigan Department of Corrections Hearings Investigator and Parole Officer Terri Weems Former PTA Wood creek Board Member current Farmington Hills School Board Member. Micheal Bridges

---

11/26/2023 11:52:02 PM

## Danielle King

---

**From:** postmaster@muniweb.com  
**Sent:** Monday, November 27, 2023 1:56 PM  
**To:** DistributionList-CityManagerOffice  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

---

<b>Submittor's Name</b>	Gerrard W Allen
<b>Submittor's Address</b>	[REDACTED]
<b>Submittor's Phone</b>	[REDACTED]
<b>Submittor's Email</b>	[REDACTED]
<b>Interest(s)</b>	Economic Development Corporation

---

### Resume

Results-driven visionary with a passion for entrepreneurship, art and culture. Demonstrated expertise in leading and implementing long-term initiatives, business development, and managing strategic operational goals. Skilled in overseeing day-to-day operations, supervising sta, and fostering customer satisfaction. Proven ability to manage budgets, develop policies and procedures, and cultivate relationships with external partners. Committed to promoting protability while maintaining a strong focus on organizational growth and success. Education Bachelor of Arts | Communications | Eastern Michigan University Master of Arts | Urban Education | University of Michigan Professional Experience: CEO | Greater Farmington Area Chamber of Commerce | Farmington Hills & Farmington, Michigan| October 2023 - Present Co-Founder & Executive Director | Centric Place | Farmington Hills, Michigan | Aug 2022 - Present Business Forward Consultant | Oakland Thrive | Pontiac, Michigan | March 2023 - Present Board Member | Detroit Community Wealth Fund | Detroit, Michigan | July 2023 - December 2023 Community Director | Curators of Black Excellence | Southeld, Michigan | June 2018 - Present Co-Owner & Events Manager | Detroit Social Pix | Farmington Hills, Michigan | June 2017 - March 2020

---

### References

TR Carr Kristia Brockway Susan Arlin, Former CEO of GFACOC Michael Bridges Jackie Boleware

---

11/27/2023 1:55:29 PM

## Danielle King

---

**From:** postmaster@muniweb.com  
**Sent:** Saturday, December 2, 2023 9:10 AM  
**To:** DistributionList-CityManagerOffice  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

<b>Submittor's Name</b>	Alex Meyers
<b>Submittor's Address</b>	[REDACTED]
<b>Submittor's Phone</b>	[REDACTED]
<b>Submittor's Email</b>	[REDACTED]
<b>Interest(s)</b>	Brownfield Redevelopment Authority Economic Development Corporation Grand River Corridor Improvement Authority Housing Rehabilitation Loan Board Planning Commission

### Resume

United Community Housing Coalition, Detroit, MI Staff Attorney, March 2022 – present • Provide legal advice and advocacy to tenants facing eviction; currently over 600 tenants assisted with a 70% dismissal rate for nonpayment cases and 62% dismissal rate for terminations. • Expertly use technology to maintain an efficient courtroom docket for myself and colleagues. Detroit Mercy Law, Detroit, MI Assistant Director of Admissions & Diversity, April 2019 – February 2022 • Created and implemented plans for each admissions cycle to improve the diversity of the incoming class. • Streamlined the admission process to make data informed decisions and exceed enrollment goals. United Community Housing Coalition, Detroit, MI Student Attorney, August 2017 – December 2017 • Assisted with new client intake and interviews with low-income tenants facing eviction. • Represented tenants under the guidance of a practicing attorney to negotiate fair settlements and legal outcomes. Sugar Law Center for Economic & Social Justice, Detroit, MI Law Clerk, May 2016 – August 2016; Public Policy Advisor, October 2016 – May 2017 • Drafted internal memoranda and explanatory documents. • Conducted legal research into issues ranging from emergency manager provisions to local tax requirements.

### References

Samantha Steckloff, [REDACTED] Ted Phillips, [REDACTED]  
[REDACTED] Jason Hoskins, JHoskins@house.mi.gov, [REDACTED]

---

12/2/2023 9:09:11 AM

**Danielle King**

---

**From:** postmaster@muniweb.com  
**Sent:** Thursday, December 7, 2023 7:45 PM  
**To:** DistributionList-CityManagerOffice  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

---

<b>Submittor's Name</b>	Mary Newlin
<b>Submittor's Address</b>	[REDACTED]
<b>Submittor's Phone</b>	[REDACTED]
<b>Submittor's Email</b>	[REDACTED]
<b>Interest(s)</b>	Grand River Corridor Improvement Authority

---

**Resume**

Previous city council member Registered nurse since 1986 ability to know what is needed to support staff at Corewell Lived in the city and in the corridor since 1987 Known to city staff

---

**References**

Vickie Barnett Multiple city council members City state representative City state senators National congress representative

---

12/7/2023 7:43:47 PM

---

## Danielle King

---

**From:** postmaster@muniweb.com  
**Sent:** Thursday, June 22, 2023 12:59 PM  
**To:** CMO  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

**Submittor's Name** Ashley Gabb

---

**Submittor's Address** [REDACTED]

---

**Submittor's Phone** [REDACTED]

---

**Submittor's Email** [REDACTED]

---

**Interest(s)** Arts Commission|Beautification Commission|Commission on Children, Youth and Families|Committee to Increase Voter Participation|Mayor's Youth Council|Multicultural/Multiracial Community Council

---

### Resume

Ashley Gabb is the Director of Supplier Inclusion and Diversity at The Estée Lauder Companies. Under her leadership the program has exceeded its commitment of doubling spend with Black-owned suppliers and increased its overall spend with diverse and small suppliers by over \$200M. Additionally, she has led the expansion of the program into Europe and South Africa. Prior to joining The Estée Lauder Companies, Ashley was the Supplier Diversity and Employee Experience Manager at HP Inc. where she led their Racial Equity commitments around Supplier Diversity and provided overall operational leadership for the global Supplier Diversity program. She has experience in Communications, Customer Experience and Public Relations and has held leadership roles at Discover Financial Services and Lincoln University. Ashley holds a Master of Laws in International Relations from Xiamen University in China and B.S. in Communications and Broadcast Journalism from Lincoln University. She is a Fulbright Specialist for the U.S. Department of State and has served in France offering her expertise on Diversity and Inclusion. Ashley is also a proud member of Alpha Kappa Alpha Sorority, Inc.

---

### References

Andre Dixon - [REDACTED] Shaquala Swinton - [REDACTED] Taquia Hearn - [REDACTED]

---

6/22/2023  
12:57:59 PM

---

**From:** Dennis Randt <[DRandt@fhgov.com](mailto:DRandt@fhgov.com)>  
**Sent:** Wednesday, December 6, 2023 11:06 AM  
**To:** Danielle King <[DKing@fhgov.com](mailto:DKing@fhgov.com)>  
**Subject:** RE: Boards & Commissions Applicants

I would recommend Asim Khan who is currently an alternate to replace Azam Masood (Vice Chair) who recently resigned his position because of family issues.

**From:** Danielle King <[DKing@fhgov.com](mailto:DKing@fhgov.com)>  
**Sent:** Tuesday, December 5, 2023 1:07 PM  
**Subject:** Boards & Commissions Applicants

Good afternoon,

Mayor Rich will be approving Boards & Commission applicants at the next Council meeting. If you have anyone you would like to recommend, please send their names to me as soon as possible. If they have not applied, please have them do so soon.

**Danielle King**  
Secretary to the City Manager  
*City Manager's Office*  
O: (248) 871-2504  
Email: [dking@fhgov.com](mailto:dking@fhgov.com)



**City of Farmington Hills** | [www.FHgov.com](http://www.FHgov.com)  
31555 W. Eleven Mile Rd. | Farmington Hills, MI 48336



## Danielle King

---

**From:** postmaster@muniweb.com  
**Sent:** Saturday, August 26, 2023 2:23 PM  
**To:** CMO  
**Subject:** Boards and Commissions Questionnaire

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

<b>Submittor's Name</b>	Tiffany Tuttle
<b>Submittor's Address</b>	[REDACTED]
<b>Submittor's Phone</b>	[REDACTED]
<b>Submittor's Email</b>	[REDACTED]
<b>Interest(s)</b>	Commission on Aging

### Resume

Hi, I would like to be involved in the Commission on Aging. I am a geropsychologist with 15 years of experience. I live in FH and have been an advocate for seniors for years. One of my professional and personal goals is to assist members of the senior population in living their best, most vibrant, and fulfilling life. TIFFANYTUTTLE PSY.D FULLY LICENSED PSYCHOLOGIST MICHIGAN ID 6301014697 OHIO LICENSE NUMBER P.08322 Home Address: Farmington Hills, MI 48331 [REDACTED] EDUCATION Psy.D. The Michigan School of Psychology – Farmington Hills, MI – August 2008 M.A. The Center for Humanistic Studies – Farmington Hills, MI – July 2004 B.A. Wayne State University – Detroit MI – December 2002 Psychology – Magna Cum Laude B.A. Wayne State University – Detroit MI – December 2002 Sociology – Magna Cum Laude Seniors Wellness Group Royal Oak, MI February 2011-present Provide psychiatric services to geriatric populations residing in local nursing and rehabilitation facilities. Duties include but are not limited to completing capacity evaluations, assessing residents for dementia, facilitating psychotherapy, providing behavioral management and treatment, facilitating non-pharmacological pain management interventions, completing certifications for inpatient psych hospitalization, and consulting with members of the interdisciplinary team as needed. Radical Well-Being Center Southfield, MI January 2021- January 2023 Supervisor to temporary limited licensed psychologists. I facilitate weekly individual supervision, provide case consultation, and assist therapists in managing urgent clinical issues that arise. Family Services Incorporated Dearborn, MI June 2012-March 2014 Operated as an independent contractor providing outpatient psychotherapy to clients. Populations primarily seen were adolescents, young adults, and older adults. Common clinical areas addressed included coping with trauma, substance abuse, stress management, anxiety, and depression. Theoretical orientation adhered to a combination of humanistic, psychodynamic and cognitive behavioral therapy. Counseling and Resource Center of Dearborn Dearborn, MI Dec 2010-June 2012 Provided weekly therapy to adolescents, adults, and older adults for various clinical issues. Senior Program Manager for Matrix Human Services Detroit, MI September 2009-May 2010 This non-profit organization has been serving the city of Detroit since 1906. It is a 20 million dollar corporation that relies on grants to carryout services. As the program manager of our Senior Division, I supervised a team of 16 who provided in-home wellness services to impoverished seniors across the city. Writing grants, budgeting, implementing monthly in-service trainings, collation of outcome measures, marketing, hiring, negotiating contracts and launching new program initiatives were some of the responsibilities I held. Post-Doctoral Resident for Deer Oaks Behavioral Health Fort Worth, TX August 2008-August 2009 Provided psychiatric services to in-patient residents at nursing and rehabilitation centers. Primary focus was placed upon clinical work with adult and older adult patients experiencing co-occurring medical and mental health issues.

### References

Available upon request.



## ***Interoffice Correspondence***

---

**DATE:** December 11, 2023

**TO:** Gary Mekjian, City Manager

**FROM:** Charmaine Kettler-Schmult, Director of Planning and Community Development

**SUBJECT:** Second Amendment to Planned Unit Development (“PUD”) 5, 1993 Agreement – Kojaian PUD – Construction of Two (2) New Office Buildings

---

Please find attached the draft [Second Amendment to the PUD 5, 1993 Agreement](#). The purpose of the draft Amendment is to revise the Agreement to permit the construction of two (2) new 150,000-square foot office buildings on a vacant parcel on the south side of Twelve Mile Road, between Investment Drive and the JST site.

The Planning Commission unanimously recommended approval of the draft Amendment to City Council following a public hearing on July 21, 2022 ([minutes](#)). City Council approved the plan (5-1) associated with the draft Amendment following a public hearing on August 22, 2022 ([minutes](#)), which just leaves the revised text of the agreement reflecting the Council-approved plan to be approved by Council. The question before Council is simply whether the proposed agreement is consistent with the previously approved plan, as the decisions with regard to the specifics of the PUD Plan approval were made by Council on August 22, 2022.

The draft Amendment to the 1993 Agreement has been reviewed by the City Attorney and Planning and Community Development Department staff, and it appears to be in a form suitable for City Council consideration. Staff will be present to address any questions.

### **ATTACHMENTS:**

- [City Attorney Memorandum](#)
- [Draft Second Amendment to PUD 5, 1993 Agreement and Exhibits](#)
- [July 21, 2022, Planning Commission Public Hearing Minutes](#)
- [August 22, 2022, City Council Public Hearing Minutes](#)
- [Staff memo-PUD 5, 1993 public benefits](#)

STEVEN P. JOPPICH  
sjoppich@rsjalaw.com

27555 Executive Drive, Suite 250  
Farmington Hills, Michigan 48331  
P 248.489.4100 | F 248.489.1726  
rsjalaw.com



ROSATI | SCHULTZ  
JOPICH | AMTSBUECHLER

# LEGAL MEMORANDUM

TO: Farmington Hills City Council

FROM: Steven P. Joppich, City Attorney  
Lisa J. Hamameh, Asst. City Attorney

RE: Kojaian PUD (a/k/a NBD Bank, N.A., PUD)

DATE: December 7, 2023

---

Our office has worked with City Staff to negotiate the terms of the attached "Second Amendment to Planned Unit Development Agreement" and "Third Amendment to Planned Unit Development Agreement" with the owner, developer, and their attorneys. We have reviewed this final draft of the Third Amendment agreement and report to Council that, in our opinion, it is in conformance with the requirements of the City's zoning regulations concerning amendment of planned unit development agreements and City Council's decisions earlier this year to approve the associated PUD Plan amendments.

**STATE OF MICHIGAN  
COUNTY OF OAKLAND  
CITY OF FARMINGTON HILLS**

**SECOND AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT  
KOJAIAN PUD**

**THIS SECOND AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT** (the "Second Amendment to PUD Agreement"), dated \_\_\_\_\_, 2023, is made and entered into by and between the **CITY OF FARMINGTON HILLS**, a Michigan municipal corporation, having the address of 31555 West Eleven Mile Road, Farmington Hills, Michigan 48336, hereinafter referred to as and called the "City", and **FARMINGTON HILLS CORPORATE INVESTORS, LLC**, a Michigan limited liability company, whose address is 39400 Woodward Ave., Suite 250, Bloomfield Hills, MI 48304, and **FARMINGTON HILLS VII CORPORATE INVESTORS, LLC**, a Michigan limited liability company, whose address is 39400 Woodward Ave., Suite 250, Bloomfield Hills, MI 48304, both of whom are sometimes hereinafter referred to together as "Kojaian."

**RECITALS:**

A. Kojaian, as successor to NBD Bank, N.A., and the City are parties to a certain Planned Unit Development Agreement dated October 28, 1994, recorded on January 27, 1995, in Liber 15225, Page 50, Oakland County Records (the "PUD Agreement"), pertaining to approximately 138.2749 acres of real property situated in the City of Farmington Hills, Oakland County, Michigan, being more particularly described in attached **Exhibit A** to the PUD Agreement (hereinafter referred to as the "Property").

B. Farmington Hills Corporate Investors is the developer of the Property and retains control over the common elements within the Planned Unit Development, being PUD Plan 5, 1993.

C. On February 28, 2022, the City Council considered and approved a First Amendment to the PUD Plan 5, 1993, dated January 4, 2022, including Site Plan 65-10-2021, dated January 4, 2022 (hereinafter referred to as the "First Amendment"), to develop approximately a 2.59-acre part of parcel 22-23-17-201-014.

D. On May 9, 2022, the City Council considered and approved the First Amendment to Planned Unit Development Agreement, dated June 6, 2022, and recorded on June 15, 2022, in Liber 57858, Page 733, Oakland County Records (the "First Amendment to PUD Agreement"), relating to the First Amendment.

E. Farmington Hills VII Corporate Investors, LLC is the fee owner and Farmington Hills Corporate Investors, LLC is the developer of approximately 18.11 acres of the Property located at the southeast corner of W. 12 Mile Road and Investment Drive, more particularly described in attached **Exhibit B** (hereinafter referred to as the "Second Amended Property").

F. Kojaian requested a second amendment to PUD Plan 5, 1993, as it pertains to the Second Amended Property.

G. On July 21, 2022, after providing notice as required by law, a public hearing on Kojaian's application for a second amendment to PUD Plan 5, 1993, including Site Plan 58-4-2022, was held before the City Planning Commission. The City did not receive objections to the requested amendment.

H. The City Planning Commission considered and recommended City Council approve Kojaian's proposed second amendment to the PUD Plan, being PUD Plan 5, 1993, Amended, including Site Plan 58-4-2022, to develop the Second Amended Property consistent with the City's OS-4 zoning classification, subject to certain conditions.

I. On August 22, 2022, the City Council considered and approved Kojaian's proposed Second Amendment to the PUD Plan, being PUD Plan 5, 1993, dated August 4, 2022, including Site Plan 58-4-2022, dated August 4, 2022 (hereinafter referred to as the "Second Amendment," and attached hereto as **Exhibit C**), to develop the Second Amended Property consistent with the City's OS-4 zoning classification, subject to certain conditions, including the approval, execution and recording of a second amendment to the PUD Agreement

J. Kojaian accepts any and all risks associated with the City's approval of the Second Amendment and agrees to release and hold the City harmless from any and all claims, liabilities, causes of action, damages, judgments, attorney fees, court costs, and expenses which arise out of or are related to the City's approval of the Second Amendment.

K. Pursuant to Section 25 of the PUD Agreement and in accordance with the procedures set forth in Section 34-3.20 of the City's Zoning Ordinance, Kojaian and the City desire to amend the PUD Agreement for the purposes set forth in this Second Amendment to PUD Agreement.

**NOW, THEREFORE**, in consideration of the covenants contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed as follows:

1. All references in the PUD Agreement to the PUD Plan, site plan, landscape plan and any other plans, elevations and surveys are hereby amended to include and shall be amended to include the First Amendment, attached to the First Amendment to PUD Agreement and the Second Amendment (attached hereto as Exhibit C).
2. Paragraph 2 of the PUD Agreement is removed and replaced, in full, by the following:  
  
"The property shall be developed only in accordance with: (a) the Agreement, as amended; (b) the Planned Unit Development plan approved by City Council

on August 8, 1994, as amended on February 28, 2022 and on August 22, 2022; (c) the site plans and landscape plans that have been or are to be approved by the Planning Commission; and (d) the engineering plans that have been or are to be approved by the City Administration.”

3. Paragraph 10 of the PUD Agreement is removed and replaced, in full, by the following:

“Within those areas designated, by the coordinates shown on the Planned Unit Development plan as “greater height zones”, buildings may be constructed to a height not to exceed fifty-five (55) feet. The first floor level of a building which exceeds forty (40) feet shall not be above eight hundred sixty (860) feet above sea level U.S.G.S. Not more than thirty-five percent (35%) of the land area covered by buildings (exclusive of parking buildings) may be devoted to buildings in excess of forty (40) feet in height. In no event shall a parking building exceed forty (40) feet in height. Communication towers and satellite antennas shall be located only within the greater height zones.

Notwithstanding anything to the contrary contained herein, two buildings on the Second Amended Property may be constructed to a height not to exceed fifty-five (55) feet and not to exceed four (4) stories, as depicted on the Second Amendment, being PUD Plan 5, 1993, dated August 4, 2022, including Site Plan 58-4-2022, dated August 4, 2022, and incorporated as Exhibit C to the Second Amendment to PUD Agreement.”

4. Kojaian acknowledges and understands that the development of the Second Amended Property, particularly in relation to the utility installation under the wetlands, the retaining wall installation, and the fill in the wetlands in order to construct the parking lot, will require a permit(s) from the Michigan Department of Environment, Great Lakes, and Energy.
5. Kojaian acknowledges that, at the time of the execution of this Second Amendment to PUD Agreement, Kojaian has not yet obtained engineering approvals for the development of the Second Amended Property. Kojaian acknowledges that the Engineering Division of the City may impose additional conditions other than those contained in this Second Amendment during its plan reviews and approvals as authorized by law; provided, however, that such conditions shall not be inconsistent with the PUD Plan, as amended by the First Amendment and Second Amendment documents. The plans approved by the Engineering Division and any conditions imposed by the Engineering Division as authorized by law shall be incorporated into and made a part of this Second Amendment automatically upon issuance of the City Engineering Division’s approval of same and without the necessity of amending this Second Amendment, and shall be enforceable against Kojaian in the event Kojaian proceeds with the development on the Second Amended Property.
6. The exhibits attached hereto and the recital paragraphs set forth above are hereby incorporated into this Second Amendment to PUD Agreement by this reference as though fully set forth herein.

7. The parties acknowledge and agree that, except as expressly set forth in the First Amendment to PUD Agreement and this Second Amendment to PUD Agreement; all of terms, conditions and obligations contained in the Agreement remain unchanged and are in full force and effect.
8. This Second Amendment to PUD Agreement shall be recorded at the Oakland County Register of Deeds Office.

[Signatures on Next Page]







EXHIBIT A

PROPERTY LEGAL DESCRIPTION  
(Attached)

P.U.D #5, 1993/NATIONAL BANK OF DETROIT

LEGAL DESCRIPTION AS FIELD SURVEYED BY  
SPALDING, DEDECKER & ASSOCIATES, INC. (JUNE 1994)

A PARCEL OF LAND LOCATED IN AND BEING A PART OF THE NORTH ONE HALF OF SECTION 17, T1N, R9E, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17. THENCE N88°05'57"E 221.96' ALONG THE NORTH LINE OF SAID SECTION: THENCE S2°03'48"E 73.00' TO THE POINT OF BEGINNING; THENCE N88°05'57"E 320.00' PARALLEL WITH AND 73' SOUTHERLY OF THE NORTH LINE OF SAID SECTION 17; THENCE S2°03'48"E 10.00'; THENCE S89°26'32"E 220.23'; THENCE N2°03'48"W 10.00'; THENCE S89°26'32"E 550.57'; THENCE N2°03'48"W 73.06'; THENCE N88°05'57"E 1311.56' TO A POINT ON THE NORTH AND SOUTH ONE-QUARTER LINE OF SAID SECTION 17; THENCE N88°06'09"E 1315.86' TO THE LEGAL EAST SIXTEENTH LINE AS ESTABLISHED PER THIS SURVEY; THENCE S2°18'07"E 1371.48' ALONG THE LEGAL SIXTEENTH LINE AS ESTABLISHED BY "FORESTBROOK ESTATES" SUBDIVISION, RECORDED IN L.102, P.24, OAKLAND COUNTY PLAT RECORDS TO A POINT ON THE NORTHERN LINE OF INTERSTATE 696; THENCE S85°28'10"W 659.10' ALONG THE NORTHERN LINE OF INTERSTATE 696; THENCE ALONG A CURVE TO THE LEFT 3276.96' ( $\Delta = 16^{\circ}06'28"$ , RADIUS = 11656.16, CHORD BEARING = S77°26'48"W 3266.18') ALONG THE NORTHERN LINE OF INTERSTATE 696 TO A POINT ON THE EASTERN RIGHT-OF-WAY LINE OF HALSTED ROAD; THENCE N2°03'49"W 266.08 PARALLEL WITH AND 75' EASTERLY OF THE WESTERN LINE OF SECTION 17; THENCE S87°56'12"W 25.00'; THENCE N2°03'48"W 454.82'; THENCE S87°56'12"W 17.00'; THENCE N2°03'48"W 397.17'; THENCE N87°56'12"E 27.00'; THENCE N2°03'48"W 329.83'; THENCE N88°05'58"E 261.96'; THENCE N2°03'48"W 60.00'; THENCE S88°05'57"W 268.96'; THENCE N2°03'48"W 40.00'; THENCE N88°05'57"E 168.96'; THENCE N2°03'48"W 417.67' TO THE POINT OF BEGINNING. CONTAINING 138.2749 ACRES OF LAND.

Exhibit B

SECOND AMENDED PROPERTY LEGAL DESCRIPTION

**DESCRIPTION OF A 28.59 ACRE PARCEL (FUTURE PARCEL A) OF LAND LOCATED IN THE NORTH 1/2 OF SECTION 17, T1N, R9E, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN**

Commencing at the North 1/4 corner of Section 17, Town 1 North, Range 9 East, City of Farmington Hills, Oakland County, Michigan, thence South 01 degrees 53 minutes 59 seconds East 120.00 feet to the Southerly Right-of-Way line of 12 Mile Road (Variable Width) for a PLACE OF BEGINNING; thence along said Southerly Right-of-Way line, North 88 degrees 06 minutes 09 seconds East 1063.58 feet; thence South 02 degrees 03 minutes 48 seconds East 46.39 feet; thence South 14 degrees 25 minutes 54 seconds East 102.16 feet; thence South 02 degrees 03 minutes 48 seconds East 313.94 feet; thence South 55 degrees 38 minutes 31 seconds West 253.68 feet; thence South 02 degrees 18 minutes 07 seconds East 708.87 feet to the Northerly Right-of-Way line of Interstate 696 (300 feet wide); thence along said Northerly line the following two courses: South 85 degrees 28 minutes 10 seconds West 210.71 feet and 240.75 feet along the arc of a curve to the left (having a Central Angle of 01 degrees 11 minutes 08 seconds, a Radius of 11,634.65 feet and a Chord bearing South 84 degrees 54 minutes 31 seconds West, 240.74 feet); thence North 03 degrees 05 minutes 46 seconds West 272.15 feet; thence North 63 degrees 01 minutes 14 seconds West 289.81 feet; thence North 62 degrees 07 minutes 25 seconds West 608.03 feet; thence North 02 degrees 57 minutes 08 seconds West 84.05 feet; thence North 87 degrees 58 minutes 27 seconds East 30.58 feet; thence North 02 degrees 01 minutes 33 seconds West 60.00 feet; thence North 87 degrees 58 minutes 27 seconds East 121.37 feet; thence North 27 degrees 24 minutes 44 seconds East 234.53 feet; thence North 01 degrees 54 minutes 03 seconds West 265.28 feet to the Southerly Right-of-Way line of said 12 Mile Road; thence North 88 degrees 05 minutes 57 seconds East 95.28 feet along said Southerly Right-of-Way line to the Place of Beginning, containing 28.59 acres of land, more or less, being subject to easements, conditions, restrictions and exceptions or record, if any.

Vacant Property

Parcel ID Part of 23-17-201-014

Farmington Hills VII Corporate Investors, LLC

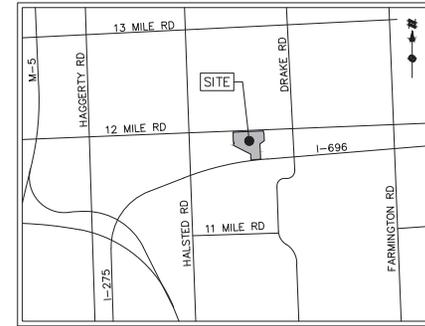
EXHIBIT C

SECOND 2022 PLAN AMENDMENT  
(Attached)

# FHCC OFFICE BUILDING DEVELOPMENT

CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN  
TAX ID: PART OF 23-17-201-013

## SITE PLANS



VICINITY MAP  
NOT TO SCALE

### DEVELOPMENT TEAM

#### DEVELOPER

KOJAJAN MANAGEMENT CORP  
39400 WOODWARD AVE., SUITE 250  
BLOOMFIELD HILLS, MI 48304  
CONTACT: TONY ANTONIO  
PHONE: 248-644-7600

#### ARCHITECT

YAMASAKI INC.  
THE FISHER BUILDING  
3011 WEST GRAND BLVD., SUITE 222  
DETROIT, MI 48202  
CONTACT: ROBERT SZANTNER  
PHONE: 877-547-0885

#### CIVIL ENGINEER

ATWELL, LLC  
12745 23 MILE ROAD, SUITE 200  
SHELBY TOWNSHIP, MI 48315  
CONTACT: JOHN ACKERMAN  
PHONE: 248-477-2000

### GOVERNING AGENCIES / UTILITY CONTACTS

#### MUNICIPALITY

PLANNING DEPARTMENT  
31555 W. ELEVEN MILE ROAD  
FARMINGTON HILLS, MI 48336-1103  
CONTACT: JERI LABELLE  
PHONE: 248-871-2544

#### WATER & SEWER

PUBLIC WORKS  
27245 HALSTED  
FARMINGTON HILLS, MI 48334  
CONTACT: KEVIN McCARTHY  
PHONE: 248-871-2850

### PROPERTY DESCRIPTION

PROPOSED DESCRIPTION OF A 18.11 ACRE PARCEL OF LAND LOCATED IN THE NORTH 1/2 OF SECTION 17, T1N, R9E, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN

COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 17, TOWN 1 NORTH, RANGE 9 EAST, CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, THENCE SOUTH 01 DEGREES 53 MINUTES 59 SECONDS EAST 120.00 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF 12 MILE ROAD (VARIABLE WIDTH) FOR A PLACE OF BEGINNING; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE, NORTH 88 DEGREES 06 MINUTE 09 SECONDS EAST 1063.58 FEET; THENCE SOUTH 02 DEGREES 03 MINUTES 48 SECONDS EAST 46.39 FEET; THENCE SOUTH 14 DEGREES 25 MINUTES 54 SECONDS EAST 102.16 FEET; THENCE SOUTH 02 DEGREES 03 MINUTES 48 SECONDS EAST 313.94 FEET; THENCE SOUTH 55 DEGREES 38 MINUTES 31 SECONDS WEST 253.68 FEET; THENCE SOUTH 02 DEGREES 18 MINUTES 07 SECONDS EAST 58.62 FEET; THENCE SOUTH 87 DEGREES 39 MINUTES 36 SECONDS WEST 982.88 FEET; THENCE NORTH 37 DEGREES 26 MINUTES 23 SECONDS WEST 234.02 FEET; THENCE SOUTH 87 DEGREES 58 MINUTES 27 SECONDS WEST 28.66 FEET; THENCE NORTH 02 DEGREES 01 MINUTES 33 SECONDS WEST 60.00 FEET; THENCE NORTH 87 DEGREES 58 MINUTES 27 SECONDS EAST 121.37 FEET; THENCE NORTH 27 DEGREES 24 MINUTES 44 SECONDS EAST 234.53 FEET; THENCE NORTH 01 DEGREES 54 MINUTES 03 SECONDS WEST 265.28 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID 12 MILE ROAD; THENCE NORTH 88 DEGREES 05 MINUTE 57 SECONDS EAST 95.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE PLACE OF BEGINNING, CONTAINING 18.11 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS ON RECORD, IF ANY.

### PROJECT NARRATIVE

THIS PROJECT PROPOSES TO CONSTRUCT TWO 4-STORY OFFICE BUILDINGS ON APPROXIMATELY 18 ACRES OF LAND IN THE EXISTING FARMINGTON HILLS CORPORATE CAMPUS. EACH BUILDING WILL HAVE A 37,500 SF FOOTPRINT AND CONTAIN 150,000 SF OF OFFICE SPACE. THESE USES ARE INCLUDED IN THE APPROVED PUD AGREEMENT FOR THE PROPERTY AND NO AMENDMENTS ARE REQUIRED. THE DEVELOPMENT WILL UTILIZE A REGIONAL STORM WATER BASIN AND WILL BE SERVICED BY PUBLIC WATER AND SEWER BEING EXTENDED TO THE SITE. SMALL RETAINING WALLS ARE PROPOSED IN A COUPLE OF LOCATIONS TO AVOID ANY WETLAND IMPACTS FOR THE DEVELOPMENT.

### NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CITY OF FARMINGTON HILLS STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FRANCHISE UTILITY (GAS, ELECTRIC, DATA) CONSTRUCTION, REMOVAL AND RELOCATIONS. ANY FRANCHISE UTILITY INFORMATION ON THESE PLANS IS SHOWN FOR REFERENCE ONLY.
- EXTERIOR LIGHTING SHALL NOT OPERATE DURING DAYLIGHT HOURS.
- BUILDING FACADE AND LANDSCAPE LIGHTING SHALL BE TURNED OFF BETWEEN MIDNIGHT OR ONE HOUR AFTER CLOSE OF BUSINESS, WHICHEVER IS LATER, AND 6:00 AM OR OPENING, WHICHEVER IS EARLIER.
- ALL OTHER EXTERIOR LIGHTING SHALL BE REDUCED TO NO GREATER THAN 70% OF THE MAXIMUM FROM MIDNIGHT OR ONE HOUR AFTER CLOSE OF BUSINESS, WHICHEVER IS LATER, AND 6:00 AM OR OPENING, WHICHEVER IS EARLIER.
- USE OF OCCUPANCY SENSORS TO TURN OFF OR REDUCE LIGHTING WITHIN 15 MINUTES OF ZERO OCCUPANCY IS RECOMMENDED.

### SHEET INDEX

SH. #	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITIONS
3	SITE LAYOUT PLAN
4	TREE PRESERVATION PLAN
5	TREE LIST
6	TREE LIST
7	TREE LIST
8	TREE LIST
9	LANDSCAPE PLAN
10	LANDSCAPE DETAILS
11	PRELIMINARY GRADING & STORMWATER PLAN
12	PRELIMINARY UTILITY PLAN

### ARCHITECTURAL SHEETS

SH. #	SHEET TITLE
1	GROUND FLOOR PLAN
2	TYPICAL FLOOR PLAN
3	SOUTH - ELEVATION
4	BUILDING VIEW 01
5	BUILDING VIEW 02
6	BUILDING VIEW 03
7	FACADE DETAIL

### ADDITIONAL SHEETS

- DUMPSTER ENCLOSURE DETAILS
- PHOTOMETRIC PLAN



Know what's below.

Call before you dig.

BE CAUTION OF BURIED UTILITIES. CALL BEFORE YOU DIG. THE CITY OF FARMINGTON HILLS HAS A RECORD OF BURIED UTILITIES. ANY UNDETERMINED UTILITIES MAY BE LOCATED BY CONTACTING THE CITY OF FARMINGTON HILLS. THE CONTRACTOR SHALL OBTAIN THE LATEST VERSION OF ALL COMMERCIAL MAPS AND AGREE TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR OTHER PERSONS. FAILURE TO FOLLOW THESE PRECAUTIONS MAY BE CONSIDERED A VIOLATION OF THE CITY OF FARMINGTON HILLS ORDINANCES AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES.



SECTION 17  
TOWN 1 NORTH, RANGE 9 EAST  
CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN

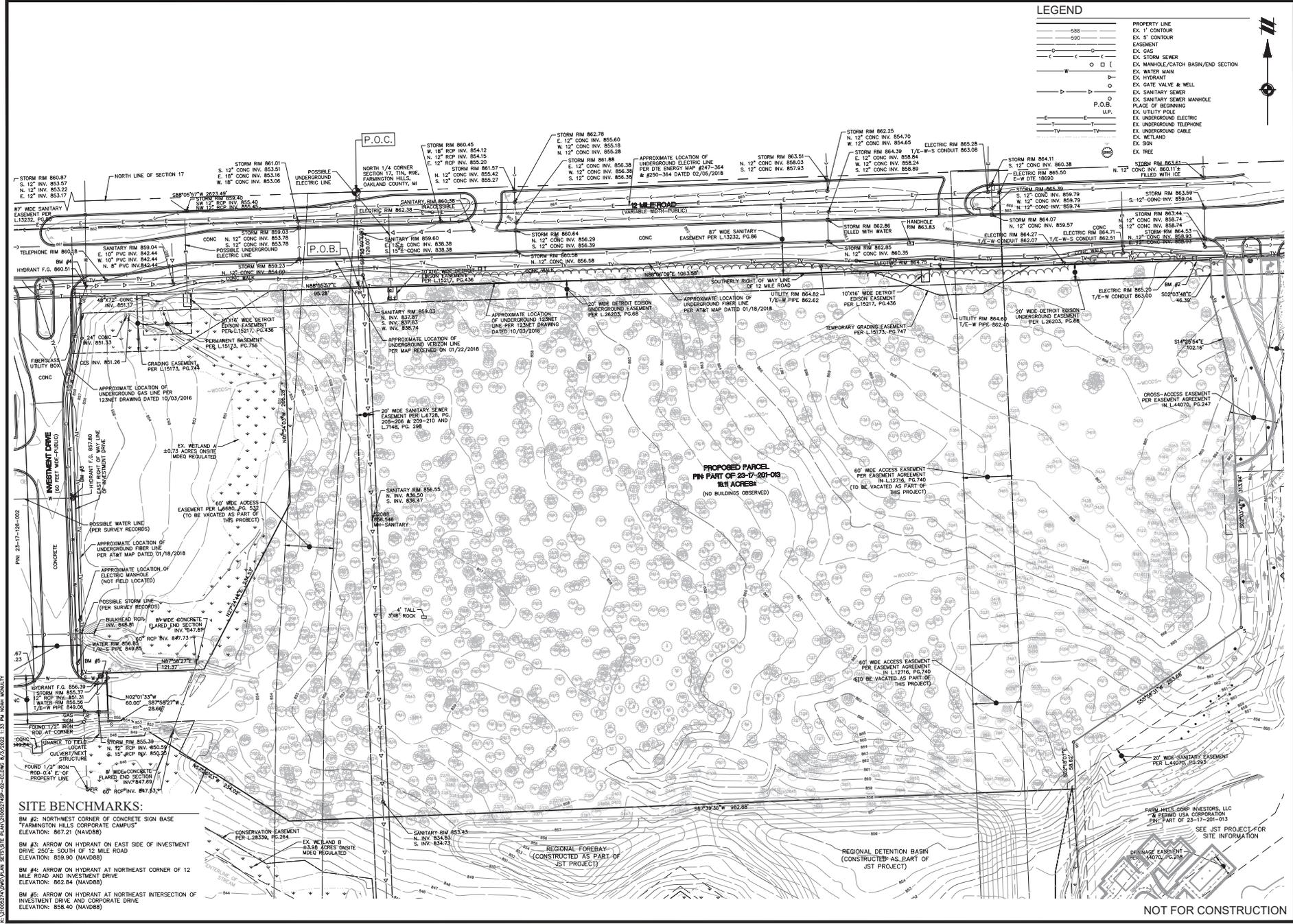
KOJAJAN MANAGEMENT CORP.  
FARMINGTON HILLS CORPORATE CAMPUS  
OFFICE BUILDING DEVELOPMENT  
SITE PLANS  
COVER SHEET

DATE: APR. 18, 2022  
05-20-2022 REV.  
06-27-2022 REV.  
08-04-2022 REV.

REVISIONS  
NA NA NA  
N/A

DRAWN BY: NH  
CHECKED BY: AK  
P.M.: J. ACKERMAN  
JOB #: 21005274  
FILE CODE: -  
SHEET NO. 1

NOT FOR CONSTRUCTION



LEGEND	
---	PROPERTY LINE
---	EX. 1" CONTOUR
---	EX. 5" CONTOUR
---	EASEMENT
---	EX. GAS
---	EX. STORM SEWER
---	EX. MANHOLE/CATCH BASIN/END SECTION
---	EX. WATER MAIN
---	EX. HYDRANT
---	EX. GATE VALVE & WELL
---	EX. SANITARY SEWER
---	EX. SANITARY SEWER MANHOLE
---	PLACE OF BEGINNING
---	EX. UTILITY POLE
---	EX. UNDERGROUND ELECTRIC
---	EX. UNDERGROUND TELEPHONE
---	EX. UNDERGROUND CABLE
---	EX. WETLAND
---	EX. SOIL
---	EX. TREE

**311**  
Know what's below.  
Call before you dig.  
THE LOCATION OF UTILITIES, UNDERGROUND OR SURFACE, IS THE RESPONSIBILITY OF THE USER. ANY INFORMATION PROVIDED BY THE CITY OF FARMINGTON HILLS IS PROVIDED AS A SERVICE TO THE USER. THE CONTRACTOR SHALL OBTAIN THE EXACT LOCATION OF ALL UTILITIES AND MANHOLES FROM THE CITY OF FARMINGTON HILLS. THE USER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR MANHOLES CAUSED BY THE CONTRACTOR'S FAILURE TO OBTAIN THE EXACT LOCATION OF UTILITIES AND MANHOLES. THE USER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR MANHOLES CAUSED BY THE USER'S FAILURE TO OBTAIN THE EXACT LOCATION OF UTILITIES AND MANHOLES. THE USER SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES OR MANHOLES CAUSED BY THE USER'S FAILURE TO OBTAIN THE EXACT LOCATION OF UTILITIES AND MANHOLES.

**ATWELL**  
ATWELL & ASSOCIATES, INC.  
10000 W. 12 MILE ROAD, SUITE 700  
TROY, MI 48068  
TEL: 248.447.2000  
WWW.ATWELLINC.COM

SECTION 17  
TOWN 1 NORTH, RANGE 9 EAST  
CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN  
KOJAJIAN MANAGEMENT CORP.  
FARMINGTON HILLS CORPORATE CAMPUS  
OFFICE BUILDING DEVELOPMENT  
SITE PLANS  
EXISTING CONDITIONS

**SITE BENCHMARKS:**  
BM #2: NORTHWEST CORNER OF CONCRETE SIGN BASE "FARMINGTON HILLS CORPORATE CAMPUS" ELEVATION: 867.21 (NAVD88)  
BM #3: ARROW ON HYDRANT ON EAST SIDE OF INVESTMENT DRIVE 250' SOUTH OF 12 MILE ROAD ELEVATION: 859.90 (NAVD88)  
BM #4: ARROW ON HYDRANT AT NORTHEAST CORNER OF 12 MILE ROAD AND INVESTMENT DRIVE ELEVATION: 862.84 (NAVD88)  
BM #5: ARROW ON HYDRANT AT NORTHEAST INTERSECTION OF INVESTMENT DRIVE AND CORPORATE DRIVE ELEVATION: 858.40 (NAVD88)

NOT FOR CONSTRUCTION

DATE: APR. 18, 2022  
05-20-2022 REV  
06-21-2022 REV  
08-04-2022 REV  
REVISIONS  
SCALE: 1" = 50 FEET  
DRAWN BY: JAK  
CHECKED BY: JAK  
P.M.: J. AKERMAN  
JOB #: 21005274  
FILE CODE: -  
SHEET NO. 2





3:1000224P-05-REV01 (SHEET 4) 2/2022 1:30 PM KJM/MSJ

Table with columns: Tree Species, Quantity, Diameter, Height, etc. (Columns 1-10)

Table with columns: Tree Species, Quantity, Diameter, Height, etc. (Columns 11-20)

Table with columns: Tree Species, Quantity, Diameter, Height, etc. (Columns 21-30)

REFER TO SHEET 4 FOR TREE REPLACEMENT CALCULATIONS



Call before you dig. THE LOCATION OF UTILITIES... CALL BEFORE YOU DIG... 811

NOTICE: CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR... ATWELL CONSULTING



SECTION 17 TOWN OF NORTH RANGE 9 EAST CITY OF FARMINGTON HILLS OAKLAND COUNTY, MICHIGAN

KOJAJAN MANAGEMENT CORP. FARMINGTON HILLS CORPORATE CAMPUS OFFICE BUILDING DEVELOPMENT SITE PLANS TREE LIST

DATE: APR. 18, 2022 05-20-2022 REV 06-27-2022 REV 08-04-2022 REV

REVISIONS NA NA NA

DRAWN BY: NJM CHECKED BY: AK P.M.: J. AKERMAN JOB #: 21005274 FILE CODE: - SHEET NO. 5

NOT FOR CONSTRUCTION

3:13:00PM WORK PLAN SET DATE: 2/20/22 10:57 AM NOW: MONDAY

Table with columns: Tree Name, Species, Diameter (DBH), Height, Condition, Location, etc. This is the first of three tables for tree replacement calculations.

Table with columns: Tree Name, Species, Diameter (DBH), Height, Condition, Location, etc. This is the second of three tables for tree replacement calculations.

Table with columns: Tree Name, Species, Diameter (DBH), Height, Condition, Location, etc. This is the third of three tables for tree replacement calculations.

REFER TO SHEET 4 FOR TREE REPLACEMENT CALCULATIONS

Vertical sidebar containing: 311 logo, 'Call before you dig' notice, 'NOTICE' regarding construction safety, 'ATWELL' logo and contact info, 'SECTION 17' title, 'TOWN OF NORTH RANGE 9 EAST' location, 'CITY OF FARMINGTON HILLS' location, 'OFFICE BUILDING DEVELOPMENT' project name, 'TREE LIST' title, 'DATE' and revision dates, 'DRAWN BY: NJ' and 'CHECKED BY: AKERMAN' info, and 'SHEET NO. 6'.

NOT FOR CONSTRUCTION





### LANDSCAPE REQUIREMENTS SUMMARY

ITEM	QTY PROVIDED	QTY REQUIRED	FORMULA
PARKING LOT TREES	149 TREES	149 TREES	1/2800 S.F. PAVING (416,482 PROVIDED)

REFER TO SHEETS 4-8 FOR TREE REMOVAL/REPLACEMENT AND TREE SURVEY

### DECIDUOUS TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AK	20	ACER RUBRUM	RED MAPLE	3" CAL.	848
ARA	12	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	3" CAL.	848
BN	36	BETULA NIGRA	RIVER BIRCH	2" CAL.	848
GT	52	GLEDITSIA TRICANTHOS V. INERMIS	THORNLESS HONEYLOCUST	3" CAL.	848
LC	66	LILIA DORATA	LITTLELEAF LINDEN	3" CAL.	848

TOTAL: 149 CANOPY TREES & 36 ORNAMENTAL TREES

### SHRUB SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
BOV	48	BUXUS 'GREEN JEM'	GREEN JEM BOXWOOD	24" HT.	CONT.
CS	36	CORNUS SERICEA	REDOSGEE DOGWOOD	24" HT.	CONT.
EA	40	EVONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	24" HT.	CONT.
HP	28	HYDRANGEA PANCULATA 'LIMELIGHT'	LIMELIGHT HYDRANGEA	24" HT.	CONT.
S.P.	32	SPIREA JAPONICA V. ALPINA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	24" HT.	CONT.
TM	170	TAXUS DENSIFORMIS	DENSE YEW	30" HT.	CONT.

TOTAL: 354

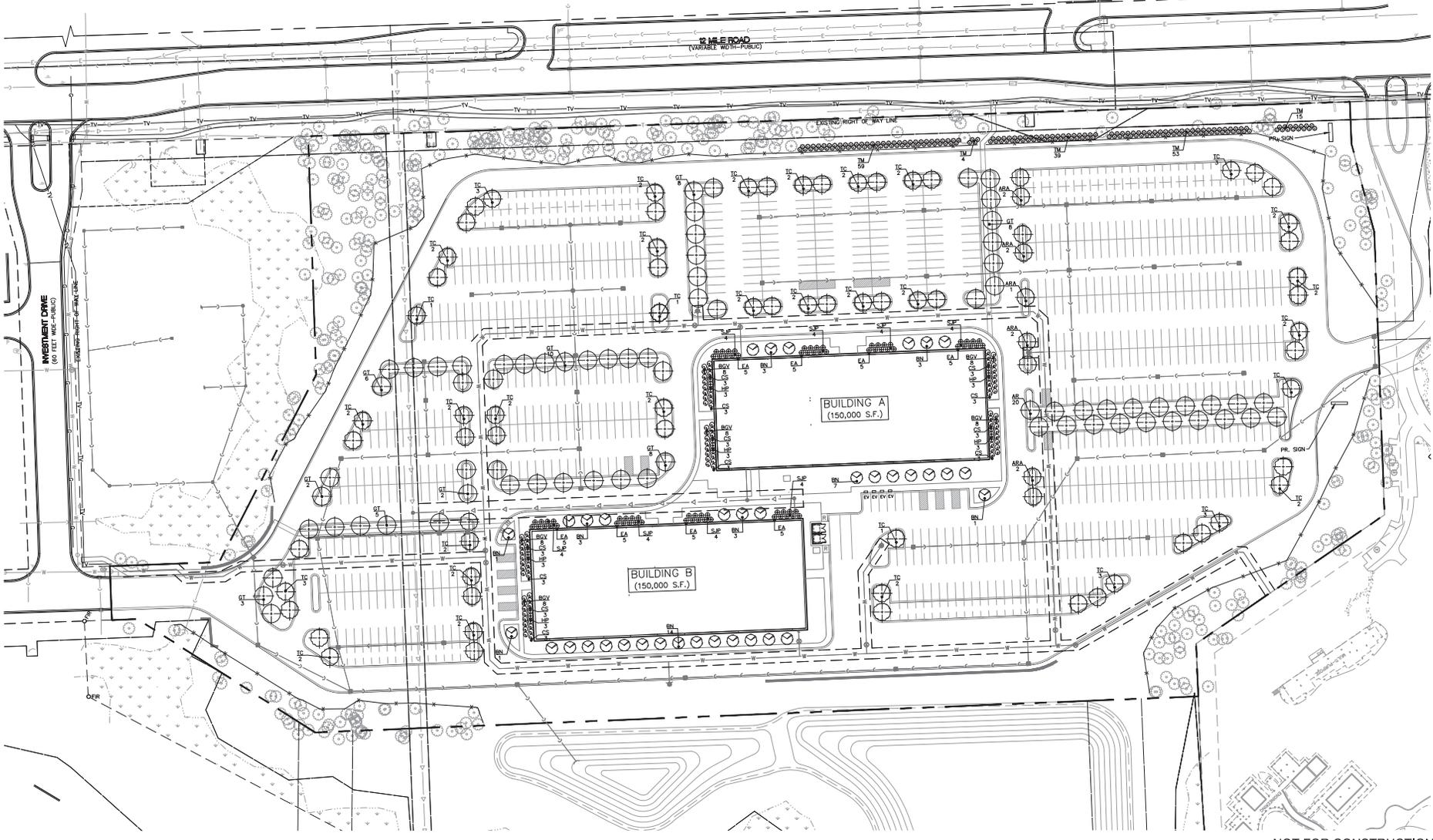
### LEGEND

	PROPERTY LINE		PROPOSED DECIDUOUS TREE
	SANITARY SEWER		EXISTING TREE
	STORM SEWER		PROPOSED SHRUB
	WATERMAIN		
	GAS		
	UNDERGROUND CABLE		
	UNDERGROUND TELEPHONE		
	PROPOSED SNOWFENCE		

### PLANT KEY

DA	PLANT KEY (REFER TO SCHEDULE)
(3)	PLANT QUANTITY

NOTE: THE LOCATION OF PROTECTIVE WOOD SNOWFENCE SHALL BE NO CLOSER THAN SIX (6) FEET FROM THE TRUNK OR AT THE DRIP LINE, WHICHEVER IS GREATER, OF ALL SUCH TREES OR GROUPS OF TREES.



**311**  
Know what's below.  
Call before you dig.  
THE LOCATION OF ANY UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

**ATWELL**  
LANDSCAPE ARCHITECTS  
200 SOUTH ZEEB AVENUE SUITE 700  
TROY, MICHIGAN 48063  
TEL: 248.447.2000

SECTION 17  
TOWN 1 NORTH, RANGE 9 EAST  
CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN

KOJAJAN MANAGEMENT CORP.  
FARMINGTON HILLS CORPORATE CAMPUS  
OFFICE BUILDING DEVELOPMENT  
SITE PLANS  
LANDSCAPE PLAN

DATE: APR. 18, 2022  
05-20-2022 REV.  
06-27-2022 REV.  
08-04-2022 REV.

REVISIONS

NO.	DESCRIPTION

SCALE: 1" = 50 FEET  
DRAWN BY: JM  
CHECKED BY: AK  
P.M.: J. AKERMAN  
JOB #: 21005274  
FILE CODE: -  
SHEET NO. 9

NOT FOR CONSTRUCTION

C:\005274\LANDSCAPE\LANDSCAPE PLAN\02022\05-20-2022-06-LENDW 07/2022 3:14 PM WMM/MON/1

## GENERAL NOTES

- LANDSCAPE CONTRACTOR (CONTRACTOR) SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTINGS AND RELATED WORK. LANDSCAPE CONTRACTOR TO IDENTIFY ALL UTILITY LOCATIONS ON THE PROJECT. LANDSCAPE CONTRACTOR AND BY CALLING 811 PRIOR TO STAMPING PLAN. LOCATIONS IN CASE OF DISCREPANCIES BETWEEN THE STAMPED PLAN AND GENERAL QUANTITIES CONTACT LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE WITH ANY CONCERNS. SPECIES LISTED IN THE PLAN LIST ARE MINIMUM SIZES TO WHICH THE PLANTS ARE TO BE INSTALLED.
- FOR ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE END OF THE WORK. ALL TREE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. TO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREA.
- LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
- WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUBS MASSINGS ARE FOUND ON SITE, WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED AND/OR ARE IN AN AREA TO BE GRADED. ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE PRIOR TO REMOVAL.
- ALL EXISTING TREES TO REMAIN TO BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED BY THE LANDSCAPE ARCHITECT AND OWNER BY THE LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMEN. ALL LANDSCAPING SHALL BE INSTALLED AND MAINTAINED TO MEET OR EXCEED THE STANDARDS OF THE AUTHORITY HAVING JURISDICTION AND IN ACCORDANCE WITH CURRENT INDUSTRY STANDARDS IN A NEAT, HEALTHY AND WEED FREE CONDITION.
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATION AS NECESSARY TO "STAKE UP" TORUSAL DEPTH IN ALL PLANTING BEDS AND 4" TORUSAL DEPTH IN ALL LAWN AREAS. BACKFILL AND CORNER PAVING LOT PLANTING 6" ABOVE ADJACENT CURBS WITH TORUSAL BACKFILL CHECKED BEHIND LAWN AREAS AND ALL SIDEWALKS AND COMPACT TO TOP OF CURB OR WALK TO SUPPORT WALKS AND PEDESTRIAN HEIGHT WITHOUT SETTING.
- ACCEPTANCE OF GRASSING AND SOO/SEED SHALL BE BY LANDSCAPE ARCHITECT AND/OR PROJECT REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL ASSUME MAINTENANCE RESPONSIBILITIES INCLUDING WATERING, WEEDING, REPLACEMENT OF WASH-OUTS AND OTHER OPERATIONS NECESSARY TO KEEP SOO/SEED IN A THRESHOLD CONDITION UPON FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. ALL MAINTENANCE RESPONSIBILITIES.
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD AS REQUIRED.
- REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- OWNER OR OWNER'S REPRESENTATIVE SHALL INSPECT LANDSCAPE INSTALLATION AND HAVE THE RIGHT TO REJECT AND WITHHOLD PAYMENT ON ANY PLANT MATERIAL(S) OF DAMAGED OR POOR QUALITY OR NOT MEETING SPECIFICATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPE WORK. ALL PLANT MATERIALS SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL, EROSION AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. THE LANDSCAPE CONTRACTOR SHALL PREVENT EROSION AND DUST BY CONTACT WITH TREE WATER AND ABSORBENT DUST ON ADJACENT PROPERTIES AND INTO THE PUBLIC STREETWATER FACILITIES. REFER TO EROSION CONTROL PLANS FOR DETAILS.
- MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
- MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS. MASS MULCH ALL PLANTING BEDS TO 3" DEPTH. MULCH SHRUB PLANTING BEDS TO RECEIVE 4" DEEP MULCH. ALL EVERGREEN AND DECIDUOUS TREES (IF USED) TO RECEIVE 4" DEEP SHREDED HAWTHORN MULCH WITH MULCH IN DIRECT CONTACT WITH TREE TRUNK. EXTENT OF MULCH TO BE 5'-0" DIA. AT TREES AND 18" BEYOND SHRUB DRIP LINES.
- TREE STAKING: IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR SOIL THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB POSITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD. ESPECIALLY WINDY, UNUSUAL, SOIL OR WIND CONDITIONS ARE A PROBLEM AT END OF THE PLANT GUARANTEE PERIOD. MULCH TO BE REMOVED BY LANDSCAPE CONTRACTOR. ALL STAKES USED FOR TREE SUPPORTS SHALL POINT AWAY FROM ANY AND ALL CIRCULATION ROUTES.
- TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CRAFT PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.
- ERODION: ERODING SHALL BE SPACE EROD.
- FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY ACME, OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
- PLANT SIZING: MEASURE TREES AND SHRUBS ACCORDING TO ANSI Z60.1 STANDARDS. TREE CALIPER MEASUREMENTS 6 INCHES ABOVE GROUND FOR TREES UP TO 4" CALIPER AND 12 INCHES ABOVE GROUND FOR LARGER TREES. ALWAYS HANDLE BALLED AND BURLAPPED MATERIAL BY THE ROOT BALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE AND PLANTED THE SAME DAY.
- PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLANTING PRECEDENCE OVER PLANTING QUANTITIES AND QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECT STATED DIMENSIONS, DO NOT SCALE DRAWINGS.

## MAINTENANCE / WARRANTY

- MAINTENANCE OF PLANT MATERIALS AND LAWN AREAS SHALL BEGAIN IMMEDIATELY AFTER INSTALLATION AND SHALL CONTINUE UNTIL FINAL ACCEPTANCE, BUT IN NO CASE, LESS THAN THE FOLLOWING STATED PERIODS:
  - PLANT MATERIALS: 90 DAYS AFTER SUBSTANTIAL COMPLETION
  - LAWN AREAS: 90 DAYS AFTER SUBSTANTIAL COMPLETION
- AFTER REQUIRED MAINTENANCE PERIOD, THE OWNER, HOWEVER, WILL MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. UNACCEPTABLE WORK SHALL BE REPAIRED OR REPLACED AND RESPECTED BEFORE FINAL ACCEPTANCE IS GRANTED.
- A WRITTEN WARRANTY SHALL BE PROVIDED TO THE OWNER GUARANTEEING THAT ALL PLANT MATERIALS, SOO, AND/OR SEEDS ARE WILL BE THRUING FOR THE FOLLOWING STATED PERIODS: TREES, SHRUBS, AND GROUND COVERS - ONE YEAR AFTER FINAL ACCEPTANCE. SOO AND SEEDS AREAS - 90 DAYS AFTER FINAL ACCEPTANCE PERIODS - 90 DAYS AFTER FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS REGARDING MAINTENANCE OF EACH TYPE OF VEGETATION. THE OWNER IS RESPONSIBLE FOR PROPER MAINTENANCE. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL HAVE RESPONSIBILITY FOR THE SITE AND WILL WITHIN THE OWNER OF ANY LACK OF PROPER MAINTENANCE IN WRITING, OWNER'S FAILURE TO COMPLY WITH THE MAINTENANCE PROGRAM SHALL RENDER THE WARRANTY NULL AND VOID.
- THE CONTRACTOR IS NOT RESPONSIBLE FOR ACTS OF NATURE INCLUDING ABNORMAL WEATHER CONDITIONS INCLUDING UNUSUAL WINDS, HAIL, OR OTHERS. IF ANY CONDITIONS BEYOND THE CONTROL OF THE CONTRACTOR SHOULD OCCUR, THE MATERIALS AFFECTED WILL NO LONGER BE COVERED BY THE WARRANTY.

## PLANT MATERIALS

- PROVIDE PLANTS OF QUALITY SIZE, GOOD SPECIES, AND VARIETY SHOWING AND SCHEDULED AND IN CONFORMANCE WITH THE REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANTS SHALL HAVE BEEN GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE.
- ALL PLANTS SHALL BE FULL, WELL-BRANCHED PLANTS CHARACTERISTIC OF THE SPECIES. PLANTS SHALL BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND OTHER DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFORMITIES.
- PLANT STOCK SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THE CLIMATE OF THE LOCALITY OF THE PROJECT.
- LABEL AT LEAST ONE PLANT OF EACH KIND WITH A SECURELY ATTACHED WRAPPING TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
- PROVIDE FRESHLY DUG BALLED & BURLAPPED PLANT MATERIALS, DO NOT DROP BALLED & BURLAPPED STOCK DURING DELIVERY.
- DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

## INSTALLATION

- INSTALL TREES AND SHRUBS ACCORDING TO STANDARD DETAILS SHOWN ON THE PLAN.
- ALL TREE SAZERS SHALL BE SOAKED WITH WATER AND MALCHED IMMEDIATELY FOLLOWING PLANTING.
- ALL TREE SAZERS SHALL BE MALCHED WITH A 3-INCH LAYER OF ORGANIC TRIPLE SHREDED HAWTHORN BARK MULCH, NON-ORGANIC MULCHES SUCH AS GRAVEL, CRUSHED BRICK, LAVA ROCK, ETC.
- TREE CUTTING SHALL BE REMOVED AFTER ONE FULL GROWING SEASON.
- APPLY 1/2 CUBIC FEET OF PEAT MOSS FOR 100 SQUARE FEET AND 20 POUNDS OF 8-8-8 FERTILIZER FOR 100 SQUARE FEET OF GROUND COVER PLANTING BEDS.
- UNIFORM SURFACE: PLANT GROUND MATERIALS, APPLY 2 INCHES OF ORGANIC MULCH, AND WATER.

## PLANTING NOTES

- NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- SEE CIVIL/SITE PLAN FOR ALL SITE DIMENSIONS, SQUARE FOOTAGES, PARKING CONFIGURATIONS, AND DETAILS OF ALL SITE IMPROVEMENTS.
- IF THE LANDSCAPE CONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GROWTH, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PRIOR TO ANY LAND CLEARING OR CONSTRUCTION, TREE PROTECTION FENCING IS TO BE INSTALLED BY THE CONTRACTOR. THIS FENCING SHALL BE INSTALLED AT THE END OF THE WORK. ALL TREE PROTECTION SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. TO CUTTING, FILLING OR TRESPASSING SHALL OCCUR INSIDE THE FENCED AREAS WITHOUT APPROVAL.
- ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRASS AS WAS GROWN IN NURSERY CONDITIONS. IF NET, CLAY SOIL OR POOR DRAINING SOILS ARE EXISTENT, PLANT HOLES, REMOVE ALL WIRE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
- ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
- SEEDS AND/OR SOO ALL AREAS DETAILED DUE TO GRADING AND CONSTRUCTION ACTIVITIES. WHERE SOO/SEED AREAS SURFACE, FINISHED GRADE OF SOO/SEED SHALL BE HELD 1" BELOW SURFACE ELEVATION OF FINAL SOIL CURB, ETC. SOO SHALL BE LAD PARALLEL TO THE CONTOURS AND SHALL HAVE STRAIGHT JOINTS. ON SLOPES STEEPER THAN 1:1 OR IN CHANNEL SHOULDS, THE SOO SHALL BE STAKED TO THE GROUND. REFER TO PLAN FOR SOO/SEED LOCATIONS.
- PRUNE, TRIM AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. APPLY MINIMUM 4" MULCH CUP AT ALL TREES NOT PLANTED IN PLANTING BEDS.
- EXISTING LAWN AREAS TO BE SAVED AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED TO ORIGINAL CONDITION. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE & FREE FROM WEEDS, LAWN MAY BE SAVED. IF NOT, THE CONTRACTOR SHALL REMOVE AND REPLACE WITH NEW GRASS AS PART OF THE APPROVED PLAN. THEN THE FOLLOWING REQUIREMENTS WILL APPLY:
  - EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH ROUND-UP (OR EQUAL) TO KILL THE EXISTING LAWN AND WEEDS. WAIT A MIN. OF (10) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOO & WEEDS TO A MIN. DEPTH OF (2) INCHES. ADD A MIN. OF 4" BODIES OF NEW TOPSOIL TO ALL LAWN AREAS. BACKFILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS & WALKS PRIOR TO ZODDING HERBICIDE TO ELIMINATE ALL BUMPS & DEPRESSIONS AND RESOOL ALL AREAS.
  - EXISTING LAWN FOUND TO BE IN GOOD CONDITION, BUT WITH BARE SPACES OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, SPREADING TOPSOIL AND TOP DRESSING ALL SPACES AND BARE SPOTS AND BY INITIATING A MEEF AND FEED PROGRAM.
- CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:
  - REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SLIB BASE AND DISPOSE OF OFF SITE.
  - REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SOCIETALLY. ADD 4"-6" OF TOPSOIL AND RETURN TO A MIN. OF 4" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.
  - IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR RETIRED) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADE AFTER EARTH SETTLING.
- ALL TREE PITS MUST BE TESTED FOR PROPER DRAINAGE PRIOR TO PLANTING TREES. A DRAINAGE SYSTEM MUST BE INSTALLED IF PLANTING PIT DOES NOT DRAIN SUFFICIENTLY. (REQUIRED IN HEAVY CLAY SOILS)
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESS WATER FROM STANDING ON LAWN AREAS OR AROUND TREES & CURBS.
- ALL MULCH PITS AND SHRUB BEDS IN LAWN AREAS SHALL BE ERODED WITH A MANHOLED EDGE OR WITH MANUFACTURED EDGING AS INDICATED.
- MULCHING AND WATERING OF ALL PLANTS & TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

## LAWN INSTALLATION

- LAWN AREAS SHALL BE PREPARED ACCORDING TO THE SECTION BELOW ENTITLED "SEEDBED PREPARATION".
- LOCALLY-GROWN SOO SHALL BE PROVIDED IN AREAS WHERE SEEDING IS NORMALLY UNDESIRABLE OR WILL BE UNDESIRABLE DUE TO CLIMATE, SEASON, OR OTHER TEMPORARY CONSTRAINT. SOO SHALL BE STRONGLY ROOTED, FREE OF WEEDS, AND OF UNIFORM THICKNESS WITH NO MORE THAN 1.5 INCHES OR LESS THAN 1 INCH OF SOIL.
- SOO SHALL BE THOROUGHLY FITTED TOGETHER. ENDS AND EDGES SHALL MEET WITHOUT OVERLAP AND JOINTS SHALL BE STRAIGHTENED AND ADJACENT BOWLS.
- AFTER INSTALLATION, SOO SHALL BE THOROUGHLY WATERED. ON SLOPES STEEPER THAN 2:1, SOO SHALL BE HELD IN PLACE WITH WOODEN STAKES MEASURING 1 INCH SQUARE BY 6 INCHES LONG. STAKES SHALL BE DRIVEN FLUSH WITH THE TOP OF THE SOO'S SOIL LAYER.

## SEEDBED PREPARATION

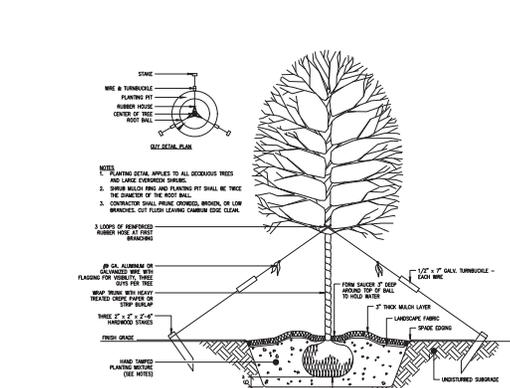
- ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND INCHES GRADED SHOWN AND FLOODED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE FULVILIZED TO PROVIDE A UNIFORM SEEDBED.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BROADCAST METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET:
  - LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
  - LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 6.5.
- MOSTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING. SOILS DO NOT CREATE A MUDDY SOIL CONDITION.

## SEEDBED PREPARATION

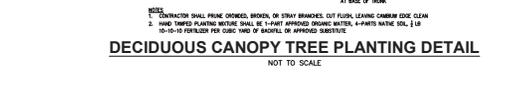
- ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND INCHES GRADED SHOWN AND FLOODED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE FULVILIZED TO PROVIDE A UNIFORM SEEDBED.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BROADCAST METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET:
  - LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
  - LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 6.5.
- MOSTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING. SOILS DO NOT CREATE A MUDDY SOIL CONDITION.

## SEEDBED PREPARATION

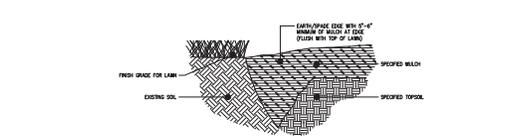
- ALL DISTURBED AREAS SHALL BE DRESSED TO THE TYPICAL SECTIONS AND INCHES GRADED SHOWN AND FLOODED TO A DEPTH OF 5 INCHES. THE TOP 2 INCHES SHALL BE FULVILIZED TO PROVIDE A UNIFORM SEEDBED.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER DEBRIS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM. SOIL LEVEL SHALL BE APPROXIMATELY 1 INCH BELOW ALL TOPS OF CURBS AND WALKWAYS.
- APPLY LIME AND FERTILIZER WITH NECESSARY EQUIPMENT TO ENSURE UNIFORM DISTRIBUTION OF THE MATERIALS. THE HAND/BROADCAST METHOD IS NOT ACCEPTABLE. THE RATES AND TYPES OF MATERIALS TO BE APPLIED ARE AS FOLLOWS THAT WILL PROVIDE 5 LBS. OF PHOSPHORUS PER 1000 SQUARE FEET:
  - LIMESTONE - 75 LBS. PER 1000 SQUARE FEET
  - LIMESTONE MAY BE WAIVED IF EXISTING PH IS GREATER THAN 6.5.
- MOSTEN PREPARED LAWN AREAS BEFORE PLANTING IF SOIL IS DRY. ALLOW SURFACE MOISTURE TO DRY BEFORE PLANTING. SOILS DO NOT CREATE A MUDDY SOIL CONDITION.



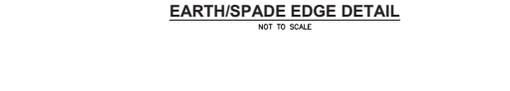
## DECIDUOUS CANOPY TREE PLANTING DETAIL



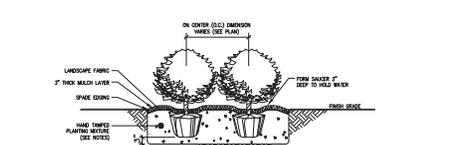
## DECIDUOUS CANOPY TREE PLANTING DETAIL



## EARTH/SPADE EDGE DETAIL



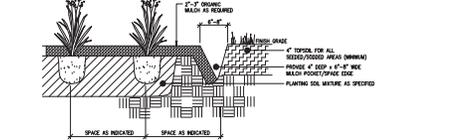
## EARTH/SPADE EDGE DETAIL



## CONTAINER SHRUB PLANTING DETAIL



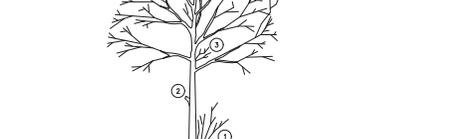
## CONTAINER SHRUB PLANTING DETAIL



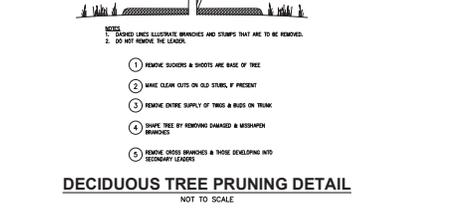
## SHRUB/PERENNIAL BED DETAIL



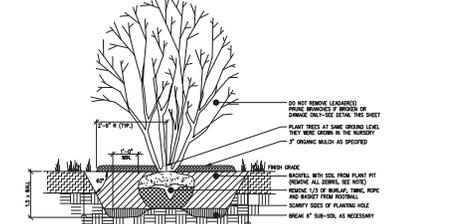
## SHRUB/PERENNIAL BED DETAIL



## DECIDUOUS TREE PRUNING DETAIL



## DECIDUOUS TREE PRUNING DETAIL



## MULTI-STEMMED PLANTING DETAIL



## MULTI-STEMMED PLANTING DETAIL



Know what's below.  
Call before you dig.

THE LOCATION OF EXISTING UTILITIES AND SERVICES ARE SHOWN ON THIS PLAN. YOU ARE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES AND SERVICES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND SERVICES.

NOTICE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

ATWELL  
LANDSCAPE ARCHITECTS  
1000 WEST 10TH AVENUE  
SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1234  
WWW.ATWELL-PA.COM

SECTION 17  
TOWN 1 NORTH, RANGE 9 EAST  
CITY OF FARMINGTON HILLS  
OFFICE BUILDING DEVELOPMENT  
SITE PLANS  
LANDSCAPE DETAILS

DATE: APR. 18, 2022

05-20-2022 REV  
08-27-2022 REV  
08-04-2022 REV

REVISIONS

DRAWN BY: NW  
CHECKED BY: AJK  
P.L.M.: ALEXANDER  
JOB #: 21005274  
FILE CODE: -  
SHEET NO. 10

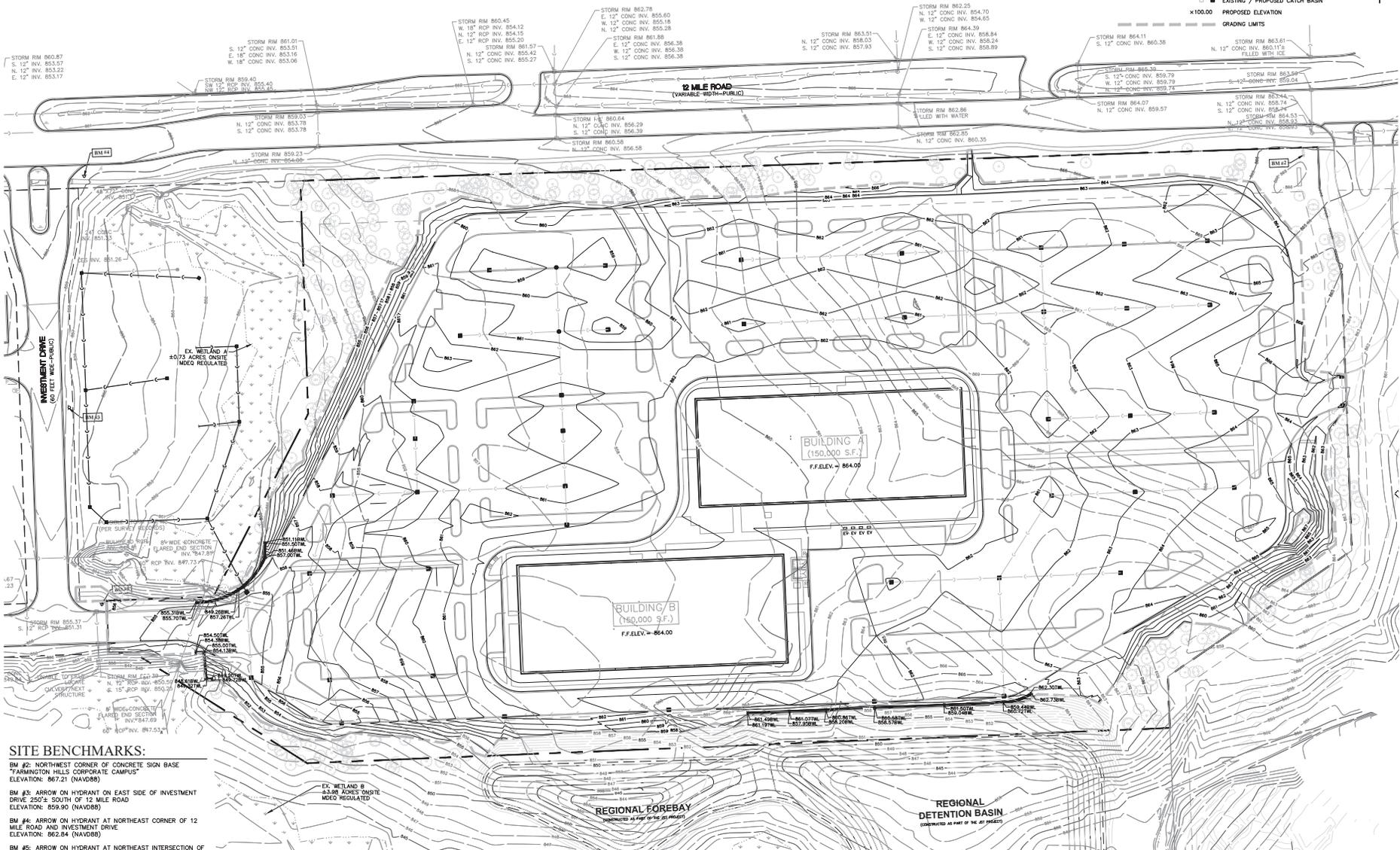
NOT FOR CONSTRUCTION

**NOTES**

1. FOR ADDITIONAL INFORMATION REFERENCE THE STANDARD NOTES SHEET, STANDARD DETAILS SHEETS, AND ANY MUNICIPALITY AND/OR JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
2. ALL ELEVATIONS SHOWN ARE TOP OF PAVEMENT/FINISH GRADE UNLESS OTHERWISE NOTED.

**LEGEND**

- PROPERTY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- - - PROPOSED CONTOUR MAJOR
- - - PROPOSED CONTOUR MINOR
- PROPOSED RETAINING WALL
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING / PROPOSED MANHOLE
- EXISTING / PROPOSED CATCH BASIN
- x100.00 PROPOSED ELEVATION
- GRADING LIMITS



**SITE BENCHMARKS:**

- BM #2: NORTHWEST CORNER OF CONCRETE SIGN BASE "FARMINGTON HILLS CORPORATE CAMPUS"  
ELEVATION: 867.21 (NAVD88)
- BM #3: ARROW ON HYDRANT ON EAST SIDE OF INVESTMENT DRIVE 250' SOUTH OF 12 MILE ROAD  
ELEVATION: 859.90 (NAVD88)
- BM #4: ARROW ON HYDRANT AT NORTHEAST CORNER OF 12 MILE ROAD AND INVESTMENT DRIVE  
ELEVATION: 862.84 (NAVD88)
- BM #5: ARROW ON HYDRANT AT NORTHEAST INTERSECTION OF INVESTMENT DRIVE AND CORPORATE DRIVE  
ELEVATION: 858.40 (NAVD88)



Know what's below.  
Call before you dig.  
The location of buried utilities is not always obvious. Digging without first calling 311 can be dangerous. Many municipalities have a "one call" system that allows you to report the location of buried utilities. The contractor shall determine the exact location of all utilities before any excavation work. The contractor shall be fully responsible for any damage to existing utilities. The contractor shall be fully responsible for any damage to existing utilities. The contractor shall be fully responsible for any damage to existing utilities.



SECTION 17  
TOWN 1 NORTH, RANGE 9 EAST  
CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN

KOJAJAN MANAGEMENT CORP.  
FARMINGTON HILLS CORPORATE CAMPUS  
OFFICE BUILDING DEVELOPMENT  
SITE PLANS  
PRELIMINARY GRADING & STORMWATER PLAN

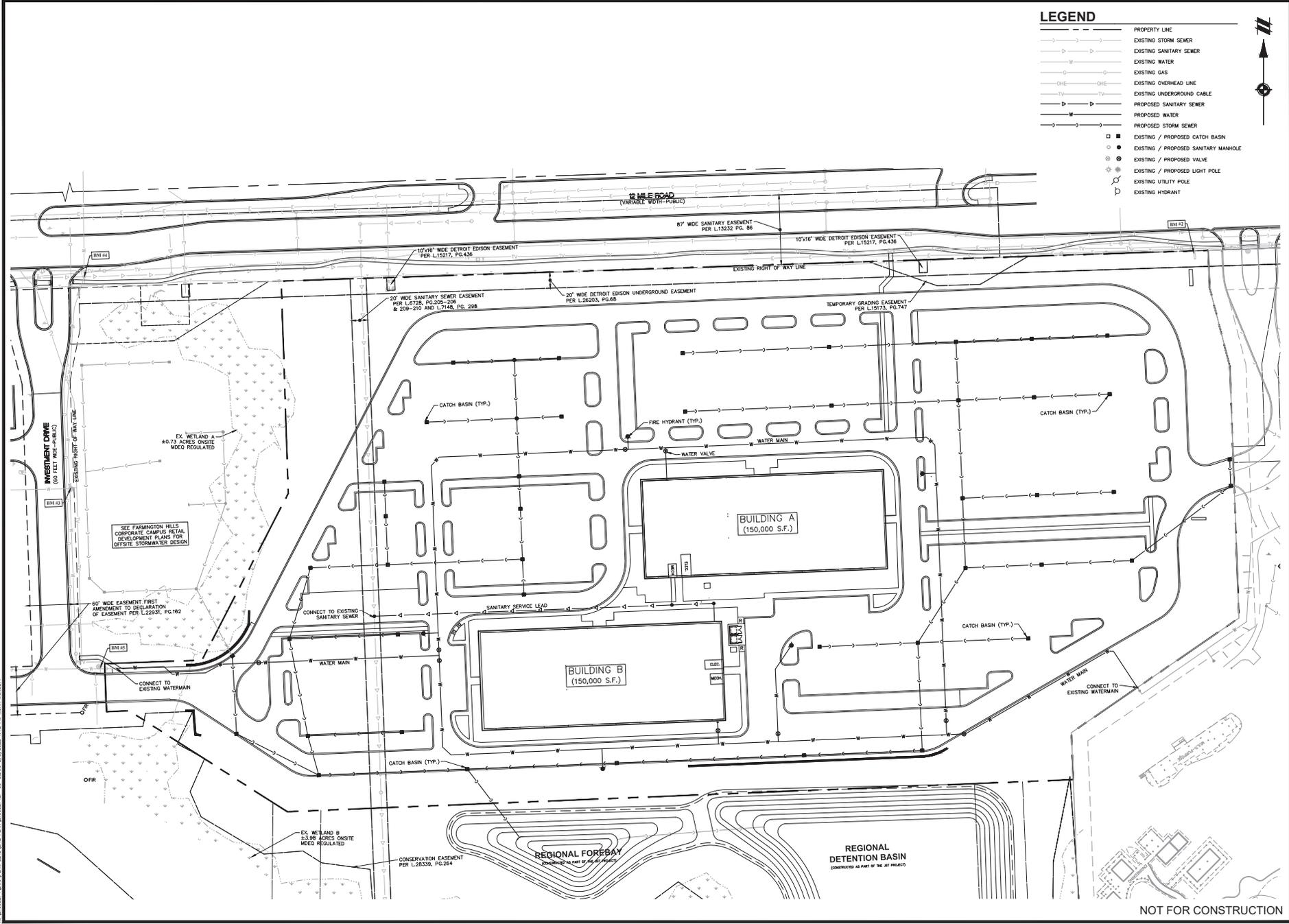
DATE: APR. 18, 2022  
05-20-2022 REV  
06-22-2022 REV  
08-04-2022 REV

REVISIONS


SCALE: 1" = 50 FEET  
DRAWN BY: MM  
CHECKED BY: AK  
P.M.: J. AKERMAN  
JOB #: 21005274  
FILE CODE: -  
SHEET NO. 11

NOT FOR CONSTRUCTION

C:\1005274\DWG\PLAN SITE\SITE PLAN 21005274-09-11-2022 8/2/2022 1:42 PM BOB MOULTON



### LEGEND

	PROPERTY LINE
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING GAS
	EXISTING OVERHEAD CABLE
	EXISTING UNDERGROUND CABLE
	PROPOSED STORM SEWER
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	EXISTING / PROPOSED CATCH BASIN
	EXISTING / PROPOSED SANITARY MANHOLE
	EXISTING / PROPOSED VALVE
	EXISTING / PROPOSED LIGHT POLE
	EXISTING UTILITY POLE
	EXISTING HYDRANT

**311**  
Know what's below.  
Call before you dig.  
THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN IS FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES BY THE USE OF A GROUND PENETRATING RADAR (GPR) OR OTHER APPROPRIATE METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

**ATWELL**  
CORPORATE CAMPUS  
OFFICE BUILDING DEVELOPMENT  
SITE PLANS  
PRELIMINARY UTILITY PLAN

SECTION 17  
TOWN OF NORTH RANGE 9 EAST  
CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN

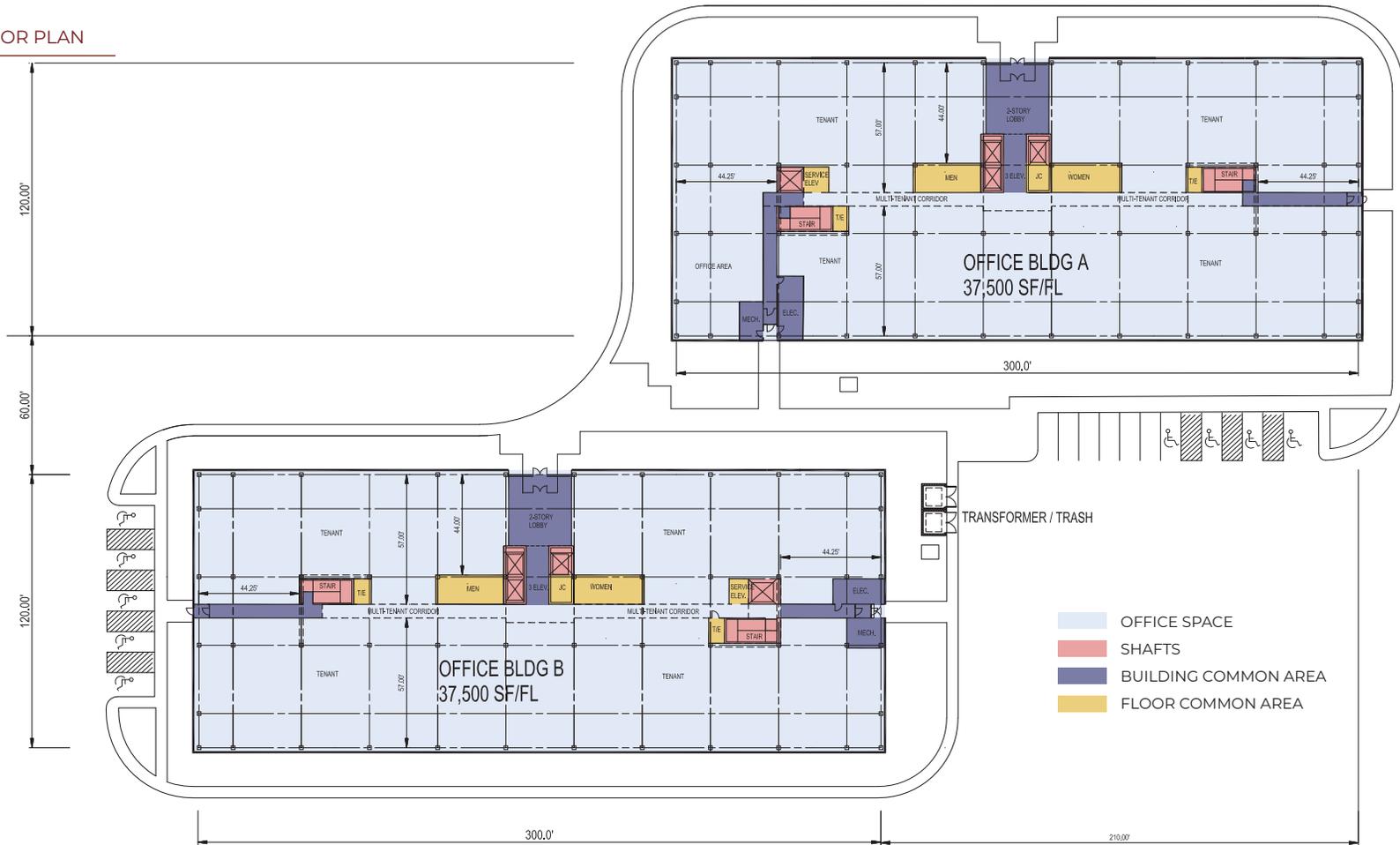
REVISIONS

DATE	APR 18, 2022
05-20-2022	REV
06-27-2022	REV
08-04-2022	REV

SCALE: 1" = 50 FEET  
DRAWN BY: MK  
CHECKED BY: AK  
P.M.: J. AKERMAN  
JOB #: 21005274  
FILE CODE: -  
SHEET NO. 12

NOT FOR CONSTRUCTION

GROUND FLOOR PLAN



Ground Floor Plan



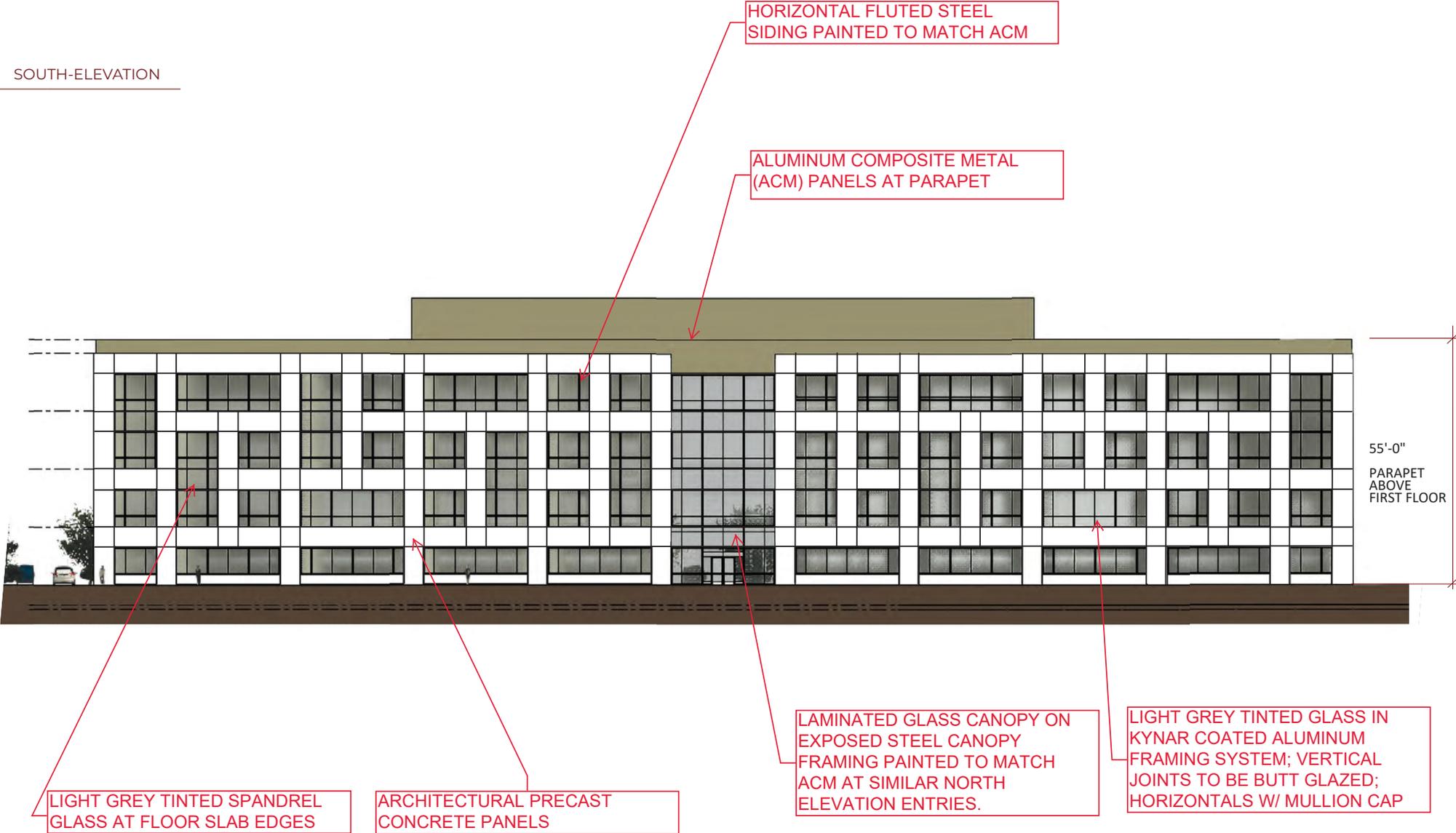
TYPICAL FLOOR PLAN



Typical Floor Plan (2-4)



SOUTH-ELEVATION



VIEW[01]



VIEW[02]



VIEW[03]



BUILDING [A]

BUILDING [B]

FACADE DETAIL[01]







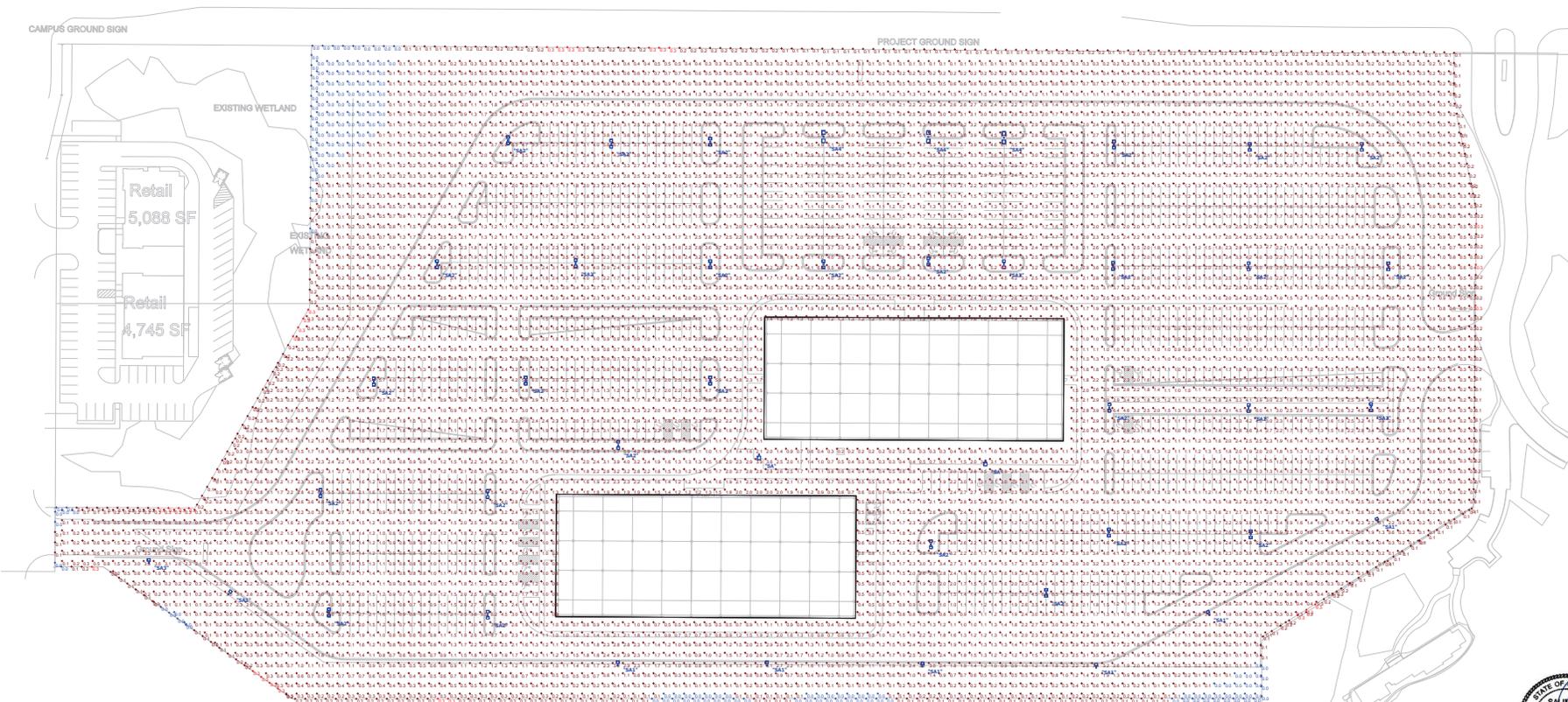
**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	+	2.0 fc	6.7 fc	0.5 fc	13.4:1	4.0:1
Site	+	1.6 fc	6.8 fc	0.0 fc	N/A	N/A
PROPERTY LINE	+	0.1 fc	0.3 fc	0.0 fc	N/A	N/A

**GENERAL NOTES:**

1. EXTERIOR LIGHTING WILL BE CONTROLLED BY PHOTOCELL AND TIMER CONTROL (LIGHTING CONTROL RELAY PANEL WITH BUILT-IN TIMER), PHOTOCELL ON / TIMER OFF.
2. BUILDING FACADE AND LANDSCAPE LIGHTING WILL BE TURNED OFF 15 MINUTES AFTER CLOSE OF BUSINESS AND AT OPENING OF BUSINESS.
3. ALL EXTERIOR LIGHTING WILL BE TURNED OFF AT 15 MINUTES AFTER CLOSE OF BUSINESS.
4. ILLUMINATION AT EXTERIOR DOOR WILL BE USING MAX. 1500.
5. ILLUMINATION LEVELS ARE 2.3 LUMENS PER SQUARE FOOT OF HARDSCAPE AREA.

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
□	"SA"		2	Lithonia Lighting	DSXL LED P7 40K T2H MVOLT	DSXL LED P7 40K T2H MVOLT	1	2040	0.75	182
□	"SA1"		7	Lithonia Lighting	DSXL LED P7 40K T2H MVOLT HS	DSXL LED P7 30K T2H MVOLT with houselide shield	1	1972	0.75	182
□	"SA2"		30	Lithonia Lighting	DSXL LED P7 40K T4H MVOLT	DSXL LED P7 40K T4H MVOLT	1	2025	0.75	366
□	"SA3"		1	Lithonia Lighting	DSXL LED P7 40K T2S MVOLT HS	DSXL LED P7 40K T2S MVOLT with houselide shield	1	1454	0.75	182
□	"SA4"		3	Lithonia Lighting	DSXL LED P7 40K T2H MVOLT HS	DSXL LED P7 40K T2H MVOLT with houselide shield	1	1620	0.75	366



**Plan View - SITE PLAN -  
PHOTOMETRICS**

Scale - 1" = 50ft



81090-RHCC Office Site Plan Photometric

Scale  
As Noted  
Drawing No.  
E-1

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION MEETING  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
JULY 21, 2022, 7:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Regular Meeting was called to order by Chair Countegan at 7:30 p.m.

**ROLL CALL**

**Commissioners present:** Aspinall, Brickner, Countegan, Grant, Mantey, Stimson, Trafelet, Varga,

**Commissioners Absent:** Ware

**Others Present:** City Planner Perdonik, City Attorney Schultz, Planning Consultant Tangari, Staff Engineer Dawkins

**APPROVAL OF THE AGENDA**

**MOTION by Brickner, support by Trafelet, to approve the agenda as presented.**

**MOTION carried unanimously by voice vote.**

**REGULAR MEETING**

**PUBLIC HEARING**

**A. AMENDMENT TO PUD 5, 1993, & SITE PLAN 58-4-2022**

<b>LOCATION:</b>	South side of Twelve Mile Rd, between Drake Rd and Investment Dr
<b>PARCEL I.D.:</b>	23-17-201-014
<b>PROPOSAL:</b>	Construction of two office buildings in an OS-4, Office Research District
<b>ACTION REQUESTED:</b>	Recommendation to City Council
<b>APPLICANT:</b>	Robert Szantner, Yamasaki Inc.
<b>OWNER:</b>	Farmington Hills Corporate Investors, LLC

**Applicant presentation:**

Members of the development team present this evening included:  
Robert Szantner, Yamasaki Inc.  
Chris Kojanian, Kojanian Companies  
Jared Kime, Atwell

The development team made the following points:

- They were proposing two 55'-tall buildings (a 4-foot height deviation), with 4 stories. They believed the small height modification allowing an extra story was a minor modification to the PUD Agreement. The construction of the buildings in the location as presented met the intent of the Agreement. While they were not within the extra height/story zone of the PUD, they were very close, and the buildings will be similar to the other 4-story, 55-foot high structures already constructed on the campus. The extra height and story would not be noticeable by anyone driving by.
- A schematic from the original PUD agreement showed a 55' height "box", within which, due to topographic considerations, a 55'-high structure was a matter of right. The location in question was very close to the box.
- They had updated the site plan to incorporate feedback from city staff and consultants, including landbanked spaces, looped watermain around the buildings, pedestrian access to the west side, and a changed location of the southern drive.
- The City Engineer had indicated he would like to see a full 60-foot right of way on their private drive. This would impact the development significantly, and as it was not a requirement of the PUD Agreement would be an unnecessary encumbrance on the property.
- The four stories allowed a much more compact arrangement of floor plate size, so that the floor plates on each building are 36,000sf, as compared to 50,000sf for a 1-3 story building. They were well under the coverage ratios and densities originally contemplated by the PUD agreement, and the extra space allowed them to create more buffer area and to provide better transitions around wetland areas. The more compact spaces were also more competitive in the marketplace.

Consultant comments:

Referencing his July 11, 2022 written comments, Planning Consultant Tangari gave the review for this request for construction of two office buildings in an OS-4, Office Research District.

- The applicant was proposing two large, four-story office buildings and a parking lot. Both buildings have a gross floor area of 150,000 square feet. The site is proposed to be accessed from a driveway off Investment Drive at the west end, and from the same access drive that serves JST at the east end. A road connecting the two access roads is not proposed; the plans show a private driveway ringing the site.
- Outstanding site plan issues include:
  1. Label all setback distances.
  2. The buildings exceed the height limits of both the underlying district and the PUD. The PUD permits heights up to 55 feet in certain areas, but only where the grade is below 860 feet. The proposed buildings are located on grades with an elevation over 860 feet according to the preliminary grading plan, so the higher height limit afforded in certain areas of the PUD does not apply. Permitting this height would require an amendment to the PUD agreement. The original PUD reflected the 40-foot height limit then in place in the OS-4 district; this has since been raised to 50 feet. *For this development to move forward, the PUD must be amended to permit the fourth story and the extra five feet of height in this location.*
  3. Dumpster enclosure detail is not provided.
  4. Screening hedge/berm is not shown along 12 Mile Rd. in areas where natural screening is not in place.
  5. Lighting plan requires adjustments.
  6. Tree replacement numbers require adjustment.
- Regarding the PUD (Planned Unit Development) Agreement, the applicant proposes to amend the PUD to permit greater height in the area of the proposed building and an additional story (presently limited to 3; the applicant proposes 4).
- Per Section 34-3.20.5.G, the Planning Commission shall determine whether the proposed modification is a minor or major amendment. If the determination is the amendment is major, the

amendments shall be reviewed by the Planning Commission and City Council in accordance with normal approval procedures.

- After the public hearing, if the Planning Commission makes a determination that this is a major amendment to the PUD, action on the site plan should be postponed until the amendment to the PUD is fully approved by Council and the agreement has been updated accordingly. Alternatively, site plan approval could be made contingent on approval of the PUD amendment.

Attorney comments:

City Attorney Schultz said that even if the deviations were small, under the ordinance the Planning Commission could not approve this plan as a minor change to the PUD agreement, because the proposed deviations represented two violations of the PUD agreement. Making a determination that this was a major amendment to the PUD was not a negative determination; it was a required determination.

Discussion:

If the Commission could not approve the PUD amendment and site plan tonight, the applicants asked for a positive recommendation to Council.

Public Hearing

Chair Countegan opened the public hearing.

Scott Elliot, 415 Fox Club Drive, supported this request for PUD amendment. This was a great project for the City and the variance requested was small.

Seeing that no other public indicated they wished to speak, Chair Countegan closed the public hearing and brought the matter back to the Commission.

After discussion and amendment, the following motion was made:

**MOTION by Brickner, support by Stimson, to RECOMMEND TO CITY COUNCIL that a major amendment to PUD Plan 5, 1993, including Site Plan 58-4-2022, dated June 27, 2022, submitted by Robert Szantner of Yamasaki Inc., BE APPROVED, because the plans are consistent with the goals, objectives, and policies of the Master Plan and applicable provisions of the Planned Unit Development Option in Section 34-3.20 of the Zoning Ordinance,**

With the following finding:

- Modifications of Zoning Ordinance requirements as indicated on the proposed plan constitute a Major Amendment to the PUD Agreement, which modifications are:
  1. An increase of 5 feet over the 50 foot height limit to permit a 55-foot height limit, and
  2. A 4<sup>th</sup> story (1 story in excess of that which is permitted) for the two buildings as submitted.

And with the following conditions regarding the site plan:

- Outstanding items in the Giffels Webster report be resolved and approved administratively.
- Approval of the PUD amended agreement by City Council.

**Motion carried unanimously by voice vote.**

**PUBLIC COMMENT**

None.

**ADJOURNMENT**

**MOTION by Trafelet, support by Grant, to adjourn the meeting at 8:56pm.**

City of Farmington Hills  
Planning Commission Meeting  
July 21, 2022  
Page 4

Approved 08-18-2022

**MOTION carried unanimously by voice vote.**

Respectfully Submitted,  
Marisa Varga  
Planning Commission Secretary

/cem

MINUTES  
CITY OF FARMINGTON HILLS  
CITY COUNCIL MEETING  
CITY HALL – COUNCIL CHAMBER  
AUGUST 22, 2022 – 7:30 PM

The regular session meeting of the Farmington Hills City Council was called to order by Mayor Barnett at 7:32pm.

Council Members Present: Barnett, Boleware, Bridges, Knol (arrived at 8:50pm), Massey, and Newlin

Council Members Absent: Bruce

Others Present: City Manager Mekjian, City Clerk Smith, Assistant City Manager Valentine, Directors Kettler-Schmult, Mondora and Schnackel, Planning Consultant Arroyo and City Attorney Morita

**PLEDGE OF ALLEGIANCE**

Layla Cypher, Miss Oakland County led the pledge of allegiance.

**APPROVAL OF REGULAR SESSION MEETING AGENDA**

MOTION by Massey, support by Boleware, to approve the agenda as published.

MOTION CARRIED 5-0.

**PUBLIC HEARING:**

**PUBLIC HEARING AND CONSIDERATION OF AMENDMENT TO PLANNED UNIT DEVELOPMENT 5, 1993, INCLUDING SITE PLAN 58-4-2022 LOCATED AT THE SOUTHEAST CORNER OF TWELVE MILE ROAD AND INVESTMENT DRIVE**

Charmaine Kettler-Schmult, Director of Planning and Community Development, introduced the proposed amendment. She mentioned that the Planning Commission held their public hearing meeting on this amendment on July 21<sup>st</sup> and recommended approval unanimously to City Council.

Robert Szantner, applicant, noted that the amendment is to construct two 150,000 square foot buildings at 4-stories each. H noted that while the buildings meet the height requirement and there are other 4-story buildings on the site, due to the topography in the area where they plan to construct, the buildings would be 4 feet higher than allowed. This also allows a more compact development to enhance the green space to buffer surrounding neighbors. He showed renderings of the proposed project.

Chris Kojaian, representing Kojaian Companies, added that they are excited about this last piece of this development and are here to discuss the 4 foot height variance due to the grade of the property.

Rod Arroyo, Planning Consultant from Giffels-Webster, briefly reviewed his letter of August 4<sup>th</sup> and mentioned that the amendment is for the 4 foot height difference and while there are other minor site plan items to address, they could be handled administratively, including any concerns with lighting and those items would be required to meet ordinance standards.

Discussion was held on when the height limit was updated and it was suggested that this type of background information is included in future reports to Council as rationale to support or deny a project.

Council expressed concern with vacant office buildings and constructing more traditional office space.

Planning Consultant Arroyo agreed that there are vacant office buildings but that he had heard from the

applicant that they have a specific tenant for these buildings who has requested certain specifications. He added that there is retail to the west of the site and the proposed plan has a pedestrian connection that will enable office staff from the buildings to walk to the retail areas so there is potential for synergy with surrounding uses in the area.

Mayor Barnett opened the public hearing.

Pam Gerald, resident, inquired about the PUD process and if the buildings proposed would be LEED Certified Gold and if there are any Brownfield tax incentives for the property. She also expressed concern with the proximity of the buildings to the retention pond.

Mayor Barnett explained that a PUD runs with the property and that if there are any changes to the original plan, an amendment is required. She noted that the property is a Greenfield and there are no tax incentives for this property; however, the applicant could potentially seek credits or grants for energy efficiency building material. She added that the reason for the retention pond is to hold any extra water on the site and is designed to certain standards so any water would not interfere with surrounding neighbors.

There being no further comments, Mayor Barnett closed the public hearing.

Council inquired if the proponent had a tenant in mind for the building. Mr. Kojaian answered that they have a proposed tenant with whom they are in serious discussions; however, they want some assurances that Council will support the amendment before they commit.

The proponents added that they the plan is to build the buildings to the specifications of the proposed end user and that tenants expect the higher floor plans for technology purposes and indirect lighting and that is how they compete in the market. Mr. Szantner added that the project would allow for LEED certified buildings but that would be up to the tenant.

Some members of Council expressed concern with the proposed traditional office buildings when the city is in the process of reviewing and revising its Master Plan to allow for mixed-use developments. It was questioned if the applicant needed all of the parking requested and the plans for lighting.

Mr. Ackerman, Atwell Southfield, MI., responded that there are certain parking requirements for office space but they did discuss land banking some of the parking based on the suggestion of the Planning Department and have done so for about 100 parking spaces. They also kept in mind preserving as many trees as possible in order to keep the buffer to the surrounding neighbors. A revised lighting plan was submitted to the city based on minor adjustments requested in order to satisfy city requirements.

Antonio Kojaian, Executive Vice President of Kojaian Companies, commented that they are only appearing before City Council for the amendment to the height requirement as all other requirements are dictated by city code. He assured Council that they are not building spec buildings and are in discussions with an end user for the buildings. He added that the water on the property naturally flows north to south so it runs naturally into the detention pond.

Council concerns were again expressed about the traditional office buildings and a preference to have mixed use so they don't end up with two more vacant buildings and a large parking lot.

Antonio Kojaian stated that his company is in discussions with National and International users that want high-end amenities and these are not proposed to be multi-tenant office buildings.

Other Council comments included that while they agree with mixed-use development, there may be a need for more options and since there is an end-user in mind for the buildings, they should consider approving the amendment and that the project could help the surrounding retail businesses and potentially bring new families to live in Farmington Hills.

MOTION by Bridges, support by Knol, that the City Council of Farmington Hills hereby approves the application for approval of an amendment to PUD Plan 5, 1993, including SP 58-4-2022, subject to the following conditions:

- 1) Any conditions and requirements stated in Giffels Webster's review shall be complied with or addressed to the satisfaction of the Planning and Community Development Department
- 2) City Council approve an amendment to the PUD agreement to permit fifty-five (55) feet of building height and four (4) stories

IT IS FURTHER RESOLVED, that the City Council directs the City Attorney prepare the appropriate PUD agreement stipulating the final PUD approval conditions and authorizing the identified zoning deviations for City Council consideration and final approval.

MOTION CARRIED 5-1 (Barnett opposed, Bruce absent)

**ADJOURNMENT**

MOTION by Massey, support by Bridges, to adjourn the regular session City Council meeting at 10:42pm.

MOTION CARRIED 6-0.

Respectfully submitted,



Pamela B. Smith, City Clerk



***Interoffice Correspondence***

---

**DATE:** December 11, 2023

**TO:** Gary Mekjian, City Manager

**FROM:** Charmaine Kettler-Schmult, Director of Planning and Community Development

**SUBJECT:** PUD 5, 1993– Kojaian PUD – Twelve Mile and Halsted (Public Benefits)

---

PUD 5, 1993 was originally approved as corporate headquarters for a large banking business. Since that time the property was separated into large office campuses for a variety of businesses. The adaptation of the property has necessitated a modification of the original vision however, many assets to the community have been achieved through the PUD process.

- Conservation of natural features within each developed property and the permanent preservation of 7.43 acres.
- An emergency access to I-696 that was recently implemented to provide essential service to residents and motoring public during the road construction.
- Public roads and connections approved to be built to public road standards.
- Pedestrian access within and connecting to major roadways.



## ***Interoffice Correspondence***

---

**DATE:** December 11, 2023

**TO:** Gary Mekjian, City Manager

**FROM:** Charmaine Kettler-Schmult, Director of Planning and Community Development

**SUBJECT:** Third Amendment to Planned Unit Development (“PUD”) 5, 1993 Agreement – Kojaian PUD – Comerica Signage

---

Please find attached the draft **Third Amendment to the PUD 5, 1993 Agreement**. The purpose of the draft Amendment is to revise the text of the Agreement to permit new signage in connection with Comerica Bank’s planned occupancy of an existing office building at 36455 Corporate Drive.

The Planning Commission unanimously recommended approval of the draft Amendment to City Council following a public hearing on July 20, 2023 (**minutes**). City Council unanimously approved the signage plan associated with the draft Amendment following a public hearing on August 28, 2023 (**minutes**), which just leaves the revised text of the agreement reflecting the Council-approved signage plan to be approved by Council. The question before Council is simply whether the proposed agreement is consistent with the previously approved signage plan, as the decisions with regard to the specifics of the PUD Plan approval were made by Council on August 28, 2023.

The draft Amendment to the 1993 Agreement has been reviewed by the City Attorney and Planning and Community Development Department staff, and it appears to be in a form suitable for City Council consideration. Staff will be present to address any questions.

### **ATTACHMENTS:**

- **City Attorney Memorandum**
- **Draft Third Amendment to PUD 5, 1993 Agreement and Exhibits**
- **July 20, 2023, Planning Commission Public Hearing Minutes**
- **August 28, 2023, City Council Public Hearing Minutes**
- **Staff memo-PUD 5, 1993 public benefits**

STEVEN P. JOPPICH  
sjoppich@rsjalaw.com

27555 Executive Drive, Suite 250  
Farmington Hills, Michigan 48331  
P 248.489.4100 | F 248.489.1726  
rsjalaw.com



ROSATI | SCHULTZ  
JOPICH | AMTSBUECHLER

# LEGAL MEMORANDUM

TO: Farmington Hills City Council

FROM: Steven P. Joppich, City Attorney  
Lisa J. Hamameh, Asst. City Attorney

RE: Kojaian PUD (a/k/a NBD Bank, N.A., PUD)

DATE: December 7, 2023

---

Our office has worked with City Staff to negotiate the terms of the attached "Second Amendment to Planned Unit Development Agreement" and "Third Amendment to Planned Unit Development Agreement" with the owner, developer, and their attorneys. We have reviewed this final draft of the Third Amendment agreement and report to Council that, in our opinion, it is in conformance with the requirements of the City's zoning regulations concerning amendment of planned unit development agreements and City Council's decisions earlier this year to approve the associated PUD Plan amendments.

**STATE OF MICHIGAN  
COUNTY OF OAKLAND  
CITY OF FARMINGTON HILLS**

**THIRD AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT  
KOJAIAN PUD**

**THIS THIRD AMENDMENT TO PLANNED UNIT DEVELOPMENT AGREEMENT** (the "Third Amendment to PUD Agreement"), dated \_\_\_\_\_, 2023, is made and entered into by and between the **CITY OF FARMINGTON HILLS**, a Michigan municipal corporation, having the address of 31555 West Eleven Mile Road, Farmington Hills, Michigan 48336, hereinafter referred to as and called "City", and **FARMINGTON HILLS CORPORATE INVESTORS, LLC**, a Michigan limited liability company, whose address is 39400 Woodward Ave., Suite 250, Bloomfield Hills, MI 48304, and **FARMINGTON HILLS V CORPORATE INVESTORS, LLC**, a Michigan limited liability company, whose address is 39400 Woodward Ave., Suite 250, Bloomfield Hills, MI 48304, both of whom are sometimes hereinafter referred to together as "Kojaian."

**RECITALS:**

A. Kojaian, as successor to NBD Bank, N.A., and City are parties to a certain Planned Unit Development Agreement, dated October 28, 1994, and recorded on January 27, 1995, in Liber 15225, Page 50, Oakland County Records (the "PUD Agreement"), pertaining to approximately 138.2749 acres of real property situated in the City of Farmington Hills, Oakland County, Michigan, being more particularly described in attached **Exhibit A** to the PUD Agreement (hereinafter referred to as the "Property").

B. Farmington Hills Corporate Investors, LLC is the developer of the Property and retains control over the common elements and other areas within the Planned Unit Development, being PUD Plan 5, 1993.

C. On February 28, 2022, the City Council considered and approved a First Amendment to PUD Plan 5, 1993, dated January 4, 2022, including Site Plan 65-10-2021, dated January 4, 2022 (hereinafter referred to as the "First Amendment"), relating to the development of an approximately 2.59-acre part of parcel 22-23-17-201-013.

D. On May 9, 2022, the City Council considered and approved the First Amendment to Planned Unit Development Agreement, dated June 6, 2022, and recorded on June 15, 2022, in Liber 67858, Page 733, Oakland County Records (the "First Amendment to PUD Agreement"), relating to the First Amendment.

E. On August 22, 2022, the City Council considered and approved a Second Amendment to PUD Plan 5, 1993, dated August 4, 2022, including Site Plan 58-4-2022, dated August 4, 2022 (hereinafter referred to as the "Second Amendment"), relating to the development of an approximately 18.11-acre portion of the Property located at the southeast corner of W. 12 Mile Road and Investment Drive.

F. On \_\_\_\_\_, 2023, the City Council considered and approved the Second Amendment to Planned Unit Development Agreement, dated \_\_\_\_\_, 2023, and recorded on \_\_\_\_\_, 2023, in Liber \_\_\_\_\_, Page \_\_\_\_\_, Oakland County Records (the "Second Amendment to PUD Agreement"), relating to the Second Amendment.

G. Farmington Hills V Corporate Investors, LLC is the fee owner and Farmington Hills Corporate Investors, LLC is the developer of approximately 26.06 acres of the Property located at 36455 and 36555 Corporate Drive, more particularly described in attached **Exhibit B** (hereinafter referred to as the "Third Amended Property").

H. Kojaian requested amendments to PUD Plan 5, 1993, and the PUD Agreement pertaining to signage for the Third Amended Property, and on August 28, 2023, the City Council considered and approved a Third Amendment to PUD Plan 5, 1993, dated May 13, 2023, (hereinafter referred to as the "Third Amendment"), subject to certain conditions, including the approval, execution, and recording of an amendment to the PUD Agreement.

I. Kojaian accepts any and all risks associated with the City's approval of the Third Amendment and agrees to release and hold the City harmless from any and all claims, liabilities, causes of action, damages, judgments, attorney fees, court costs, and expenses which arise out of or are related to the City's approval of the Third Amendment.

J. Pursuant to Section 25 of the PUD Agreement and in accordance with the procedures set forth in Section 34-3.20 of the City's Zoning Ordinance, Kojaian and City desire to amend the PUD Agreement for the purposes set forth in this Third Amendment to PUD Agreement.

**NOW, THEREFORE**, in consideration of the covenants contained herein and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed as follows:

1. All references in the PUD Agreement to the PUD Plan, site plan, landscape plan and any other plans, elevations, and surveys are hereby amended to include and shall be amended to include the signage relating to the "Request from Comerica" reflected on the Signage Plan for Third Amended Property attached hereto as **Exhibit C**.

2. Paragraph 13 of the PUD Agreement is amended and restated, in full, to read as follows:

"13. (A) Nine (9) freestanding accessory signs shall be permitted as follows: one (1) at each of four (4) vehicular entrances to the site off of 12 Mile Road and Halsted Road (as shown on the Planned Unit Development plan); two (2) oriented toward the I-696 Freeway; and three (3) along Corporate Drive on the Third Amended Property as shown in the attached **Exhibit C**. Nine (9) other freestanding signs are permitted

within individual building sites as shown on Page 1 of **Exhibit C** and identified thereon as "existing" signs 5-10 and "future" signs 16-18 for the building site east of the Third Amended Property. Requirements of the OS-4 District as to area and height shall apply to the signs in this subparagraph, except that the sign on the Third Amended Property oriented toward the I-696 Freeway may be up to 25.75 feet in height and 31.85 square feet in area.

(B) Signs limited to providing directions or instructions for vehicular or pedestrian traffic shall be permitted as set forth in the Zoning Ordinance, except that four (4) such signs may be placed within the campus and shall be no larger than seventy (70) square feet in area and no higher than ten (10) feet. The four signs shall be located at the four (4) intersections of the entrance roads with the interior private roads of the site.

(C) Requirements of the OS-4 District as to area shall apply to all wall signs within the campus, except the building on the Third Amended Property may have up to three (3) wall signs on its south building façade not to exceed two-hundred-and-ninety-one (291) square feet in total area, in addition to the wall sign on its north building façade permitted under and in accordance with the Zoning Ordinance."

3. Kojaian acknowledges that, at the time of the execution of this Third Amendment to Planned Unit Development Agreement, Kojaian has not yet applied for or obtained the sign permits that are required for the signage pertaining to the Third Amended Property allowed under this Third Amendment to PUD Agreement. Kojaian acknowledges that such permits are required prior to the installation of any signs allowed under this Third Amendment to PUD Agreement and City ordinances may require and City may impose additional conditions other than those contained in this Third Amendment to PUD Agreement during its reviews and approvals of sign permit applications as authorized by law; provided, however, that such conditions shall not be inconsistent with the PUD Plan, as amended by the Third Amendment. All sign permits approved by City and any conditions imposed as part of such permits, as authorized by ordinance or other law, shall be incorporated into and made a part of this Third Amendment automatically upon issuance of same and without the necessity of amending this Third Amendment to PUD Agreement.
4. The exhibits attached hereto and the recital paragraphs set forth above are hereby incorporated into this Third Amendment to PUD Agreement by this reference as though fully set forth herein.
5. The parties acknowledge and agree that, except as expressly set forth in the Third Amendment and this Third Amendment to PUD Agreement, all of terms, conditions and obligations contained in the PUD Agreement, as previously amended by the First Amendment to PUD Agreement and Second Amendment to PUD Agreement, remain unchanged and are in full force and effect.
6. This Third Amendment to PUD Agreement shall be recorded at the Oakland County Register of Deeds Office.

[Signatures on Next Page]







EXHIBIT A

PROPERTY LEGAL DESCRIPTION  
(Attached)

Exhibit B

THIRD AMENDED PROPERTY LEGAL DESCRIPTION

EXHIBIT C

SIGNAGE PLAN FOR THIRD AMENDED PROPERTY  
(Attached)

# Farmington Hills

Corporate Campus

SIGNAGE

ATTACHMENT "A"

*Amend PUD 5, 1993*

RECEIVED

*SIGNS*

MAY 18 2023

CITY OF FARMINGTON HILLS  
PLANNING DEPT.

**KOJAIAN** 



# SITE PLAN

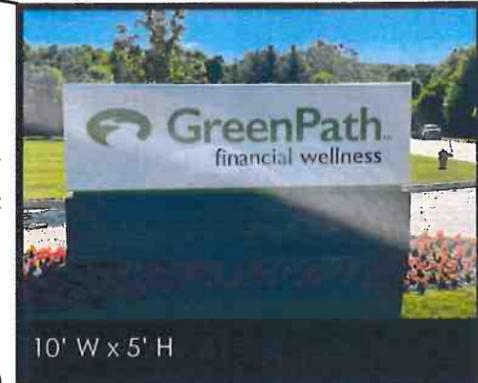


**BUILDINGS**

- BUILDINGS ALREADY CONSTRUCTED
- JST, UNDER CONSTRUCTION
- PROPOSED RETAIL
- APPROVED FUTURE OFFICE BUILDINGS

<p><b>EXISTING</b></p> <p>1-4 ★ (4) FREESTANDING SIGN FOR FHCC PUD</p> <p>5-11 ★ (7) FREESTANDING SIGN FOR EACH INDIVIDUAL PARCEL</p> <p><b>PREVIOUSLY APPROVED/AMENDED IN PUD</b></p> <p>12 ☆ (1) FREESTANDING SIGN ORIENTED TOWARDS 12 MILE (RETAIL, B-2 DISTRICT)</p> <p>13 ★ (1) FREESTANDING SIGN ORIENTED TOWARDS 16969 (FUTURE BTS)</p> <p><b>REQUEST FROM COMERICA</b></p> <p>14 ● (2) FREESTANDING</p> <p>14 (1) FREESTANDING SIGN FOR COMERICA'S SECOND ENTRANCE (1 EXISTS ALREADY - TO BE REPLACED)</p> <p>15 (1) FREESTANDING SIGN (ORIENTED TOWARDS I-696) FOR COMERICA</p> <p>● (4) WALL SIGN FOR COMERICA</p> <p><b>REQUEST FOR FHOC III (FUTURE BTS)</b></p> <p>16-18 ☆ (3) FREESTANDING SIGN FOR FHOC III</p>	<p><b>FREESTANDING SIGNAGE &amp; WALL SIGNAGE</b></p>
--	---

**EXISTING & PREVIOUSLY APPROVED IN PUD**



- FREESTANDING SIGNAGE & WALL SIGNAGE**
- EXISTING**
- 1-4 ★ (4) FREESTANDING SIGN FOR FHCC PUD
  - 5-11 ★ (7) FREESTANDING SIGN FOR EACH INDIVIDUAL PARCEL
  - 12 ★ (1) FREESTANDING SIGN ORIENTED TOWARDS 12 MILE (RETAIL, B-2 DISTRICT)
  - 13 ★ FREESTANDING SIGN ORIENTED TOWARDS 16969 (FUTURE BTS)

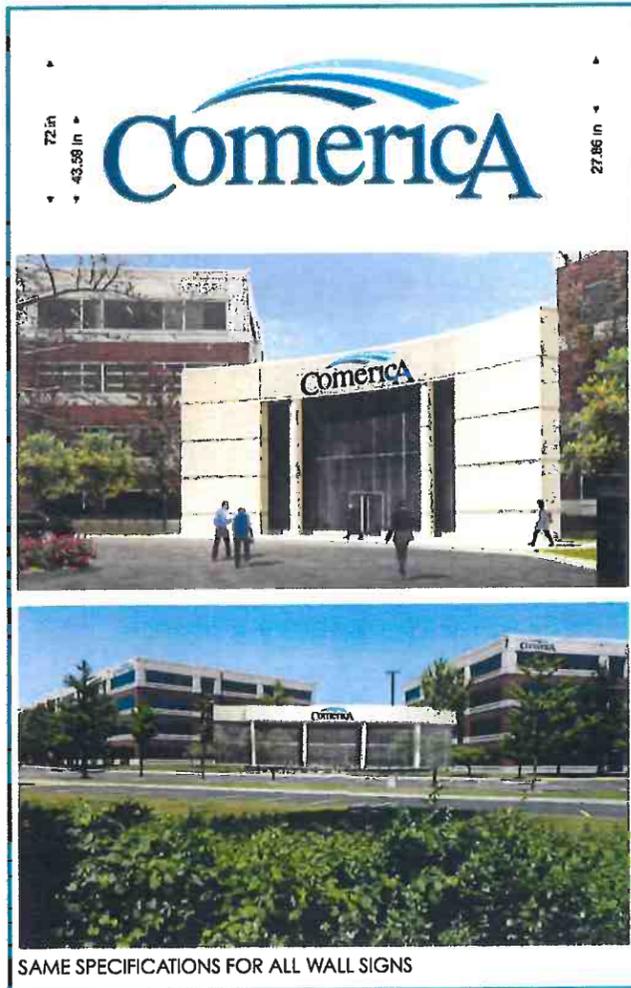
- BUILDINGS**
- BUILDINGS ALREADY CONSTRUCTED
  - BJT, UNDER CONSTRUCTION
  - PROPOSED RETAIL
  - APPROVED FUTURE OFFICE BUILDINGS



NOTE: COMERICA IS PROPOSING TO REPLACE THIS EXISTING SIGN

# REQUESTED | COMERICA & FHOC III (FUTURE BTS)

NOTE: SIGN SPECIFICATIONS FOR COMERICA ARE INCLUDED ON THE FOLLOWING PAGES

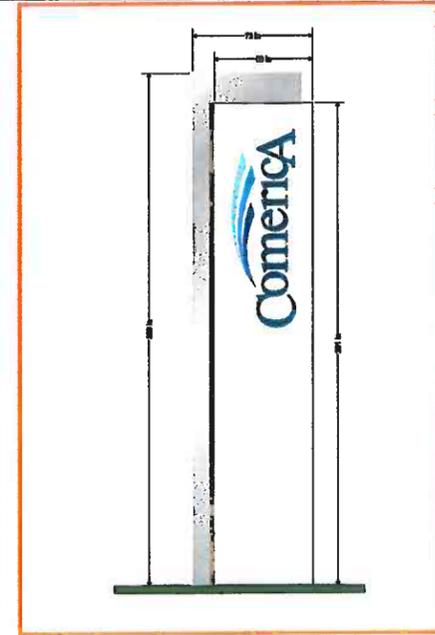
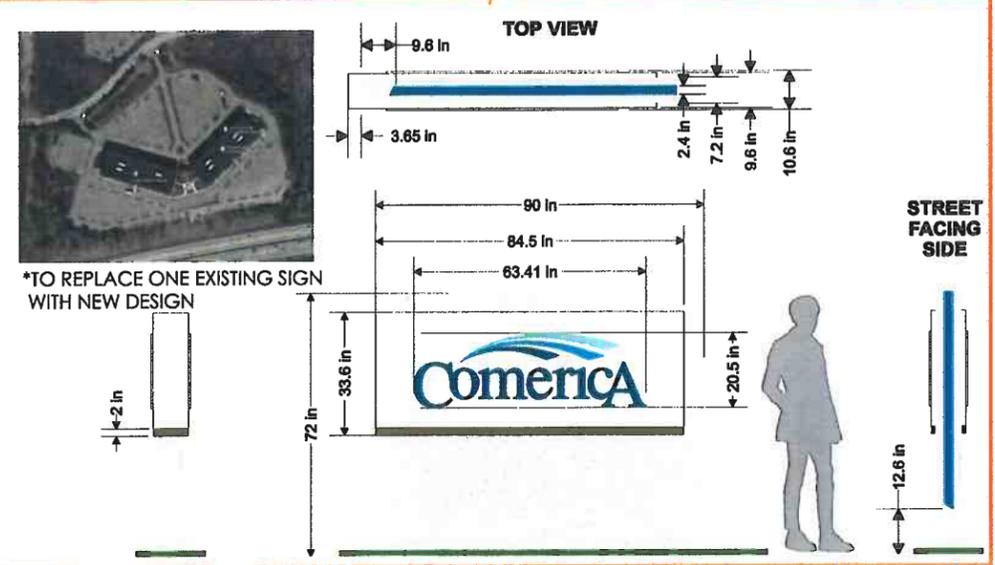


FUTURE FREESTANDING SIGN DESIGN: TBD

**BUILDINGS**

- BUILDINGS ALREADY CONSTRUCTED
- JST, UNDER CONSTRUCTION
- PROPOSED RETAIL
- APPROVED FUTURE OFFICE BUILDINGS

- FREESTANDING SIGNAGE & WALL SIGNAGE**
- EXISTING**
- 1-4 ★ (4) FREESTANDING SIGN FOR FHCC PUD
  - 5-11 ★ (7) FREESTANDING SIGN FOR EACH INDIVIDUAL PARCEL
- PREVIOUSLY APPROVED/AMENDED IN PUD**
- 12 ☆ (1) FREESTANDING SIGN ORIENTED TOWARDS 12 MILE (RETAIL, B-2 DISTRICT)
  - 13 ★ (1) FREESTANDING SIGN ORIENTED TOWARDS I-696 (FUTURE BTS)
- REQUEST FROM COMERICA**
- 14 ● (2) FREESTANDING
  - 15 ● (1) FREESTANDING SIGN FOR COMERICA'S SECOND ENTRANCE (1 EXISTS ALREADY- TO BE REPLACED)
  - 16 ● (1) FREESTANDING SIGN (ORIENTED TOWARDS I-696) FOR COMERICA
  - 17 ● (4) WALL SIGN FOR COMERICA
- REQUEST FOR FHOC III (FUTURE BTS)**
- 18 ☆ (3) FREESTANDING SIGN FOR FHOC III

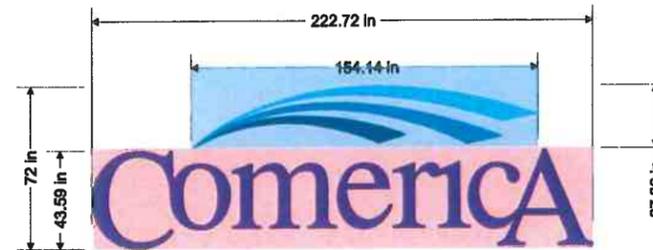


# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

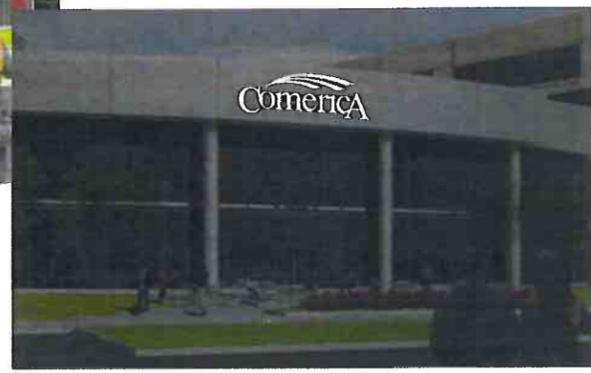
Reference on Site Plan :



## WALL SIGN - SOUTH SIDE - 112 SQ FT SIZE



$43.59 \times 222.72 / 144 = 67.4$   
 $27.86 \times 154.14 / 144 = 29.82$   
 Total SF = 97.2



SIMULATED NIGHT VIEW

- FACES :** .177" milk white acrylic faces with 3M 3635 dual color applied film printed and laminated to match pantone numbers stated below.
- TRIMCAP :** 1" White Jewelite.
- RETURNS :** 3" aluminum, .063" thick, painted to match faces.
- BACKS :** .080 aluminum, welded to returns, exterior painted to match returns
- ILLUMINATION :** LED modules, 7500k white. Remote power supplies.
- LETTER INTERIORS:** Painted high-reflective white.
- MOUNTING :** Bolted with pass-thru low voltage illumination wire and remote mounted power supplies.
- SQUARE FOOTAGE:**  $(72 \times 222.72) / 144 = 111.36$  sq ft

*\*Due to curve of building fascia, this drawing will need to be reviewed and sealed by an engineer. This will most likely need an intricately designed framework system that will compliment the aesthetics of the building. By doing this, it will allow the plane of the letters to be flat*

- Comerica Light Blue - PMS 304C
- Comerica Medium Blue - PMS 2143C
- Comerica Blue - PMS 294C



DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

**CLIENT:** Comerica Bank  
**ADDRESS:** 36455 & 36555 Corporate Drive  
 Farmington Hills, MI 48331  
**DATE:** 5.10.2023

### NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



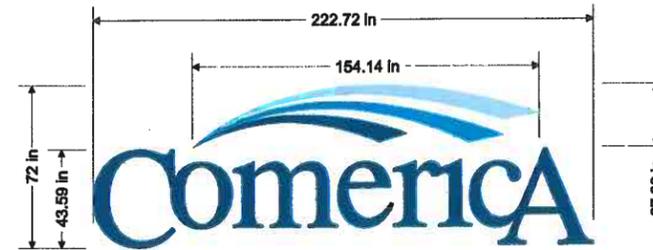
All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

Reference on Site Plan :



WALL SIGN - SOUTH SIDE - 112 SQ FT SIZE



SIMULATED NIGHT VIEW

- FACES :** .177" milk white acrylic faces with 3M 3635 dual color applied film printed and laminated to match pantone numbers stated below.
- TRIMCAP :** 1" White Jewelite.
- RETURNS :** 3" aluminum, .063" thick, painted to match faces.
- BACKS :** .080 aluminum, welded to returns, exterior painted to match returns
- ILLUMINATION :** LED modules, 7500k white. Remote power supplies.
- LETTER INTERIORS:** Painted high-reflective white.
- MOUNTING :** Bolted with pass-thru low voltage illumination wire and remote mounted power supplies.
- SQUARE FOOTAGE:** (72 x 222.72) / 144 = 111.36 sq ft

*\*Due to curve of building fascia, this drawing will need to be reviewed and sealed by an engineer. This will most likely need an intricately designed framework system that will compliment the aesthetics of the building. By doing this, it will allow the plane of the letters to be flat*

	Comerica Light Blue - PMS 304C
	Comerica Medium Blue - PMS 2143C
	Comerica Blue - PMS 294C



DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

### NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

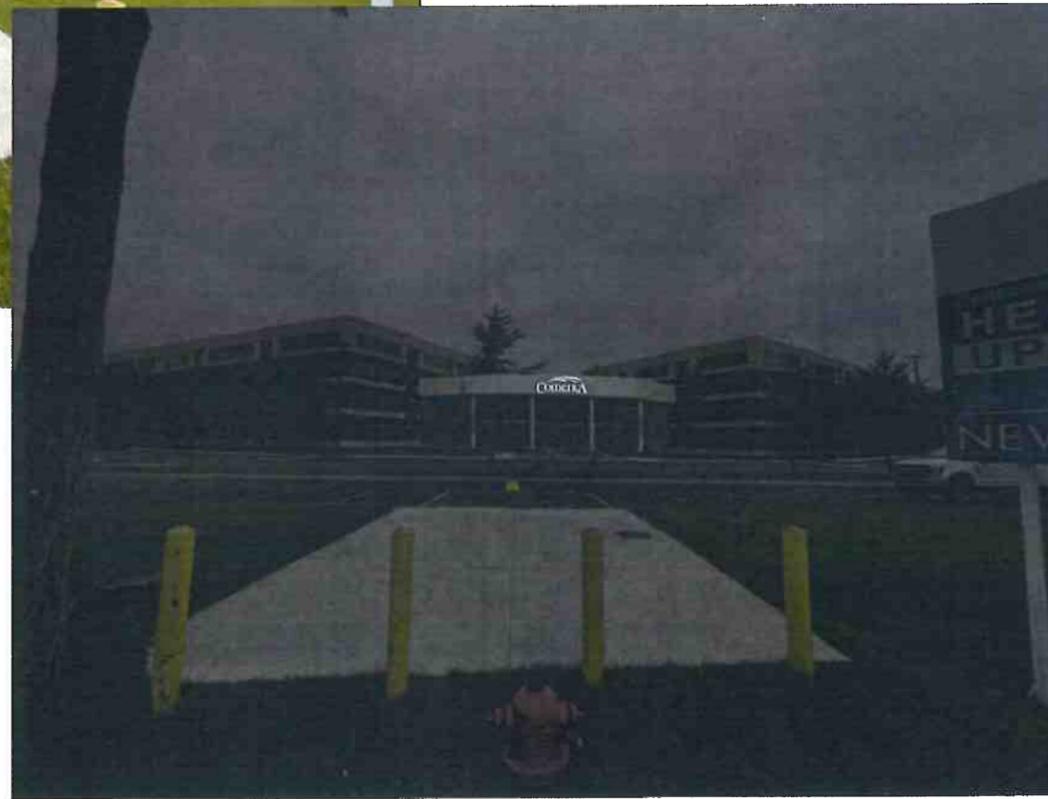
Reference on Site Plan :



WALL SIGN - SOUTH SIDE CONNECTOR - 112 SQ FT SIZE



SIMULATED NIGHT VIEW



# EUKO DESIGN/SIGNS

DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

## NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

Reference on Site Plan :



WALL SIGNS - SOUTHERN FREEWAY EXPOSURE - 112 SQ FT SIZE (EACH)



Preferred - Three wall signs on Southern building sides. This option would maximize visibility for all freeway traffic  
All three signs are of the same specifications.  
Upper signs would be individually mounted letters with remote power supplies.

# EUKO DESIGN/SIGNS

DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

## NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



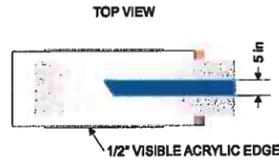
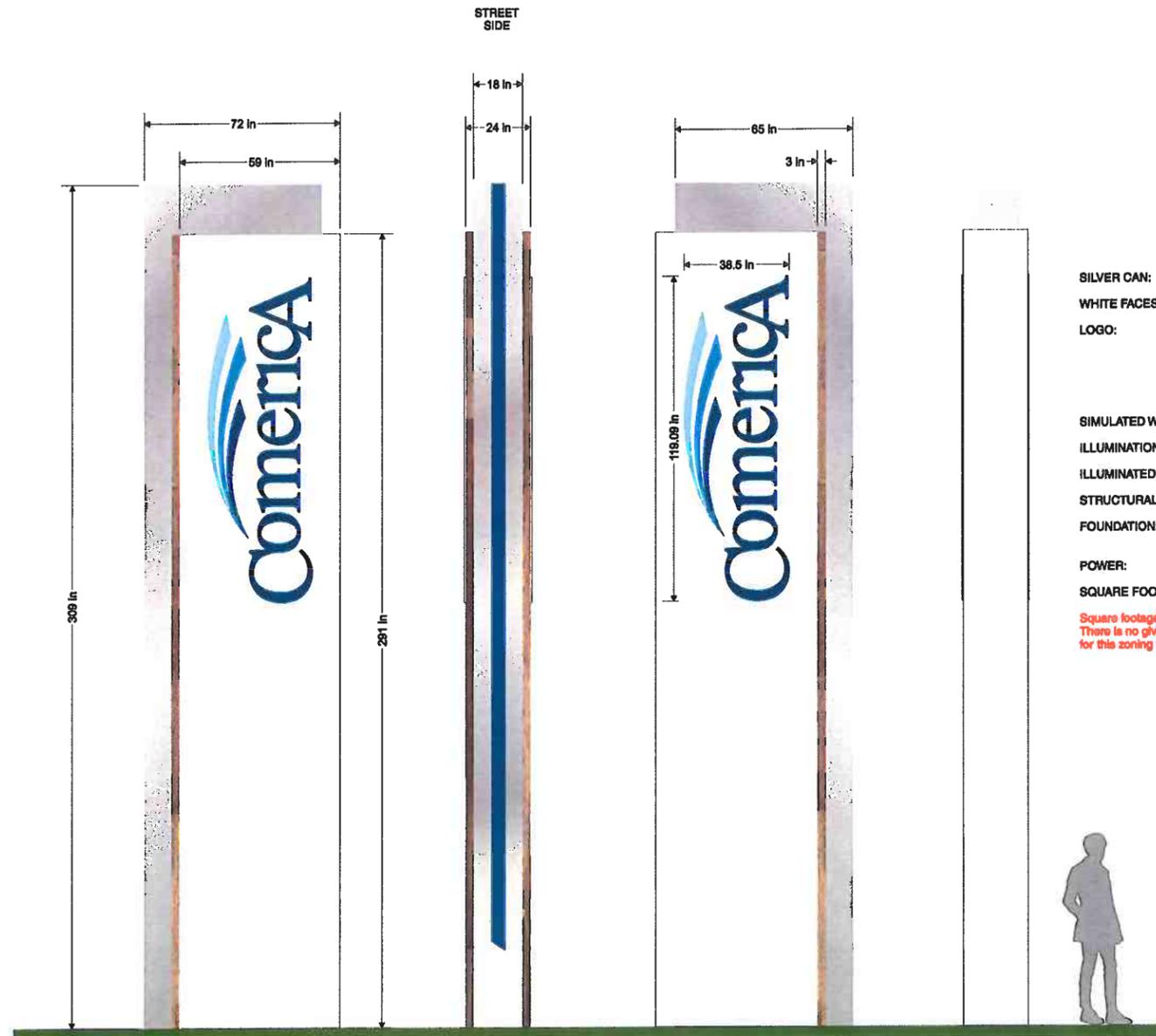
All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

Reference on Site Plan :

15

## FREESTANDING SIGN - HIGHWAY EXPOSURE - 25 ft 9 in HEIGHT



- SILVER CAN: .125" Aluminum - Painted Matthews Brushed Aluminum
- WHITE FACES: .125" Aluminum - Painted Matthews White with Routed Logo
- LOGO: Push Through .75 In Clear Acrylic with Second Surface Diffuser and First Surface Custom Color Printed Translucent White Cast Vinyl with Sub-Surface Second Layer Custom Color Printed Cast Clear Vinyl for Proper Pantone Color Illumination. (Optional dual color film to replace solid color vinyl for all white night time illumination)
- SIMULATED WOOD TRIM: 2 In Aluminum Extrusion with First Surface Applied DI-Noc FW-233EX
- ILLUMINATION: LED Modules, 7500k with Power Supplies Located within Sign Base.
- ILLUMINATED ACCENT: TBD
- STRUCTURAL: Engineered steel structure to meet proper load requirements.
- FOUNDATION: As necessary to comply with city regulations and engineering specifications. Sign to be mounted to inner steel structure.
- POWER: Connect to customer supplied electrical connection.
- SQUARE FOOTAGE: (38.5in x 119.09in) / 144 = 31.85 sq ft

Square footage to only include logo area of sign as per City of Farmington Hills. There is no given criteria for this type of highway signage in the PUD agreement or the city code for this zoning type.

	White		Comerica Light Blue - PMS 304
	Silver - Matthews Brushed Aluminum		Comerica Medium Blue - PMS 2143
	DI-Noc FW-233EX		Comerica Blue - PMS 284C



DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 www.EukoSigns.com

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

### NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

Reference on Site Plan :

15

FREESTANDING SIGN - HIGHWAY EXPOSURE - ENVIRONMENTAL ELEVATION



# EUKO DESIGN/SIGNS

DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

## NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



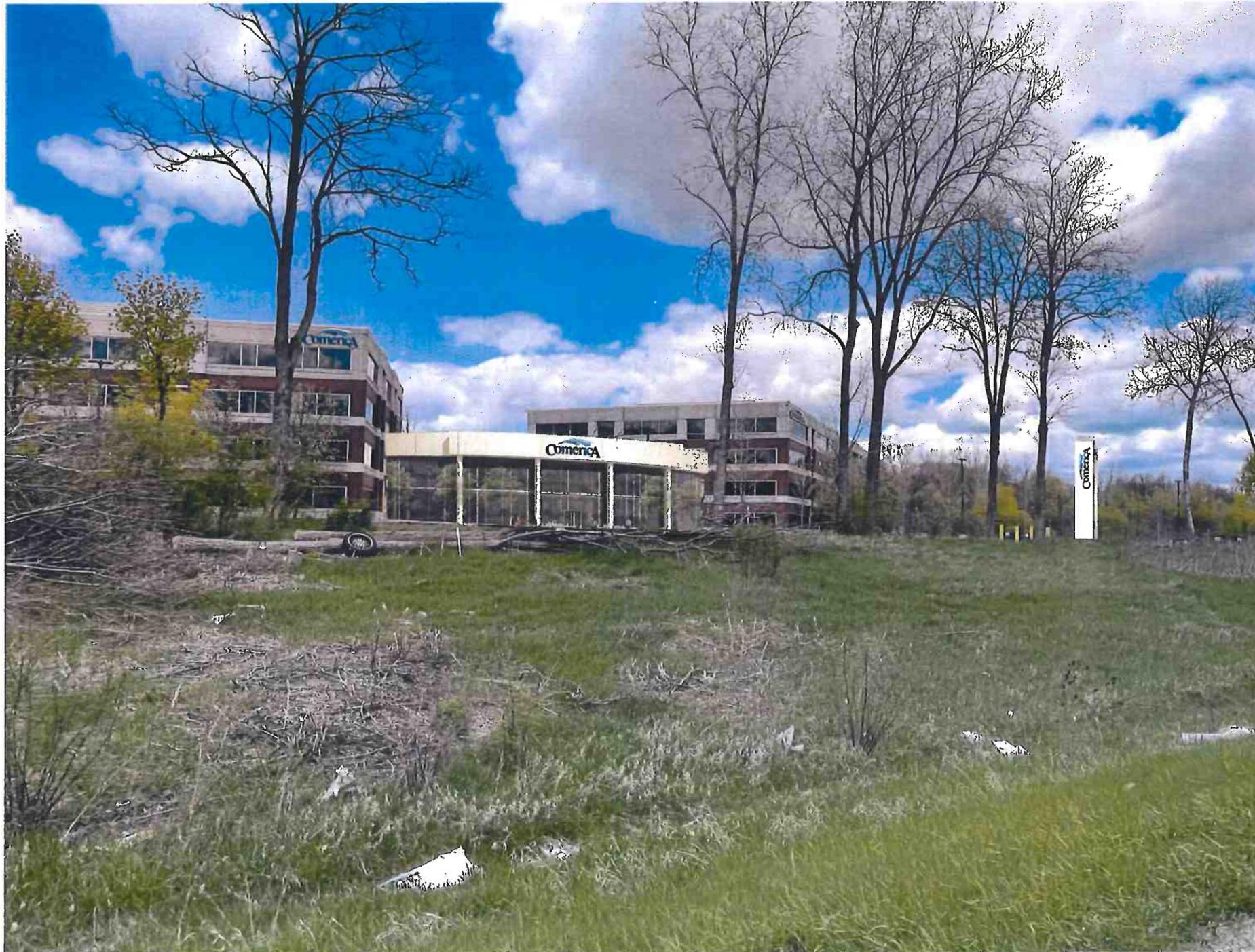
All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

Reference on Site Plan :

15

FREESTANDING SIGN - HIGHWAY EXPOSURE - ENVIRONMENTAL ELEVATION WITH BUILDING SIGNAGE



# EUKO DESIGN/SIGNS

DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

## NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



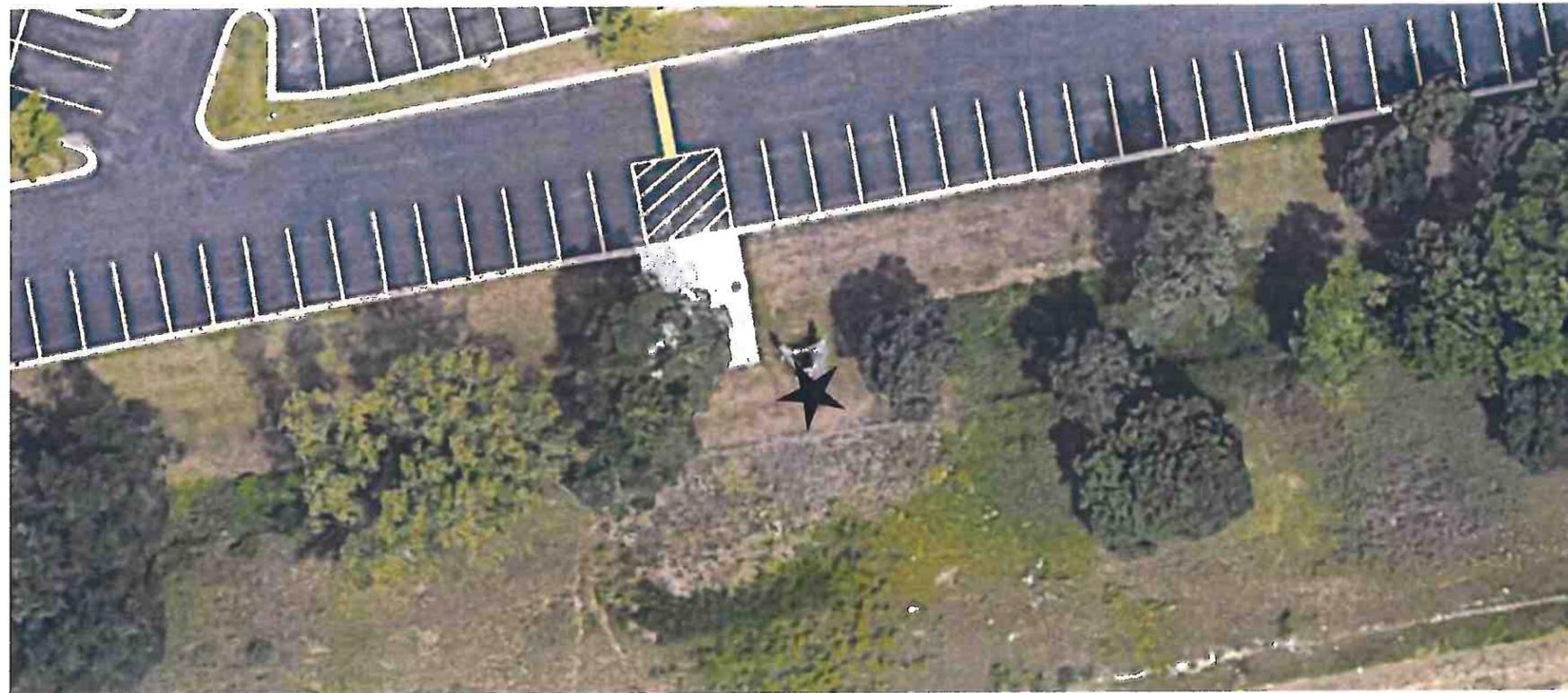
All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

# SIGNAGE SPECIFICATIONS FOR COMERICA BY EUKO DESIGN/SIGNS

Reference on Site Plan :

15

## FREESTANDING SIGN LOCATION - COMPLEX INTERIOR HIGHWAY EXPOSURE



★ SIGN LOCATION

Electrical Circuit to be supplied by client

# EUKO DESIGN/SIGNS

DESIGN • FABRICATION • INSTALLATION • MAINTENANCE

248.478.1330 [www.EukoSigns.com](http://www.EukoSigns.com)

CLIENT: Comerica Bank

ADDRESS: 36455 & 36555 Corporate Drive  
Farmington Hills, MI 48331

DATE: 5.10.2023

### NOTES

Drawings are conceptual only. Final design, sizes and details to be determined based on updated corporate style guide, city regulations and finalized approvals.



All rights reserved. NO part of these documents may be copied or produced in part or whole without written permission of Euko Design-Signs, Inc. Printed colors may vary from color match code numbers. Drawings and dimensions are representational and may require changes or adjustment in production.

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION MEETING  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
July 20, 2023, 7:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Regular Meeting was called to order by Chair Countegan at 7:30 p.m.

**ROLL CALL**

Commissioners present:           Aspinall, Brickner, Countegan, Mantey, Trafelet, Stimson, Ware

Commissioners Absent:           Grant, Varga

Others Present:                   City Planner Perdonik, City Attorney Schultz, Planning Consultant Bahm

**APPROVAL OF THE AGENDA**

**MOTION by Trafelet, support by Brickner, to approve the agenda as published.**

**Motion passed unanimously by voice vote.**

**PUBLIC HEARING**

**A. AMEND PLANNED UNIT DEVELOPMENT (PUD) 5, 1993**

LOCATION:                           36455 and 36555 Corporate Drive  
PARCEL I.D.:                       22-23-17-127-001  
PROPOSAL:                         Amend PUD to permit signage not presently permitted  
ACTION REQUESTED:             Recommendation to City Council  
APPLICANT:                       Farmington Hills Corporate Investors, LLC  
OWNER:                             Farmington Hills V Corporate Investors, LLC

Chris Kojaiian, Kojaiian Companies, 39400 Woodward Ave., Bloomfield Hills, was present on behalf of this application to amend PUD 5, 1993, to permit signage not presently permitted. The action requested was that the Planning Commission make a recommendation to City Council regarding this request.

Mr. Kojaiian explained that Comerica Bank is moving their Michigan Operations Center to this site. Comerica is investing in both in the building and in the community. The request for new signage on the building was part of the overall building update.

The building was previously two buildings operating as a multi-tenant space, with multiple signs. Comerica is converting the previous use into a single-tenant, single connected building.

Comerica is requesting the approval of additional signage, as well as just cleaning up the PUD language. The requested building signage was actually not any more signage than existed when the buildings were separate and under multi-tenant use. Comerica is also asking for an additional free-standing sign along the freeway, in order to give more visibility to the Comerica campus.

Referencing the June 8, 2023 Giffels Webster memorandum, Planning Consultant Bahm gave the background and review for this request for PUD amendment, in order to permit the signage that is proposed above and beyond OS-4 district requirements, as follows:

1. Three wall signs on the south façade where one is permitted.
2. 291 square feet of wall sign on the south façade where 100 square feet are permitted.
3. Two freestanding signs along Corporate Drive one is permitted.
4. A 25.75-foot height for the sign along I-696 where six feet is permitted.

Chair Countegan explained that the Planning Commission had previously determined that this request represented a major amendment to the PUD, and therefore a public hearing was necessary.

Chair Countegan opened the public hearing. Seeing that no public indicated that they wished to speak on this agenda item, Chair Countegan closed the public hearing and brought the matter back to the Commission.

**MOTION by Brickner, support by Trafelet** to recommend to City Council that the proposed Amendment to PUD 5, 1993, dated May 18, 2023, submitted by Farmington Hills Corporate Investors, LLC, be approved, because the plans are consistent with the goals, objectives, and policies of the Master Plan and applicable provisions of the Planned Unit Development Option in Section 34-3.20 of the Zoning Ordinance, subject to:

1. Modifications of Zoning Ordinance requirements as indicated on the proposed plan.

**Motion passed unanimously by voice vote.**

**Motion by Trafelet, support by Ware, to adjourn the meeting at 9:01pm.**

**Motion carried unanimously by voice vote.**

Respectfully Submitted,

Marisa Varga  
Planning Commission Secretary  
/cem

**APPROVED 9/11/2023**

MINUTES  
CITY OF FARMINGTON HILLS  
CITY COUNCIL MEETING  
CITY HALL – COUNCIL CHAMBER  
AUGUST 28, 2023 – 7:30 PM

The regular session meeting of the Farmington Hills City Council was called to order by Mayor Barnett at 7:36pm.

Council Members Present: Barnett, Boleware, Bridges, Knol, Massey and Newlin

Council Members Absent: Bruce

Others Present: City Manager Mekjian, City Clerk Smith, Directors Kettler-Schmult and Schnackel, Fire Chief Unruh and City Attorney Joppich

**PLEDGE OF ALLEGIANCE**

Mayor Barnett led the pledge of allegiance.

**APPROVAL OF REGULAR SESSION MEETING AGENDA**

MOTION by Massey, support by Knol, to approve the agenda as published.

MOTION CARRIED 6-0.

**PUBLIC HEARING**

**PUBLIC HEARING AND CONSIDERATION OF AMENDMENT TO PLANNED UNIT DEVELOPMENT PLAN 5, 1993 DATED MAY 13, 2023 LOCATED AT 36455 AND 36555 CORPORATE DRIVE.**

Erik Perdonik, City Planner, reviewed the proposed amendment that would allow for a new wall and monuments signage at the future site of Comerica Bank. He noted that typically signage would come before the Zoning Board of Appeals, but since signage was covered as part of the original PUD agreement, approval of an amendment by City Council is required. He noted that the Planning Commission held a public hearing on July 20<sup>th</sup> at which time they recommended approval to City Council following the public hearing this evening.

Chris Kojaian, owner of the building and landlord, provided a background the proposed development noting that they are connecting two existing buildings and they do not need the existing signage and are asking to clean up the PUD agreement in order to have appropriate signage for the new building that will also serve as a great recruitment tool for the business.

Mayor Barnett opened the public hearing.

Pam Gerald, resident, spoke in favor of the proposed amendment as proper signage is important to success of businesses.

There being no further comments, Mayor Barnett closed the public hearing.

MOTION by Bridges, support by Knol, that the City Council of Farmington Hills hereby approves the application for approval of an amendment to PUD Plan 5, 1993, dated May 13, 2023, and

IT IS FURTHER RESOLVED, that the City Council directs the City Attorney to prepare the appropriate PUD agreement stipulating the final PUD approval conditions and authorizing the identified zoning deviations for City Council consideration and final approval.

MOTION CARRIED 6-0.

Mayor Barnett inquired about illumination of the proposed signage. Mr. Kojaian assured Council that the lighting would not adversely affect property across the freeway and that they would comply with the city's lighting ordinance.

City Planner Perdonik confirmed that if the amendment were approved this evening, a sign permit would be required and illumination standards reviewed at that time.

**ADJOURNMENT**

MOTION by Bridges, support by Bruce, to adjourn the regular session City Council meeting at 8:16pm.

MOTION CARRIED 6-0.

Respectfully submitted,



Pamela B. Smith, City Clerk



***Interoffice Correspondence***

---

**DATE:** December 11, 2023

**TO:** Gary Mekjian, City Manager

**FROM:** Charmaine Kettler-Schmult, Director of Planning and Community Development

**SUBJECT:** PUD 5, 1993– Kojaian PUD – Twelve Mile and Halsted (Public Benefits)

---

PUD 5, 1993 was originally approved as a corporate headquarters for a large banking business. Since that time, the property was separated into large office sites for a variety of businesses. The adaptation of the property has necessitated modification of the original vision via PUD amendments; however, assets to the community have been achieved through the PUD process, such as:

- Conservation of natural features within each developed property and the permanent preservation of 7.43 acres.
- An emergency access to I-696 that was recently implemented to provide essential service to residents and motoring public during the road construction.
- Public roads and connections approved to be built to public road standards.
- Pedestrian access within and connecting to major roadways.

**REPORT FROM THE CITY MANAGER TO CITY COUNCIL**  
**December 11, 2023**

**SUBJECT: CONSULTING SERVICES FOR BUILDING DEPARTMENT DATABASE  
MANAGEMENT AND SYSTEM**

**ADMINISTRATIVE SUMMARY**

- The City is implementing a new Enterprise Resource Planning (ERP) software, BS&A Software, over the next two years, with anticipated completion by the Summer of 2025.
- The City must clean up the existing BS&A “Building.NET” database, so that the Building.NET database can be combined together with other BS&A databases without difficulty.
- Assessor Matt Dingman and his staff have provided invaluable assistance by rectifying over 25,000 issues with the existing Building.NET database. However, there are still several thousand remaining issues that need to be corrected that require in-depth analysis by an expert in BS&A database management and Building Department procedures. It is also imperative that the City upgrade standard operating procedures and other systems in the Building Department to optimize the use of the new BS&A Cloud software, by:
  - ensuring the highest quality data going forward,
  - the best customer experience, and
  - the most efficient and cost-effective administration.
- Recently, the City engaged consultant Kevin Keyes of Munivate, LLC for several days of consulting work. Mr. Keyes is a former BS&A Project Manager who formed Munivate, LLC in 2021 to provide consulting services for municipalities. Mr. Keyes is an expert in BS&A software and building department operations.
- At the City’s request, Mr. Keyes reviewed the City’s Building.NET database and the Building Departments existing standard operating procedures. The attached proposal reflects the City’s requested scope of work, namely to:
  - **Clean-up record types/picklists, organize and digitize data and documents**, to eliminate thousands of issues within records, and to improve software functionality for staff and customers;
  - **Increase self-service by customers and automate processes** to improve customer experience and to reduce staff workload;
  - **Formalize Project Management** by collaborating with City staff and identifying key roles and responsibilities;
- BS&A recommended Mr. Keyes (owner of Munivate, LLC) as a leader who possesses unique experience and qualifications; Mr. Keyes has assisted several other area

municipalities with similar building database transition projects, including the City of Royal Oak, and Pittsfield Township.

City staff does not believe that a Request for Proposal would be in the City's best interest in this particular case, since we have a definite limitation in terms of the amount of time available to successfully complete the cleanup of the Building.NET system.

Furthermore, Munivate, LLC possesses unique skills and expertise with the BS&A software system, and with Building operations and best practices, that will be invaluable to the City's efforts to optimize the implementation of the BS&A Cloud for the Building Department.

### **RECOMMENDATION**

In view of the above, it is recommended that City Council waive the sealed bid process & authorize the City Manager to sign an agreement and issue a purchase order for purchasing sole source from Munivate, LLC, to provide Consulting Services to manage the Building system transition to BS&A Cloud for the City of Farmington Hills, in an amount not to exceed \$75,000.

Prepared by: Thomas C. Skrobola, Finance Director/Treasurer

Reviewed by: Charmaine Kettler-Schmult, Director of Planning and Community Development

Approved by: Gary Mekjian, City Manager

Proposal for Services

December 2023

City

Of

Farmington

Hills

Community Development  
Optimization and Cloud Upgrade



  
**MuniVate**

# Table of Contents

---

<b>Executive Summary</b>	<b>3</b>
<b>Proposal</b>	<b>5</b>
<b>Project Team</b>	<b>8</b>
Munivate	9
City	12
<b>References</b>	<b>13</b>

---



# Executive Summary

## Background

- The City is implementing a new Enterprise Resource Planning (ERP) software, BS&A Software, over the next two years, with anticipated completion by the Summer of 2025.
- The migration will require the city to clean up the existing BS&A “Building.NET” database so that it can be combined with other BS&A databases without difficulty, and to improve standard operating procedures to optimize use of the new ERP system.
- Assessor Matt Dingman and his staff have provided invaluable assistance by rectifying over 25,000 issues with the existing Building.NET database related to addressing. However, there are still several thousand remaining addresses that need to be corrected that require in-depth analysis by an expert in BS&A database management and Building Department procedures.
- BS&A will need staff to complete activities during the BS&A Cloud project which are critical to its success but sometimes difficult to coordinate and complete.

## About Munivate

Munivate is a Michigan-based company that specializes in local government solutions and is a professional services partner of BS&A Software. It was founded in 2021 by Kevin Keyes, a highly experienced partner of communities who spent over a decade with BS&A Software and has worked with around 300 municipalities in 16 states. Munivate currently has over 25 clients in 6 states, including the City of Royal Oak, Pittsfield Township, the City of Ypsilanti, and others in southeast Michigan.

## About the Project

In November 2023, Kevin Keyes performed a Comprehensive Environment Assessment (CEA) of the Building Department database and met with staff to discuss operations. Through this work, a number of opportunities were identified where the software and department processes could be optimized to provide staff with the tools they need to improve service delivery for applicants and set the table for a smooth transition to Cloud. These include:

- **Improve user experience** by cleaning up system configuration, reorganizing data, and reconfiguring existing records to create a more positive experience for staff and public.
- **Improve and increase self-service and overall efficiency** by expanding and promoting online services and implementing system workflow automation to reduce manual intervention for repetitive tasks.
- **Formalize Project Management** by establishing a process to identify, rank, and approve necessary activities required to achieve success, then plan and manage work packages to ensure quality completion.

Munivate enjoys a unique set of skills, combining deep domain expertise with advanced technical capabilities that allows it to not only manage projects but take an active, hands-on role in them as well. We see exciting things happening in the City the next few years and we would love to be a part of it.

# Proposal



# Project Estimation

The following are estimates of hours for each area based on our experience implementing similar projects.

AREA	ESTIMATED HOURS
1. PERMIT, PROJECT, FEE, PLAN REVIEW, WORKFLOW AUTOMATION, RECONFIGURATION, AND TRAINING	42
2. BSA ONLINE PERMIT, PZE, AND INSPECTION RECONFIGURATION, EXPANSION, AND TRAINING	12
3. CLEAN PICKLISTS	3
4. REPORTS CREATION, ADJUSTMENT, AND CLEANUP	6
5. CODE ENFORCEMENT RECONFIGURATION, WORKFLOW AUTOMATION, TRAINING	9
6. CERTIFICATE RECONFIGURATION, WORKFLOW AUTOMATION, TRAINING	9
7. ONE YEAR OF PROJECT MANAGEMENT AND RESOURCE SERVICES (SYSTEM OPTIMIZATION, CLOUD PRE-IMPLEMENTATION, AD-HOC ACTIVITY MANAGEMENT AND DELIVERY)	260
8. ADDRESSING SOP ESTABLISHMENT AND RECONCILIATION	60
9. BONDS AND ESCROW RECONCILIATION	6

The proposed services are being offered on an hourly basis based upon the estimates provided above. Travel is estimated based on the anticipated number of trips.

<b>Purpose</b>	<b>Estimated Hours</b>	<b>Total</b>
Services	407	\$71,225
Travel		\$2,904
<b>Totals</b>		<b>\$74,129</b>

Hourly rates for services:

<b>Role</b>	<b>Rate</b>
Senior Consultant	\$175
Senior Advisor	\$195
Data Visualization Consultant	\$150

The proposed billing schedule is as follows unless otherwise stated in a separate city contract or amended via change order:

<b>Invoice Date</b>	<b>Amount</b>
Billed Monthly	Accrued Monthly Total

Hours are tracked in the project SharePoint site as accrued and invoiced electronically monthly (net 30) to the client. Only actual hours are billed.

# Project Team





# Kevin Keyes

Senior Consultant

## On this Project

Kevin will work directly with the city to plan and execute the activities within the project plan. He'll interview staff, conduct research, execute activities, and perform other project-related activities while providing in-depth insight from years of Community Development, project management, and advisory experience.

## History

Kevin has spent the last 12+ years working directly with Community Development departments.

During that time, he's helped over 300 municipalities in 16 different states implement technology, improve service delivery, and bring about real organizational change.

Founding Munate in 2021 with a mission to empower municipalities to innovate, Kevin has quickly been relied on by both public and private organizations who serve the public within the Community Development domain.

Prior to founding Munate, Kevin served in various roles for BS&A Software where he worked with Community Development teams throughout the country.

Kevin also has experience in many cross-disciplinary areas such as:

- Governmental Fund Accounting
- Change Management
- Organizational Management
- GIS
- ERP Software Design, Function, and Implementation
- Data Analytics and Modeling
- Robotic Process Automation (RPA)
- System Integrations
- Documentation, Tutorial Creation (Document and Video), Training

worked with  
**300+**  
Community Development Departments

Over  
**12**  
Years experience in Community Development

Experience:

Munate  
2021-2023

BS&A Software  
2011-2021

IBM (via Preferred Solutions)  
2008-2011



# John Dullock

Senior Advisor

## On this Project

John may work under contract (as needed) to assist with organization change management, project management, and process re-engineering.

35+  
Years Experience in program, project, and change management

## History

John joins the Munate team after a successful career both managing large teams and advising current and former State of Michigan (SOM) departments including Health and Human Services (MDHHS), Community Health (MDCH), Technology, Management, and Budget (DTMB), Corrections (MDOC), Natural Resources (DNR), and Michigan Department of State (SOS).

Over  
\$500m  
Portfolio of Projects

As the contracted Senior Program Management Director within MDHHS, John was responsible for coordinating the startup of the Systems Integration Administration (SIA) along with 8 Project Management Offices (PMO's), each consisting of \$10m to \$150m worth of project work, accounting for over a half billion-dollar portfolio.

### Prior Experience:

Dully PPM LLC  
2019-Present

John successfully led the team responsible for the implementation of the Affordable Care Act (ACA) requirements for the State of Michigan, including its \$128m budget and nearly 40 projects. This program was delivered months ahead of schedule.

State of Michigan  
(Contracted)  
1985-2008  
2012-2020

Earlier, John took on the role of Senior Program Manager for the SOM Business Application Modernization (BAM) Phase 3 project, a 5-year, \$52m redesign of the Michigan Department of State (MDOS) business applications. Prior to that, he served as the Senior Project Manager for BAM Phase 2 which successfully performed a comprehensive organizational, service, and technology assessment of the Michigan Department of State (MDOS), leading to the creation of a roadmap for the future modernization of the department.

Sparrow Health  
2010-2012

HP  
2008-2010

John also has experience as a Program Manager within Sparrow Health System where he worked to establish formal project management discipline within the organization as well as implement the iSparrow Charts document management system.

EDS  
(23 Years)



# Caleb Forner

Data Visualization Consultant

## On this Project

Caleb may work (as needed) remotely under contract to provide technical assistance in data gathering, modeling, and visualization.

13

Years operational reporting and analytics experience

## History

Caleb is a veteran of the Army National Guard where he was trained in database management systems before earning his Computer Science degree from Western Michigan University. During his time with the National Guard, Caleb designed, developed, and implemented several interactive operational systems such as a personnel tracking and management system to assist in required training and reporting processes.

After serving our country, Caleb continued serving in the public sector where he administered application databases for the Jackson County Intermediate School District, eventually being elevated to the role of Supervisor of Student Information Systems. At the ISD, Caleb brought a creative perspective to problem solving, custom developing many solutions for software integrations, reporting, and data migration for the 24 school districts he served.

Most recently, Caleb provides his expertise to Consumers Energy as a Data Scientist. In this initiative, he has helped inventory and consolidate data collections throughout the organization, re-write and optimize algorithms used to query large relational database sets, and build custom dashboards to help executive teams make more educated and insightful decisions.

Caleb is experienced with many technologies including SQL, Oracle, MS Power BI, VBA, Fusion Charts, JavaScript, Power Query, and DAX.

200+

Custom reporting solutions developed

### Prior Experience:

Consumers Energy  
2022-2023

Jackson County ISD  
2015-2022

Mich Army National Guard  
2011-2015

## Client Roles and Responsibilities

<i>Project Sponsor</i>	The Sponsor will execute agreements on behalf of the city, optionally attend progress meetings, provide key decisions, and provide general high-level oversight of the project.
<i>Department Managers</i>	Managers will help coordinate scheduling with department team members. They will also provide access to systems, documentation, and other requests for information.
<i>Subject Matter Experts</i>	Subject Matter Experts (SME's) provide valuable insight into current-state processes within the city and take an active role in the project to help ensure project success.
<i>Team Members</i>	Team Members consist of intake staff, reviewers, inspectors, and other support staff. They may be needed to provide insight into processes and will also be involved in solution training.
<i>IT Lead</i>	The IT lead may be required to provide access to systems or data for project team members, as well as general IT support for the systems which contain data.
<i>Communications Specialist</i>	Coordinate with Municode and Department staff team to develop, review, and publish public-facing information, notices, surveys, etc.

# References

<b>Organization</b>	BS&A Software
<b>Contact Name</b>	Steve Rennell
<b>Contact Title</b>	Senior Account Executive
<b>Phone</b>	248-808-7328
<b>Email</b>	srennell@bsasoftware.com

<b>Organization</b>	Professional Code Inspectors of Michigan
<b>Contact Name</b>	Eric Thompson
<b>Contact Title</b>	Managing Partner
<b>Phone</b>	269-207-6323
<b>Email</b>	ethompson@pcimi.com

<b>Municipality</b>	City of Royal Oak MI
<b>Contact Name</b>	Jason Craig
<b>Contact Title</b>	Ast. Dir. of Community Development
<b>Phone</b>	248-246-3210
<b>Email</b>	Jasonc@romi.gov

<b>Municipality</b>	City of Ypsilanti MI
<b>Contact Name</b>	Jenni Miller
<b>Contact Title</b>	Office Manager
<b>Phone</b>	734-482-1025
<b>Email</b>	Jmiller2@cityofypsilanti.com

<b>Municipality</b>	Kenilworth IL
<b>Contact Name</b>	Heather McFarland
<b>Contact Title</b>	Assistant to the Village Manager
<b>Phone</b>	847-251-1666 x5255
<b>Email</b>	hmcfarland@vok.org

<b>Municipality</b>	Pittsfield Township MI
<b>Contact Name</b>	Kurt Weiland
<b>Contact Title</b>	Community Development Director
<b>Phone</b>	734-822-3127
<b>Email</b>	<a href="mailto:weilandk@pittsfield-mi.gov">weilandk@pittsfield-mi.gov</a>

<b>Municipality</b>	Bradley IL
<b>Contact Name</b>	Bruce Page
<b>Contact Title</b>	Community Development Director
<b>Phone</b>	815-936-5100 x1111
<b>Email</b>	<a href="mailto:bepage@bradleyil.org">bepage@bradleyil.org</a>

<b>Municipality</b>	Riverside IL
<b>Contact Name</b>	Ashley Monroe
<b>Contact Title</b>	Assistant Village Manager
<b>Phone</b>	704-447-2700 x238
<b>Email</b>	<a href="mailto:amonroe@riverside.il.us">amonroe@riverside.il.us</a>

<b>Municipality</b>	City of Plymouth MN
<b>Contact Name</b>	Tyson Jenkins
<b>Contact Title</b>	Building Official
<b>Phone</b>	763-509-5431
<b>Email</b>	<a href="mailto:tjenkins@plymouthmn.gov">tjenkins@plymouthmn.gov</a>

<b>Municipality</b>	City of Pewaukee WI
<b>Contact Name</b>	Nick Fuchs
<b>Contact Title</b>	Dir. Of Community Development
<b>Phone</b>	262-691-6007
<b>Email</b>	<a href="mailto:fuchs@pewaukee.wi.us">fuchs@pewaukee.wi.us</a>

**REPORT FROM THE CITY MANAGER TO CITY COUNCIL - DECEMBER 11, 2023**

**SUBJECT:** Award of Bid for As-Needed Asphalt Materials

**ADMINISTRATIVE SUMMARY:**

- The 2023 As-Needed Asphalt Materials contract was publicly advertised and competitively bid on the Michigan Intergovernmental Trade Network (MITN) e-procurement system and opened on November 16, 2023, after a one-week postponement to obtain additional interest. Notification was sent to over 80 vendors including 12 that hold the classification of minority owned, women owned, veteran owned, disabled, disadvantaged or service disabled.
- The bid process provided unit prices for UPM cold patch required road repairs (see attached bid tab). The quantities of the materials bid were estimates (using historical data) for bid comparison and evaluation only. These materials will be purchased as needed up to the approved annual budgeted amount.
- Funding for the DPW road maintenance supplies is provided in the Major and Local Road Maintenance accounts.
- The bid provides pricing for a one-year period with provisions for up to four (4) one-year extensions through mutual consent by the City and the contractor.
- Ajax Materials Corporation has provided these materials in the past and has proven to be professional and reliable with over 70 years of experience.

**RECOMMENDATION:**

IT IS RESOLVED, that the City Council of Farmington Hills authorize the City Manager to approve the required contract and purchase orders to Ajax Materials Corporation for As-Needed Asphalt Materials in the amount not-to-exceed \$50,000 per year with one or more administration approved extensions not-to-exceed a total of four (4) additional years.

**SUPPORTING ATTACHMENT:**

City of Farmington Hills  
 Bid Tabulation  
 itb-fh-23-24-2427  
 As Needed-Asphalt Materials-Cold Patch  
 Opened 11/16/2023

ITEM	Est. Qty.	UNIT	Cadillac Asphalt, Farmington Hills, MI		Ajax Materials Corporation Troy, MI	
			Unit Price	Total	Unit Price	Total
UPM COLD PATCH - 20 OR MORE TONS (TRANSPORT BY VENDOR)	250	TONS	\$ 155.00	\$38,750.00	\$ 135.00	\$33,750.00
MATERIAL NAME			UPM		UPM	
<b>GRAND TOTAL</b>	<b>250</b>			<b>\$38,750.00</b>		<b>\$33,750.00</b>
Price Increase beginning Year 2			15%		10%	
Extend to MITN Purchasing Cooperative			No		No	

Prepared by: Derrick Schueller, DPW Superintendent  
 Departmental Authorization: Tammy Gushard, P.E., Interim Director of Public Services  
 Michelle Aranowski, Director of Central Services  
 Nikki Lumpkin, Senior Buyer  
 Approved by: Gary Mekjian, P.E., City Manager

**REPORT FROM THE CITY MANAGER TO CITY COUNCIL - December 11, 2023**

**SUBJECT:** Award of Bid – Two (2) 5-Yard Swap Loader Dump Truck Chassis

**ADMINISTRATIVE SUMMARY:**

- A request for proposals (RFP) was issued through the Michigan Intergovernmental Trade Network (MITN) e-procurement system by the City of Rochester Hills, RFP-RH-20-023 and opened on March 18, 2020. The initial term was for three (3) years and has been extended through 2025.
- The RFP was a seven-community cooperative effort, with the City of Rochester Hills acting as lead agency and included the cities of Farmington Hills, Rochester Hills, Auburn Hills, Madison Heights, Livonia, Huntington Woods, and Bloomfield Township. The proposal was developed with the intent to create a multi-year, comprehensive, cooperative contract for any MITN agency to procure single and tandem-axle dump trucks and related equipment for snow and ice control. Participating in a cooperative purchase provides cost savings for the City of Farmington Hills due to the buying power of the cooperative.
- The proposed purchase provides two (2) 5-yard dump truck chassis with Swap Loader hoist systems that will ultimately replace two (2) dump trucks with over 9 years of service.
- The backbone of the DPW's daily operation is the dump truck. It is used for hauling debris, sand and gravel during the summer months, and granular salt, liquid brine, and sand during the winter storms. These vehicles are our exclusive tool for snow plowing and de-icing and needed to maintain safe travel within the City.
- The recommended award complies with the City's specifications and is within budget. Funding for this purchase is provided in the Capital Improvement Budget for FY 23/24.
- The recommended vendor is Wolverine Freightliner of Mt. Clemens, Michigan. Wolverine has provided several 5-yard and 10-yard dump truck chassis to the City in the past with high quality and solid workmanship.

**RECOMMENDATION:**

IT IS RESOLVED that the City Council of Farmington Hills authorize the City Manager to issue a purchase order to Wolverine Freightliner located in Mt. Clemens, Michigan, in the amount of \$231,492.00 for the purchase of two (2) 5-yard Swap Loader dump truck chassis.

**SUPPORTING ATTACHMENT:**



Prepared by: Derrick Schueller, DPW Superintendent

Reviewed by: Tammy Gushard, P.E., Interim Director of Public Services  
Nikki Lumpkin, Senior Buyer

Departmental Authorization: Michelle Aranowski, Director, Department of Central Services

Approved by: Gary Mekjian, P.E., City Manager

**REPORT FROM THE CITY MANAGER TO CITY COUNCIL**  
**December 11, 2023**

**SUBJECT: AS NEEDED PURCHASE OF OEM PARTS FOR EMERGENCY VEHICLES**

**ADMINISTRATIVE SUMMARY**

- The Farmington Hills DPW is responsible for the maintenance and repair of over 300 units of equipment, including vehicles, light trucks, heavy equipment, and specialty equipment. The City annually budgets approximately \$105,000 for the purchase of Fire Department emergency vehicle parts.
- The Fire Department vehicles are custom and require unique equipment that is manufacture specific and is not readily available through the City's current contracts. Therefore, the DPW and Fire Department are consistently obtaining quotes from the vendors for competitive pricing.
- The Fire Department and Farmington Hills DPW will continue to order available part and equipment through the City's current contracts but request authorization to order manufacture specific emergency vehicle parts and equipment required for maintenance and repairs.
- Funding for these parts is available and budgeted in the Auto Truck Parts Fund.

**RECOMMENDATION**

In view of the above, it is recommended that City Council authorize the City Manager to approve purchase orders to the following three (3) vendors for the estimated annual amounts. Liquid Spring LLC. - \$15,000.00, Rosenbauer - \$30,000.00 and MacQueen - \$15,000.00.

Prepared by: Michelle Aranowski, Director of Central Services  
Reviewed by: Derrick Schueller, DPW Superintendent  
Reviewed by: Jon Unruh, Fire Chief  
Reviewed by: Karen Mondora, Assistant City Manager  
Approved by: Gary Mekjian, City Manager



OFFICE OF CITY CLERK

**TO:** Mayor and City Council Members  
**FROM:** Carly Lindahl, Interim City Clerk  
**DATE:** December 11, 2023  
**SUBJECT:** Setting of Annual Goals Study Session Meeting

The date of Saturday, January 6, 2024 has been suggested for the City Council's annual goals study session meeting.

The meeting is proposed to begin at 9:00 a.m. and take place in the Community Room at City Hall. If this date and time is acceptable to Council, the following motion is in order to formally confirm the meeting date. Thank you.

**RECOMMENDATION:**

IT IS RESOLVED, that City Council hereby schedules the annual goals study session meeting for Saturday, January 6, 2024, beginning at 9:00 a.m. in the Community Room at City Hall.

MINUTES  
CITY OF FARMINGTON HILLS  
FARMINGTON HILLS CITY COUNCIL  
CITY HALL – COUNCIL CHAMBER  
NOVEMBER 27, 2023 – 6:00PM

The study session meeting of the Farmington Hills City Council was called to order by Mayor Pro Tem Bruce at 6:05pm. He noted that there was not a quorum present of current Council members to hold a formal meeting so he called for a recess at this time and noted that they would reconvene the formal meeting if there were a quorum at some point.

Attorney Joppich pointed out that there is no action taken at a study session and cautioned Council not to deliberate on any issues; but stated that staff could still provide information to Council on the topics on the agenda.

Mayor Pro-Tem Bruce reconvened the meeting at 6:45pm as there was now a quorum present.

Council Members Present:                      Boleware, Bridges, Bruce, Knol

Council Members Absent:                      Barnett and Massey

Others Present:                                      Mayor elect Rich, Council members elect Aldred and Dwyer,  
City Manager Mekjian, City Clerk Smith, Assistant City  
Manager Mondora, Directors Brown, and Kettler-Schmult and  
City Attorney Joppich

It was noted that City Clerk Smith had provided background information on the liquor license moratorium to City Council.

Mayor Pro-Tem Bruce asked if the moratorium would automatically expire as of December 11, 2024. Clerk Smith confirmed that it would automatically expire should there be a consensus of Council to take no further action at the December 11, 2023 meeting to extend the moratorium.

Attorney Joppich stated that if there was consensus to bring this forth at the December 11, 2023 meeting for further discussion and possible extension, staff would like some recommendation as to the length of the extension in order to prepare the appropriate resolution for that meeting.

Discussion was held on the master plan process and when that was expected to be completed as well as potential for redevelopment liquor licenses or licenses issued through a Downtown Development Authority or Corridor Improvement Authority (DDA.CIA).

Charmaine Kettler-Schmult, Director of Planning and Community Development, stated that the proposed timeline for adopting the master plan is May, 2024.

Attorney Joppich and Planning Consultant Bahn further discussed redevelopment licenses and that process and/or utilizing a CIA District.

Council commented that past discussion also included the city's liquor license ordinance and changes to that to allow for specific types of facilities such as cigar bars or jazz bars to operate without having to be a bona fide restaurant, which is a requirement in the existing ordinance.

Council inquired if a quota license is issued and the business ceases to operate, would the city lose the license. Clerk Smith stated that the city has an agreement that they request owners to sign indicating that they will return the license to the city; however, it is difficult to track licenses if they are transferred to another community and whether or not they originated from the city as one of their quota licenses.

Attorney Joppich stated that he would provide an updated legal opinion on the city agreement.

The consensus of Council was that they would prefer to allow the moratorium to expire and allow existing applicants to come before City Council for those licenses.

**ADJOURNMENT**

The study session meeting adjourned at 7:14pm.

Respectfully submitted,



Pamela B. Smith, City Clerk

MINUTES  
CITY OF FARMINGTON HILLS  
CITY COUNCIL MEETING  
CITY HALL – COUNCIL CHAMBER  
NOVEMBER 27, 2023 – 7:30 PM

The regular session meeting of the Farmington Hills City Council was called to order by Mayor Barnett at 7:32pm.

Council Members Present: Aldred, Barnett, Boleware, Bridges, Bruce, Dwyer, Knol and Rich

Council Members Absent: None

Others Present: City Manager Mekjian, City Clerk Smith, Assistant City Manager Mondora, Directors Aranowski, Brown, Kettler-Schmult, Police Chief King, Fire Chief Unruh and City Attorney Joppich

**PLEDGE OF ALLEGIANCE**

Michael Sweeney, Emergency Preparedness Commission Member, led the pledge of allegiance.

Mayor Barnett gave her outing Mayoral speech acknowledging staff and councilmembers for all they do for the city.

**OATH OF OFFICE TO MAYOR AND COUNCIL MEMBERS ELECTED ON NOVEMBER 7, 2023**

47<sup>th</sup> District Court Judge Marla Parker provided the oath of office as Mayor to Theresa Rich. Mayor Barnett passed the gavel to Mayor Rich and offered her congratulations.

47<sup>th</sup> District Court Judge Marla Parker provided the oath of office as Council Member to Jon Aldred, Jackie Boleware and Bill Dwyer.

**APPROVAL OF REGULAR SESSION MEETING AGENDA**

MOTION by Knol, support by Bridges, to approve the agenda as published.

MOTION CARRIED 7-0.

**INTRODUCTION OF NEW ASSISTANT CITY MANAGER KAREN MONDORA**

Gary Mekjian, City Manager, introduced Karen Mondora as the new Assistant City Manager noting that she was the first female Assistant City Manager for the city and offered her his congratulations.

Karen Mondora, Assistant City Manager, thanked everyone for their support and stated that she looks forward to working with everyone in her new position.

**EMERGENCY PREPAREDNESS TIP OF THE MONTH**

Michael Sweeney, EPC member, provided tips for preparing your automobile for winter.

**CORRESPONDENCE**

There was no correspondence acknowledged.

**CONSENT AGENDA**

Mayor Rich requested City Council to consider a motion to suspend their rule with regard to approving minutes in order to allow for a quorum to approve items #18 and #19 – meeting minutes from October 23<sup>rd</sup>.

She explained that since the newly elected members were not yet elected at that time and not present at the October 23<sup>rd</sup> meeting and council member Bridges was also absent from that meeting, there would be no quorum to act on those items if the rule is not suspended for this purpose.

MOTION by Bridges, support by Boleware, that the City Council hereby suspends for this meeting the rule adopted in the Rules of the City Council and Guidelines of Conduct stating that a Council member should not vote on the question of approving, correcting or amending minutes of meetings at which the member was absent for the reason that such member is unable to determine the accuracy of such minutes.

MOTION CARRIED 7-0.

Mayor Pro-Tem Bruce read the consent agenda items into the record.

MOTION by Knol, support by Bridges, to approve consent agenda items #7 through #17.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

MOTION by Boleware, support by Bruce, to approve consent agenda items #18 and #19.

Roll Call Vote:

Yeas: BOLEWARE, BRIDGES, BRUCE AND KNOL  
Nays: NONE  
Absent: NONE  
Abstentions: ALDRED, DWYER AND RICH

MOTION CARRIED 4-0-0-3

MOTION by Bridges, support by Knol, to approve consent agenda items #20 and #21.

Roll Call Vote:

Yeas: BOLEWARE, BRIDGES, BRUCE AND KNOL  
Nays: NONE  
Absent: NONE  
Abstentions: ALDRED, DWYER AND RICH

MOTION CARRIED 4-0-0-3

### **PUBLIC QUESTIONS AND COMMENTS**

Pam Gerald spoke thanked the Farmington Hills and Southfield Police Chiefs for hosting their community forums. She encouraged all watching to attend future events such as these.

Jackie Tomlinson, District Director for State Senator Mary Cavanaugh, mentioned that Senator Cavanaugh was hosting a Voting Rights Town Hall on Tuesday, December 19<sup>th</sup> from 5:30pm-7pm on election law changes at the South Redford Administration Building.

Glen Rader, resident, inquired about the closing of the Costick Center in light of the recommendation within the SFA report in order to optimize services and questioned where Council stands on that recommendation.

City Manager Mekjian suggested that Mr. Rader speak with Assistant City Manager Mondora regarding the report and indicated that City Council will most likely be taking up the issue in the new year.

Mr. Rader thanked City Manager Mekjian and stated that he just wanted to make sure it was on the city's radar for further discussion.

Hassan Aoun, resident of Dearborn, mentioned that the city received a Freedom of Information Act (FOIA) request today from him and commented on the Open Meetings Act and Roberts Rules of Order and that Council should not stay mute on questions asked by residents at this time.

Ed Morykwas, resident, spoke about taking his granddaughter to Marvelous Marvins and the on-line petition to save the business at its existing location and he encouraged City Council to save the business..

Angie Smith thanked the Police and Fire Chiefs for their service and commented on being an elected official and rules that they follow and interaction with constituents.

### **COUNCIL MEMBERS COMMENTS AND ANNOUNCEMENTS**

Councilmembers Aldred, Dwyer and Boleware all thanked the voters for their support stating that they look forward to working together for all of the residents.

Mayor Pro-Tem Bruce and Councilmembers Knol and Bridges congratulated the new Mayor and Council and thanked outgoing Mayor Barnett and Councilmembers Massey and Newlin for their years of service.

Mayor Rich thanked Mayor Barnett for her time and wisdom and continued support and Council members and staff for the warm welcome. She also commented on the past service of Councilmembers Massey and Newlin.

Mayor Rich stated that she wanted to start a new tradition of acknowledging item to celebrate and she acknowledged the following:

- Mercy High School is celebrating three State Championships for golf, volleyball and swim and dive and their cast for Frozen the musical will be heading to New York to perform on Good Morning America.
- Leo's Coney Island who on Thanksgiving Day served free Thanksgiving dinners to anyone that wanted to show up in the community

**CITY MANAGER UPDATE**

City Manager Mekjian also thanked Mayor Barnett and Councilmembers Massey and Newlin for their service and congratulated the new Mayor and Councilmembers elect. He also thanked City Clerk Smith and her staff for another well run election.

**City Manager Mekjian provided an update on the following:**

- Yard waste pickup will be ending the week of December 11, 2023
- Winter road maintenance efforts are underway
- High speed fiber installation continues throughout the city

**PUBLIC HEARING**

**PUBLIC HEARING AND CONSIDERATION OF PLANNED UNIT DEVELOPMENT 1, 2023  
LOCATED AT 29905, 29915 AND 29845 THIRTEEN MILE ROAD**

Mayor Rich explained that the City has received a request from the applicant for the City Council to postpone action on this item to allow them to submit a revised plan to the city. Since the public hearing was advertised, we will go ahead and hear from staff and the applicant if they wish and then open the public hearing and allow anyone who is present to speak on the item as advertised.

Charmaine Kettler-Schmult, Director of Planning and Community Development, provided an overview of the project as advertised. She stated that the Planning Consultants were present to speak if needed but that staff would defer to the applicant to comment and then the public hearing should be held prior to any action of Council.

Tom Haji, Director of the Chaldean Community Foundation, stated that after several meetings with the Planning Commission and speaking with City Council, they want to be respectful and mindful to the and come back with a revised plan of which they are hoping the Planning Commission will be more receptive and they want to be a respectful neighbor. He hopes to pursue the project but understands that City Council has to also listen to the residents.

Mayor Rich opened the public hearing and acknowledged that correspondence was received from the following in opposition to the project as proposed:

Jo Anne Zechar, Westgate Subdivision  
Amy Broglin-Peterson  
Emilio Ramirez, President of Holly Hill Farms Association  
Beverly Mihalko, Westgate Subdivision  
Aubrey and Janice Lee, Westgate Road  
Todd Skowronski, representing Holly Hill Farms Association and Westgate Civic Association  
Adrienne Davies, Chairman of the Holly Hill Farms Architectural Control Committee/Holly Hill Farms Homeowners Association Board Member  
Larissa Gallagher, Woodbrook Street  
David and Kerry Peabody, Woodcreek Ct.  
Carrie Richardson, Pond Ridge Road  
The Spiess Family, Holly Hill Farms Subdivision  
Alan Isner, Holly Hill Farms Subdivision

**The following individuals spoke against the proposed project at the meeting:**

Todd Skowronski, representing Holly Hill Farms Association and Westgate Civic Association,  
Emilio Ramirez, President of Holly Hill Farms Association  
Sam Rabah, Westgate  
John Nagoda, Westgate Subdivision  
Richard and Audrey Olenzek, Highmeadow  
Liviu Marinica, Richmond Hill  
Amy Broglin-Peterson, Northbrook St  
Paul Blizman, Herndonwood  
Ken Snodgrass, Sugar spring in Holly Hill Farms  
Adrienne Davies, Chairman of the Holly Hill Farms Architectural Control Committee/Holly Hill Farms Homeowners Association Board Member

Mr. Blizman also suggested the city install signs on the property where there is a proposed development before the city for consideration.

**Other comments by the public included the following:**

Hassan Aoun, Dearborn, commented that the project seems like a nice project but Council should listen to the wishes of the residents affected and that if the Planning Commission denies the project, it should not go to Council for consideration. He suggested that City Council and the Planning Commissioners already have their minds made up and commented that City Council has no authorization to consider the project if it was already denied by the Planning Commission. He mentioned he has submitted a FOIA for emails of Council members and if he does not get them he will go to litigation as he is entitled to them per 15.231 and he is entitled to them for free but does not have to say why or his circumstances.

Lori Boyce, representing YIMBY that stands for Yes In My Back Yard, an advocacy group for affordable housing, commented that this is attainable housing and not affordable housing spoke to the need for work-force housing in the city.

Pam Gerald, resident, spoke to the process of going before the Planning Commission and City Council and encouraged the city and developer to work on a more cohesive plan.

There being no further comments, Mayor Rich closed the public hearing.

Attorney Joppich explained that the applicant has requested Council to postpone consideration of the project and he explained the process for submitting a revised plan that would go back to the Planning Commission for review and recommendation prior to coming back to Council for consideration.

MOTION by Bruce, support by Dwyer, that the City Council of Farmington Hills hereby POSTPONES consideration of PUD 1, 2023, received June 19, 2023 submitted by Martin Manna, to allow the applicant an opportunity to submit a revised plan for Planning Commission review and recommendation to this council, and that this matter shall be placed back on a Council agenda with a resumption of the public hearing and Council consideration after the Planning Commission makes a recommendation on the revised plan.

Council inquired about legal ramifications for each option of city council either to postpone action, deny the project or approve the project.

Attorney Joppich stated that sample motions have been prepared for each option for Council to consider. He explained that Council has handled minor changes to PUD plans at the table in the past, but when the changes are significant, staff has recommended it be returned to the Planning Commission for further consideration and recommendations. He explained that Council does not have to send this back to the Planning Commission; however, that has typically been done when significant changes to a plan are made which appears to be the case with this PUD based on preliminary alternate plans provided with the request to postpone. Council has the legal discretion to take either of the three actions mentioned; however, in the past Council has allowed for plans to go back to the Planning Commission for revision although they are not legally required to do so.

Council members expressed the following comments and concerns:

- Project is not compatible with surrounding area and does not provide for transition to the single-family districts
- Density is too high
- Current plan appears to be spot zoning
- Lack of sufficient public benefit with the project
- Suggested better options may be to look at areas already zoned for this type of housing or to consider the rehabilitation of existing apartment buildings or hotels/motels
- In favor of affordable and/or attainable housing but this particular property isn't the area for this project
- Indication from majority of Council that a revised plan that was not for single-family cluster housing is not something they can support at this time for the reasons stated
- Concerned that the applicant is not still present at the meeting to hear the comments and that Council cannot ask if cluster housing is what they will be proposing. Councilmembers were concerned that the applicant will bring a revised plan back to the Planning Commission with adjustments to density that are minor and not single-family homes, which Council is not likely to approve based on comments made tonight. Councilmembers expressed concern about the applicant getting the wrong idea from a postponement and possibly wasting its time and resources on a non-single-family project for this property.

Further discussion was held on all options of Council to postpone, deny or approve the project. It was asked if the legal jeopardy of the city was increased with any of the options.

Attorney Joppich stated that he could not answer that without further studying each option to determine what any legal jeopardy may exist and providing a written legal opinion; but Council certainly has all of those options available and he can only provide background information at this time. He added that Council could also postpone the matter in order to request a legal opinion on that issue.

Mayor Rich requested that the applicant is made aware of Council's comments this evening if they choose to go back to the Planning Commission with a revised plan as well as for staff to take back to Planning the concerns expressed and in particular making sure there is sufficient public benefit with any revised plan.

Mayor Rich requested a roll call vote.

Roll Call Vote:

Yeas: BOLEWARE, BRUCE, DWYER AND RICH  
Nays: ALDRED, BRIDGES AND KNOL  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 4-3.

**NEW BUSINESS**

**CONSIDERATION OF APPROVAL OF THE CITY CLERK EMPLOYMENT AGREEMENT**

MOTION by Bruce, support by Aldred, that the City Council of Farmington Hills hereby approves the City Clerk Employment Agreement with Carly Lindahl, as presented, and authorizes the Mayor to sign the agreement on behalf of the City.

MOTION CARRIED 7-0

**CONSENT AGENDA**

**RECOMMENDED APPROVAL OF OAKLAND COUNTY INFORMATION TECHNOLOGY SERVICES INTERLOCAL AGREEMENT AND RESOLUTION. CMR 11-23-117**

R-223-23

**CITY OF FARMINGTON HILLS  
OAKLAND COUNTY, MICHIGAN**

**RESOLUTION**

At a regular meeting of the City Council of the City of Farmington Hills, Oakland County, Michigan, held at

PRESENT: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH

ABSENT: NONE

The following resolution was offered by Councilmember KNOL, and approved by Councilmember BRIDGES:

**OAKLAND COUNTY IT SERVICES AGREEMENT**

WHEREAS the City of Farmington Hills has utilized the Oakland County Information Technology Services including CLEMIS, FRMS, CAMS, GIS & Pictometry for many years, and

WHEREAS a formal agreement outlining the services provided by Oakland County is mandated of all its members,

NOW, THEREFORE, BE IT RESOLVED that the Farmington Hills City Council authorized the City Manager to enter into the Oakland County Information Technology Services agreement for a five year period.

AYES: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH

NAYS: NONE

ABSTENTION: NONE

ABSENT: NONE

STATE OF MICHIGAN )  
 ) SS  
COUNTY OF OAKLAND)

I, the undersigned City Clerk of the City of Farmington Hills, Oakland County, Michigan, do hereby certify that the foregoing is a true and complete copy of a resolution adopted at a regular meeting of the City Council held at Farmington Hills City Hall, 31555 W 11 Mile Road on the 27<sup>th</sup> day of November, 2023, and original of which is on file in my office.

IN WITNESS WHEREOF, I have hereunto affixed my official signature this 28<sup>th</sup> day of November, 2023.

  
\_\_\_\_\_  
Pamela Smith, City Clerk  
City of Farmington Hills

**RECOMMENDED APPROVAL OF EXTENSION OF BID FOR AS NEEDED ARCHITECTURAL MAINTENANCE, REPAIRS AND RENOVATIONS TO ALLIED BUILDING SERVICES FOR THE DURATION OF THE CONTRACT WHICH WILL EXPIRE ON NOVEMBER 30, 2025. CMR 11-23-118**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby authorizes the City Manager to approve all budgeted purchase orders for architectural maintenance, repairs & renovations with Allied Building Services for the duration of the contract that will expire on November 30, 2025.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF PURCHASE OF MEDICAL USE OXYGEN TO MATHESON TRI-GAS, INC., IN THE AMOUNT OF \$31,000. CMR 11-23-119**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby authorizes the City Manager to issue a purchase order to Matheson Tri-Gas, Inc., for Medical Use Oxygen in the combined amount of \$31,000.00.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF AWARD OF BID FOR A HEAVY-DUTY PIPE TRAILER TO JACK DOHENY COMPANY IN THE AMOUNT OF \$29,950. CMR 11-23-120**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby authorizes the City Manager to issue a purchase order to Jack Doheny Company located in Northville, Michigan in the amount of \$29,950 for a Brooks Brothers heavy duty pipe trailer.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF AWARD OF BID FOR THE 2023 DIRT AND DEBRIS HAULING PROGRAM TO GFL ENVIRONMENTAL IN THE AMOUNT OF \$50,000 PER YEAR, WITH POSSIBLE EXTENSIONS. CMR 11-23-121**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby authorizes the City Manager to approve the required contract and purchase orders to GFL Environmental for the 2023 Dirt and Debris Hauling Program in the amount of \$50,000 per year, with one or more administration approved extensions not-to-exceed a total of four (4) additional years.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF AWARD OF BID FOR COSTICK CENTER JANITORIAL SERVICES TO WILKINS PRO CLEAN, INC. IN THE AMOUNT OF \$18,018 PER YEAR WITH OPTIONAL RENEWAL. CMR 11-23-122**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby authorizes the City Manager to sign a one (1) year contract with Wilkins Pro Clean, Inc., in the amount of \$18,018 per year for janitorial services at the Costick Activities Center with an option to renew for an additional four (4) one-year terms upon mutual consent between the City and Wilkins pro Clean, Inc.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF AWARD OF PROPOSAL FOR FIRE ALARM AND/OR SUPPRESSION SYSTEMS INSPECTION, TESTING AND MAINTENANCE WITH SHAMBAUGH & SONS L.P. IN THE AMOUNT OF \$10,305 PER YEAR FOR A PERIOD OF ONE YEAR WITH OPTIONAL RENEWAL, AND PURCHASE AND INSTALLATION OF FIRE ALARM AND SUPPRESSION SYSTEMS TO SHAMBAUGH & SONS L.P. FOR A PERIOD OF ONE YEAR WITH OPTIONAL RENEWAL. CMR 11-23-123**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby authorizes the City Manager approve all budgeted purchase orders to Shambaugh & Sons L.P. for fire alarm and/or fire suppression inspection, testing and maintenance for \$10,305 per year for a period of one (1) year with optional renewal for four (4) additional one (1) year renewals under the same terms and conditions, through mutual consent by the City and Shambaugh & Sons L.P.; and

FURTHER RESOLVES, that the City Council hereby authorizes the City manager to approve all budgeted purchase orders for the purchase and installation of fire alarm and suppression systems to Shambaugh & Sons L.P. for a period of one (1) year with optional renewal for four (4) additional one (1) year renewals under the same terms and conditions, through mutual consent by the City and Shambaugh & Sons L.P.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF AWARD OF BID FOR ROOF REPLACEMENT FOR THE POLICE DEPARTMENT INCLUDING ANCILLARY MATERIALS TO ROYAL ROOFING CO., INC. IN THE AMOUNT OF \$228,850, AND AWARD OF PURCHASE OF ROOFING SUPPLIES, INSPECTION AND PROJECT MANAGEMENT TO THE GARLAND COMPANY, INC. IN THE AMOUNT OF \$248,074.12. CMR 11-23-124**

MOTION by Knol, support by Bridges, , that the City Council of Farmington Hills hereby authorizes the City Manager to issue a purchase order to Royal Roofing Co., Inc. for roof replacement, including ancillary materials, in the amount of \$228,850.00; and

FURTHER RESOLVES, that the City Council of Farmington Hills hereby authorizes the City Manager to issue a purchase order with The Garland Company, Inc., for roofing supplies, inspection and project management in the amount of \$248,074.12.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF REQUEST FOR EMPLOYMENT UNDER SECTION 10.01A OF THE CITY CHARTER FOR A BUILDING ASSISTANT**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby approves an employment request per Section 10.01A of the City Charter for Paul Clark as a Building Assistant for the Special Services Department.

Paul Clark is related to Christina Clark who is employed as a Building Assistant at the Costick Center.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF REQUEST FOR EMPLOYMENT UNDER SECTION 10.01A OF THE CITY CHARTER FOR A GYMNASIUM COORDINATOR**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby approves an employment request per Section 10.01A of the City Charter for Rodney Rue, Jr. as a Gymnasium Coordinator for the Special Services Department.

Rodney Rue, Jr. is the son of Rosalind Rue who is employed as a Guest Services Assistant at The HAWK.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF REQUEST FOR EMPLOYMENT UNDER SECTION 10.01A OF THE CITY CHARTER FOR A DPW SEASONAL LABORER**

MOTION by Knol, support by Bridges, that the City Council of Farmington Hills hereby approves an employment request per Section 10.01A of the City Charter for Michael Sisan as a DPW Seasonal Laborer

Michael Sisan is the grandson of John Marr, Plumbing Inspector for the Planning and Community Development Department.

Roll Call Vote:

Yeas: ALDRED, BOLEWARE, BRIDGES, BRUCE, DWYER, KNOL AND RICH  
Nays: NONE  
Absent: NONE  
Abstentions: NONE

MOTION CARRIED 7-0.

**RECOMMENDED APPROVAL OF CITY COUNCIL STUDY SESSION MEETING MINUTES OF OCTOBER 23, 2023**

MOTION by Boleware, support by Bruce, that the City Council of Farmington Hills hereby approves the study session meeting minutes of October 23, 2023.

Roll Call Vote:

Yeas: BOLEWARE, BRIDGES, BRUCE AND KNOL  
Nays: NONE  
Absent: NONE  
Abstentions: ALDRED, DWYER AND RICH

MOTION CARRIED 4-0-0-3

**RECOMMENDED APPROVAL OF CITY COUNCIL REGULAR SESSION MEETING MINUTES OF OCTOBER 23, 2023**

MOTION by Boleware, support by Bruce, that the City Council of Farmington Hills hereby approves the regular session meeting minutes of October 23, 2023.

Roll Call Vote:

Yeas: BOLEWARE, BRIDGES, BRUCE AND KNOL  
Nays: NONE  
Absent: NONE  
Abstentions: ALDRED, DWYER AND RICH

MOTION CARRIED 4-0-0-3

**RECOMMENDED APPROVAL OF CITY COUNCIL STUDY SESSION MEETING MINUTES OF NOVEMBER 13, 2023**

MOTION by Bridges, support by Knol, that the City Council of Farmington Hills hereby approves the study session meeting minutes of November 13, 2023.

Roll Call Vote:

Yeas: BOLEWARE, BRIDGES, BRUCE AND KNOL  
Nays: NONE  
Absent: NONE  
Abstentions: ALDRED, DWYER AND RICH

MOTION CARRIED 4-0-0-3

**RECOMMENDED APPROVAL OF CITY COUNCIL REGULAR SESSION MEETING MINUTES OF NOVEMBER 13, 2023**

MOTION by Bridges, support by Knol, that the City Council of Farmington Hills hereby approves the regular session meeting minutes of November 13, 2023.

Roll Call Vote:

Yeas: BOLEWARE, BRIDGES, BRUCE AND KNOL  
Nays: NONE  
Absent: NONE  
Abstentions: ALDRED, DWYER AND RICH

MOTION CARRIED 4-0-0-3

**ADDITIONS TO AGENDA**

There were no additions to the agenda.

**ADJOURNMENT**

The meeting was adjourned by Mayor Rich at 10:18pm

Respectfully submitted,



Pamela B. Smith, City Clerk