

**CITY OF FARMINGTON HILLS
PLANNING COMMISSION PUBLIC HEARING NOTICE**
www.fhgov.com

DATE: February 18, 2021
TIME: 7:30 P.M.
PLACE: Via Teleconference (Zoom Webinar)
ITEM: Cluster Site Plan 60-10-2020

The Farmington Hills Planning Commission will give formal consideration to an application for a One-Family Cluster Option Site Plan (Cluster Site Plan 60-10-2020). The applicant in this matter, Pulte Homes of Michigan, seeks a recommendation of approval by the Planning Commission to City Council of a Cluster Option Site Plan in order to develop twenty-eight (28) detached one-family homes in an RA-2, One Family Residential District. The property involved is located at 38500 W. Nine Mile Road.

The parcel being more particularly described as:

Parcel I.D. 22-23-30-300-019 T1N, R9E, SEC 30 E 330 FT OF S 1320 FT OF SW 1/4 10 A, City of Farmington Hills, Oakland County, Michigan.

Any person who is interested is invited to participate in the discussion on this matter in person via the Zoom webinar teleconference meeting. Written comments may be submitted to the City of Farmington Hills Planning Department, 31555 W. Eleven Mile Road, Farmington Hills, MI 48336, during regular business hours prior to the Public Hearing. The application may be reviewed at the Planning Office on any business day between 8:30 a.m. and 4:30 p.m. Please contact the Planning Office at (248)871-2540 to enter City Hall during the current temporary closure to the public due to the COVID-19 pandemic. The proposal is also available to view electronically through the "Public Notices" link on the official City website at www.fhgov.com.

Edward R. Gardiner, Director
Planning & Community Development
Phone: 248-871-2540
e-mail: egardiner@fhgov.com
Publish: January 31, 2021

PLEASE NOTE: THIS MEETING WILL BE HELD ELECTRONICALLY AS AUTHORIZED UNDER THE OPEN MEETINGS ACT, MCL 15.261, ET SEQ., AS AMENDED. MEMBERS OF THE PUBLIC BODY AND MEMBERS OF THE PUBLIC MAY PARTICIPATE ELECTRONICALLY, AS DESCRIBED BELOW.



The reason for holding this meeting electronically is to mitigate the spread of COVID-19, protect the public health, and provide essential protections to vulnerable citizens, in-person contact should be limited. Critical mitigation measures include social distancing and limiting the number of people interacting at public gatherings. This includes public meetings.

Procedure for public participation by electronic means:

The Planning Commission will be utilizing the video/audio conferencing platform Zoom for electronic meetings, which will be accessible to members of the public body and members of the public. Members of the Planning Commission will be able to hear and speak (and see if using video) to each other for the entire meeting. Members of the public will be able to hear (and possibly see) members of the Planning Commission during the entire meeting but will only be able to speak during the Public Hearing and Public Comment periods as explained below.

The Planning Commission Chair will call for public input on this item during the public hearing portion of the meeting. Members of the public participating in the electronic meeting who wish to speak during the public hearing should use the "Raise Hand" feature in Zoom or if you dialed into the meeting use *9 on the telephone keypad to raise your hand; but only after the meeting host has called for comments. Pressing *9 on a telephone keypad will activate the "Raise Hand" feature signaling to the meeting host that a participant wishes to speak. Participants will be called upon one at a time, as would happen during an in-person meeting. The meeting host will determine the order of participant speakers. The participant will be acknowledged by name, if available, or by the last 4 digits of the participant's phone number. The participant will have five (5) minutes to share comments with the public body. At the conclusion of the participant's comments or the allotted five (5) minutes, the participant will be muted or requested to mute themselves. Participants calling in should use *6 on a telephone keypad to mute and unmute themselves when called upon by the meeting host to do so.

Public comments may also be emailed to mstec@fhgov.com **prior to 4:30 pm** on the date of this meeting to be read aloud at the meeting during the public hearing on this agenda item.

How members of the public may participate:

Members of the public are welcome to participate in the electronic meeting and may do so by clicking or copying and pasting the Zoom webinar link in their browser (downloading Zoom client is required) or by using the dial in number and webinar or meeting ID, all of which are located at the top of each meeting agenda. Further instructions for attending electronic meetings can be found on this page below this notice.

Members of the public may also watch the meeting live over cable television or by tuning into the City's YouTube channel at <https://www.youtube.com/user/FHChannel8> or by selecting the YouTube icon from the City's homepage at <https://fhgov.com/Home.aspx>. The video recording of the meeting will also be available the next day on the City's website or from YouTube. Closed captioning is an option available through YouTube.

Members of the public may contact members of the Planning Commission through the staff liaison at mstec@fhgov.com, or by selecting the Planning Commission at <https://www.fhgov.com/Government/Boards-Commissions.aspx> and using the email listed for that staff liaison.

Procedures for accommodations for persons with disabilities:

The City will be following its normal procedures for accommodation of persons with disabilities. Those individuals needing accommodations for effective participation in this meeting should contact the City Clerk (248) 871-2410 at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

SECTION 30, TOWN 1 NORTH, RANGE 9 EAST
CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN



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T. 1 N., R. 9 E.
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN

DATE:	09/25/2020
REVISIONS	
11/17/20	PER CITY
1/18/21	PER CITY

SEWOOD VILLAS
TE HOMES OF MICHIGAN
VERNOIS ROAD, BLDG D, SUITE 320
TROY, MICHIGAN, 48063

COVER SHEET

CH
 CLIENT: P
 280
 DR BY:
 CK BY:
 P.M.
 SCALE 0

 AS NOTED
 JOB NO. 200302
 SHEET NO. 1

MUNICIPAL CONTACT INFORMATION

CITY OF FARMINGTON HILLS
31555 W. ELEVEN MILE ROAD
FARMINGTON HILLS, MI 48336

CITY MANAGER
DAVID BOYER
PHONE: (248) 871-2500

PUBLIC SERVICES DIRECTOR
KAREN MONDORA
PHONE: (248) 871-2530

BUILDING OFFICIAL
TAMMY MURRAY
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PLANNING & COMMUNITY DEVELOPMENT DIRECTOR
EDWARD GARDINER
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CITY ENGINEER
JAMES CUBERA
PHONE: (248) 871-2560

FIRE MARSHAL
JASON BALOGA
PHONE: (248) 871-2826



1	COVER SHEET
2	SITE PLAN
3	EXISTING CONDITIONS
4	TREE SURVEY
5	SUPERIMPOSED TREE SURVEY
6	PRELIMINARY SITE GRADING
7	LIGHTING PLAN
8	OPEN SPACE PLAN
9	ARCHITECTURAL FLOOR PLANS
10	ARCHITECTURAL ELEVATIONS
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS

4 TREE SURVEY
5 SUPERIMPOSED TREE SURVEY
6 PRELIMINARY SITE GRADING
7 LIGHTING PLAN
8 OPEN SPACE PLAN
9 ARCHITECTURAL FLOOR PLANS
10 ARCHITECTURAL ELEVATIONS
L-1 LANDSCAPE PLAN
L-2 LANDSCAPE DETAILS

Cluster WD-10-2000

RECEIVED

REVISED

The

SEC 30

JAN 19 2021

CITY OF FARMINGTON HILLS
PLANNING DEPT.

OWNER/DEVELOPER
PULTE HOMES OF MICHIGAN, LLC.
2800 LIVERNOIS RD., BLDG D
SUITE 320, TROY, MI 48063
PHONE: (248) 647-2750



WES LEE O. UMLOR, P.E.
49287 WEST ROAD
WIXOM, MI 48393
PHONE: (248) 773-7656
FAX: (866) 690-4307
E-MAIL: WUMLOR@UMLORGROUP.COM
WEB: WWW.UMLORGROUP.COM

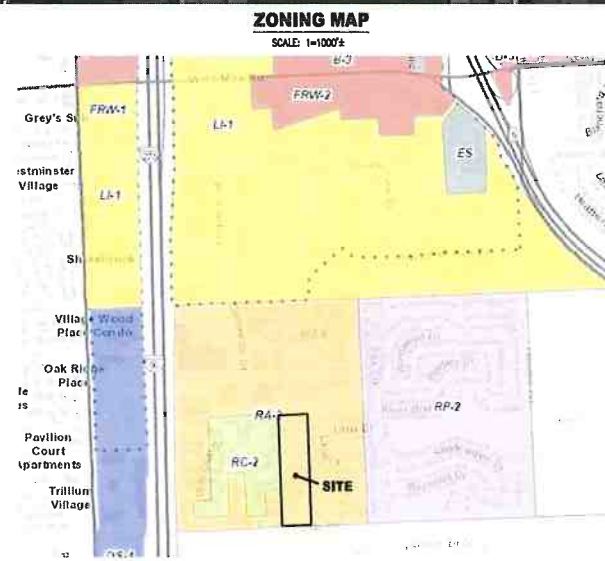


The UMLOR Group
LAND DEVELOPMENT SERVICES

SITE BENCHMARKS

1. #3082 HYDRANT ARROW
LOCATED AT N.W. CORNER OF 9
MILE ROAD AND BAYWOOD DRIVE
ELEV=843.75
(NAVD83)

2. #5914 CATCH BASIN RIM
LOCATED APPROXIMATELY 91
FEET NORTH OF THE NORTH
WEST PROPERTY CORNER
ELEV=858.74
(NAVD83)



Zoning Districts					
	B-1 Local Business District		OS-1 Office Service District		RA-4 One Family Residential District
	B-2 Community Business District		OS-2 Planned Office Service District		RC-1 Multiple Family Residential
	B-3 General Business District		OS-3 Special Office District		RC-2 Multiple Family Residential
	B-4 Planned General Business District		OS-4 Office Research District		RC-3 Multiple Family Residential
	ES Expressway Service District		P-1 Vehicular Parking District		RP-1 Planned Residential District
	FRW-1 Freeway Overlay District		RA-1 One Family Residential District		SP-1 Special Purpose District
	FRW-2 Freeway Overlay District		RA-1A One Family Residential District		SP-2 Special Purpose District
	FRW-3 Freeway Overlay District		RA-1B One Family Residential District		SP-3 Special Purpose District
	GR-1 Grand River Overlay District		RA-2 One Family Residential District		SP-4 Special Purpose District
	JRO Industrial Research Office District		RA-2B One Family Residential District		SP-5 Special Purpose District
	LI-1 Light Industrial District		RA-3 One Family Residential District		

SITE MAP
SCALE: 1" = 80'

Parcel ID	733030019
Address	3850 Nine Mile Road
Current Zoning	RA-2
Gross Area	160 Acres
No. of Units	0

Property proposed to be developed under the One-Family Cluster Option per section 3 17 2.Bi.

	ALLOWABLE	PROPOSED
Overall Density	3 Units/Acre	18 Units/Acre

	PROPOSED
Minimum Lot Width	N/A
Minimum Lot Area	N/A
Minimum Average Lot Area	N/A
Maximum Lot Coverage Per Day	N/A
Typical Building Envelope	24' x 72'

Building Setbacks	
Minimum front yard	25 feet
Minimum rear yard	35 feet
Minimum distance between buildings	
Lots 1-4, 15-18, 19-21, 22-25, 26-28	15 feet
Lots 5-12	20 feet
Minimum distance between lots	
Lots 21-27, 28-30	20 feet

	REQUIRED	PROPOSED
Percent Open Space	10%	39.5%
Open Space Area	1.50 acres	3.95 acres

Part of the Southwest 1/4 of Section 30, Town 1 North, Range 9 East, City of Farmington Hills, Oakland County, Michigan, described as follows:

Beginning at the South 1/4 Corner of Section 30, Town 1 North, Range 9 East; thence South 88 degrees 57 minutes 23 seconds West, along the South line of Section 30 and the centerline of Nine Mile Road (width varies), 330.00 feet; thence North 02 degrees 54 minutes 54 seconds East, 321.68 feet; thence North 87 degrees 11 minutes 11 seconds East along the southerly boundary of "Farmington Freeway Industrial Park South (Lber 173 of Plats. Pages 39-41, Oakland County Records), 330.00 feet; thence South 02 degrees 54 minutes 54 seconds East, in part along the westerly boundary of "Heritage Village" (Lber 177 of Plats, Pages 12 & 13, Oakland County Records), 1320.36 feet to the Point of Beginning. Subject to the rights of the public over the southerly 33 feet thereof as occupied by Nine Mile Road. Contains 10,007.8 acres.

SITE DATA

Parcel ID: 23 30 300 018
Address: 38500 Four Mile Hill

Current Zoning: RA-2
Gross Area: 10.6 Acres
No. of Units: 28

Property proposed to be developed under the One-Family Cluster Option per section 3.17.2.Bii

Overall Density: ALLOWABLE 2.1 Units/Acre PROPOSED 2.8 Units/Acre

Minimum Lot Width: 1/4
Minimum Lot Area: NA
Minimum Average Lot Area: NA
Maximum Lot Coverage Per Unit: NA
Typical Building Footprint: 42 x 75

Building Setbacks: Minimum front yard: 25 feet
Minimum rear yard: 35 feet
Minimum distance between buildings: Units 1-4, 15-16, 19-21, 27-28, 30-31: 15 feet
Units 5-18: 20 feet
Minimum distance between clusters: Units 21-22, 25-26: 20 feet

Percent Open Space: REQUIRED 15% PROPOSED 39.5%
Open Space Area: 1.59 acres 3.95 acres

PRELIMINARY STORM DETENTION CALCULATIONS

PER CITY OF FARMINGTON HILLS DESIGN STANDARDS, DETENTION BASINS FOR SINGLE FAMILY DETACHED DEVELOPMENTS SHALL BE DESIGNED TO DETAIN IMPROVED STORM WATER VOLUME EQUIVALENT TO A DEPTH OF 1.65" OF WATER OVER THE ENTIRE SITE.

GROSS AREA OF SITE = 10.00 ACRES
= 435,532 S.F.

REQUIRED STORAGE VOLUME = 435,532 * 1.65" / 12 = 59,886 CU FT

AREA TRIBUTARY TO FOREBAY = 9.40 ACRES

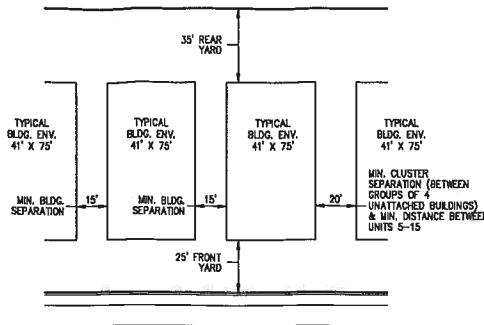
REQUIRED FOREBAY VOLUME = 409,669 * 0.5" / 12 * 35 = 5,974 CU FT

Contour	Area	Ht.	Inc. Vol.	Total Vol.
830	1,445	0	0	0
831	2,516	1	1,981	1,981
832	3,706	1	3,111	5,092
832.25	4,081	0.25	973	6,065
833	5,085	0.75	3,437	9,502

Contour	Area	Ht.	Inc. Vol.	Total Vol.
830	3,911	0	0	9,502
831	5,816	1	4,864	14,366
832	7,810	1	6,813	21,179
833	9,985	1	8,898	30,076
833	15,734	0	0	30,076
834	19,245	1	17,490	47,566
835	22,881	1	21,063	68,629
836	27,115	1	24,998	93,627

PRE-DEVELOPMENT 100 YEAR DISCHARGES

-TO REAR YARD OF LOT 6 HERITAGE VILLAGE: 1.5 CFS
-TO RY STM MH LOT 8/9 HERITAGE VILLAGE: 5.82 CFS
-TO ELY ADJACENT RESIDENTIAL PARCEL (#38300 NINE MI.): 0.55 CFS
-TO WLY ADJACENT DAY CARE PARCEL: 1.24 CFS
-TO NINE MILE ROAD: 6.14 CFS
ALLOWABLE POND DISCHARGE = 0.2 CFS/AC: 2.00 CFS



TYPICAL UNIT & CLUSTER SEPARATION DETAIL
SCALE: 1" = 40'

DESCRIPTION

Part of the Southwest 1/4 of Section 30, Town 1 North, Range 9 East, City of Farmington Hills, Oakland County, Michigan, described as follows:

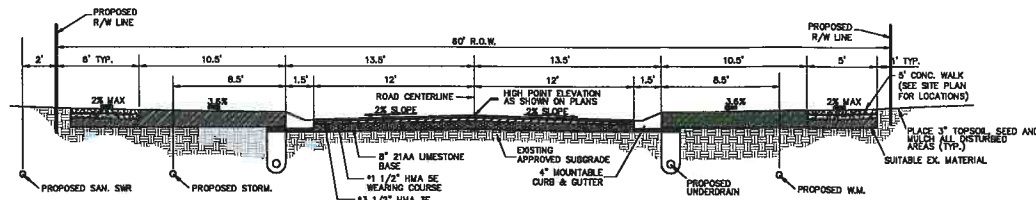
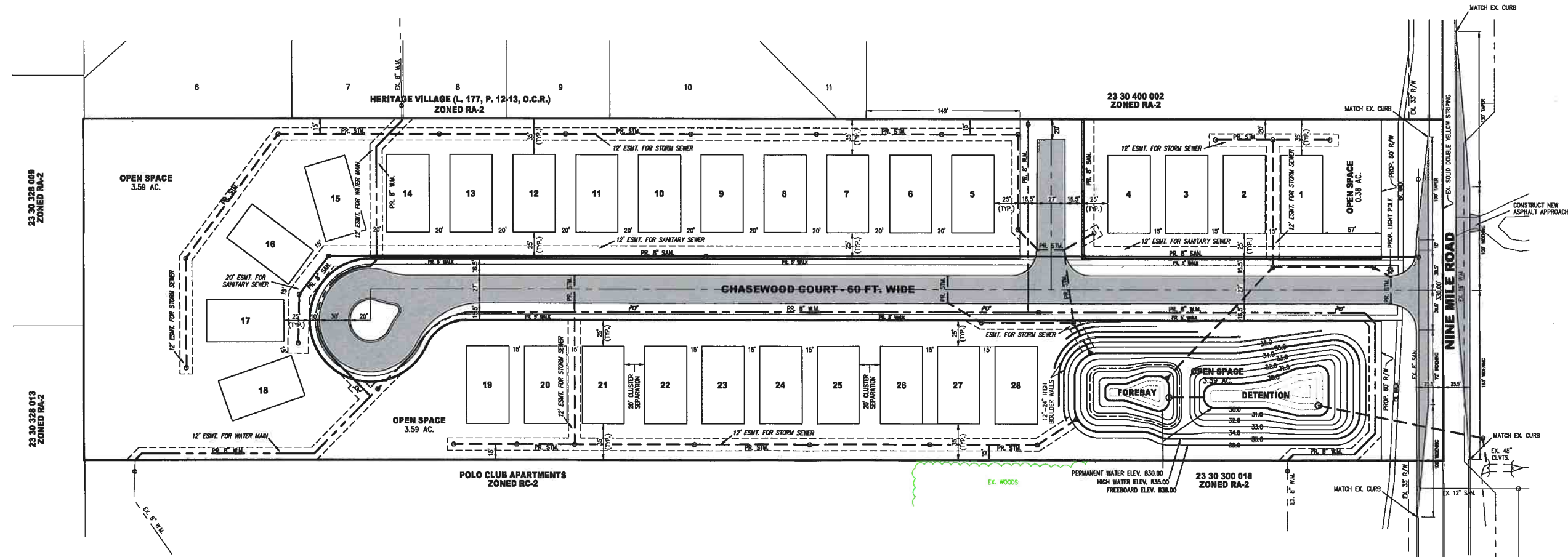
Beginning at the South 1/4 Corner of Section 30, Town 1 North, Range 9 East; thence South 86 degrees 57 minutes 23 seconds West, along the South line of Section 30 and the centerline of Nine Mile Road (width varies), 330.00 feet; thence North 02 degrees 54 minutes 54 seconds West 1321.69 feet; thence North 87 degrees 11 minutes 11 seconds East along the southerly boundary of "Farmington Freeway Industrial Park South (Liber 173 of Plats, Pages 39-41, Oakland County Records), 330.00 feet; thence South 02 degrees 54 minutes 54 seconds East, in part along the westerly boundary of "Heritage Village" (Liber 177 of Plats, Pages 12 & 13, Oakland County Records), 1320.36 feet to the Point of Beginning. Subject to the rights of the public over the southerly 33 feet thereof as occupied by Nine Mile Road. Contains 10.0078 acres.

NOTES:

1. ALL BASEMENTS SHALL BE PROVIDED WITH SANITARY SEWER SERVICE CAPABLE OF DRAINING BY GRAVITY.
2. SUMP PUMPS SHALL DISCHARGE TO STORM LEADS OUT OF PROPOSED MANHOLES.
3. FIRE SUPPRESSION SYSTEMS SHALL BE PROVIDED FOR ALL UNITS.
4. "NO PARKING" SIGNAGE WILL BE POSTED IN CUL-DE-SAC.



VIGNETTE MAP
SEC. 30, T.1N, R.9E,
SCALE: 1"=2000'



TYPICAL ROAD CROSS SECTION
SCALE: 1" = 6'

SYMBOL	DESCRIPTION
---	PR. STORM SEWER
---	PR. SANITARY SEWER
---	PR. WATER MAIN
---	PR. CONTOURS
---	PR. LIMITS DISTURBANCE
---	PR. WATER VALVE
---	PR. HYDRANT
---	PR. STORM STRUCTURE
---	PR. SANITARY STRUCTURE

SITE BENCHMARKS

1. #3082 HYDRANT ARROW
LOCATED AT N.W. CORNER OF 9
MILE ROAD AND BAYWOOD DRIVE
ELEV=843.75
(NAVD83)

2. #5914 CATCH BASIN RM
LOCATED APPROXIMATELY 81
FEET NORTH OF THE NORTH
WEST PROPERTY CORNER
ELEV=858.74
(NAVD83)



THE LOCATION OF EXISTING
UNDERGROUND UTILITIES ARE SHOWN
ON THIS MAP. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
VERIFYING THE LOCATION OF ALL
EXISTING UTILITIES PRIOR TO
CONSTRUCTION. THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
PROTECTING ALL UTILITIES
LOCATED WITHIN THE PROJECT
LIMITS. THE CONTRACTOR
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LOCATED WITHIN THE PROJECT
LIMITS.

811.
Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE
RESPONSIBILITY OF THE CONTRACTOR.
WHEN THE OWNER HIRMS THE
CONTRACTOR, THE CONTRACTOR
SHALL BE RESPONSIBLE FOR
SAFETY OF THE WORK. NO PERSONS
SHALL BE ALLOWED TO ENTER
NEARBY STRUCTURES, OR ANY
OTHER PERSONS.

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LAND DEVELOPMENT SERVICES

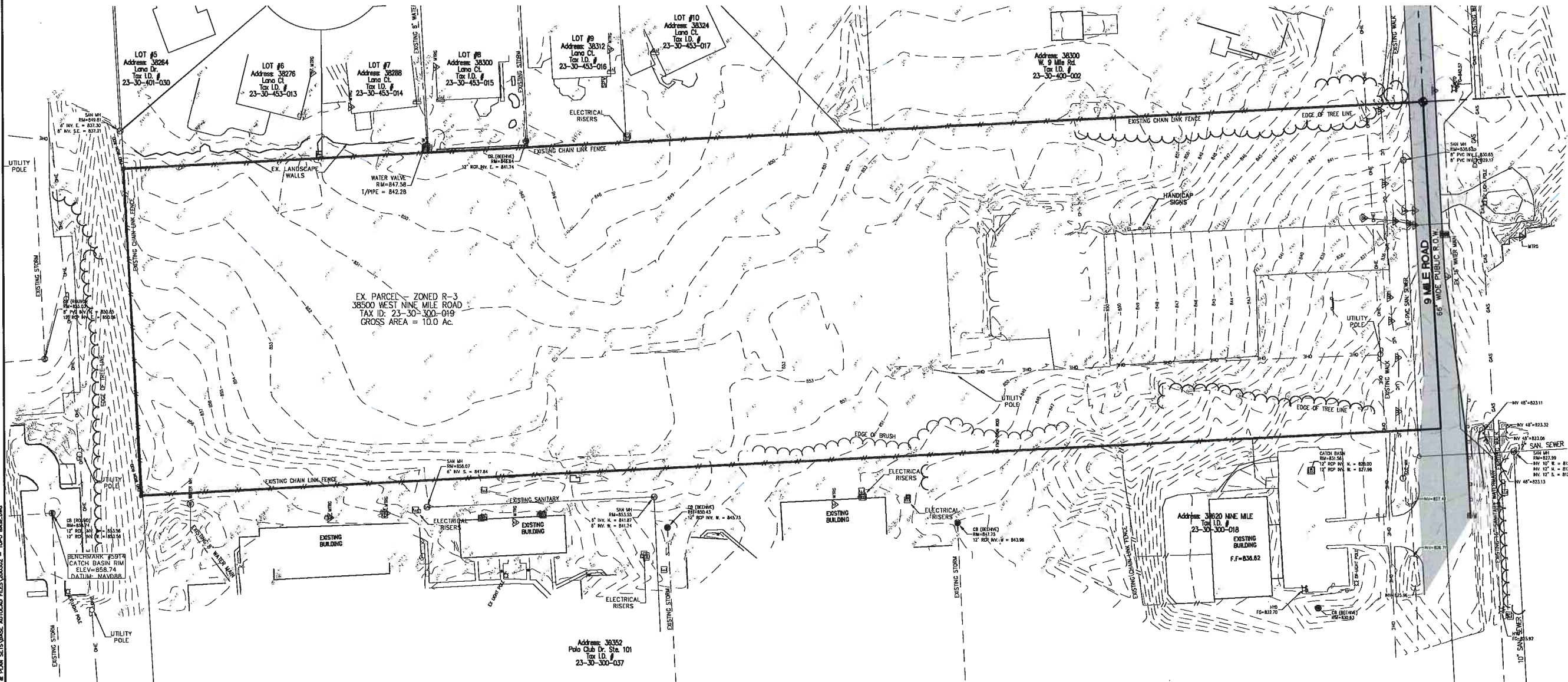
PART OF THE SW 1/4 OF SEC. 30
T. 1 N., R. 9 E.
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN

DATE: 09/25/2020
REVISIONS
11/17/20 PER CITY
1/18/21 PER CITY

CHASEWOOD VILLAS
PULTE HOMES OF MICHIGAN
2800 LIVINGSTON ROAD, SUITE 320
TROY, MICHIGAN 48063

DR BY:
CK BY:
P.M.
SCALE: 0 25 50
1" = 50 FEET
JOB NO.: 200302
SHEET NO.: 2
SHEET 2 OF 10

UMLOR GROUP PROJECT FILES\WHITE HOUSE\200302 - FARMINGTON SWM CLUB - 30500 W. 9 MILE ROAD\DESIGN FILES & PLAN SETS\BASE AUTOCAD FILES\200302 - TOPO BASELINE



SYMBOL		SYMBOL	
DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
EX. SPOT ELEVATION	EX. OVERHEAD FIBER	EX. OVERHEAD FIBER	EX. OVERHEAD FIBER
EX. CONTOUR	EX. OVERHEAD ELECTRIC	EX. OVERHEAD ELECTRIC	EX. OVERHEAD ELECTRIC
EX. DITCH	EX. UNDERGROUND CABLE	EX. UNDERGROUND CABLE	EX. UNDERGROUND CABLE
EX. GRAVEL	EX. COMMUNICATION RISER	EX. COMMUNICATION RISER	EX. COMMUNICATION RISER
EX. WATER MAIN	EX. UTILITY POLE	EX. UTILITY POLE	EX. UTILITY POLE
EX. WATER VALVE	EX. GUY ANCHOR	EX. GUY ANCHOR	EX. GUY ANCHOR
EX. HYDRANT	EX. LIGHT POLE	EX. LIGHT POLE	EX. LIGHT POLE
EX. STORM SEWER	EX. GROUND LIGHT	EX. GROUND LIGHT	EX. GROUND LIGHT
EX. STORM INLET/CATCH BASIN	EX. SINGLE POLE SIGN	EX. SINGLE POLE SIGN	EX. SINGLE POLE SIGN
EX. ROUND STORM CATCH BASIN	EX. MAILBOX	EX. MAILBOX	EX. MAILBOX
EX. STORM MANHOLE	EX. UNKNOWN MANHOLE	EX. UNKNOWN MANHOLE	EX. UNKNOWN MANHOLE
EX. STORM END SECTION	EX. SECTION LINE	EX. SECTION LINE	EX. SECTION LINE
EX. SANITARY SEWER	EX. PARCELS	EX. PARCELS	EX. PARCELS
EX. CLEAN OUT	EX. EASEMENT	EX. EASEMENT	EX. EASEMENT
EX. UNDERGROUND GAS	EX. CENTERLINE	EX. CENTERLINE	EX. CENTERLINE
EX. GAS VALVE	EX. WETLAND LIMITS	EX. WETLAND LIMITS	EX. WETLAND LIMITS
EX. GAS METER	EX. CURB/PAVEMENT	EX. CURB/PAVEMENT	EX. CURB/PAVEMENT
EX. UNDERGROUND TELEPHONE	EX. FENCE	EX. FENCE	EX. FENCE
EX. TELEPHONE MANHOLE	EX. POST	EX. POST	EX. POST
EX. TELEPHONE RISER	EX. BOLLARD	EX. BOLLARD	EX. BOLLARD
EX. TELEPHONE HANDHOLE	EX. RECORDED BEARING	EX. RECORDED BEARING	EX. RECORDED BEARING
EX. UNDERGROUND ELECTRIC	EX. MEASURED BEARING	EX. MEASURED BEARING	EX. MEASURED BEARING
EX. ELECTRIC MANHOLE	EX. TREE	EX. TREE	EX. TREE
EX. ELECTRIC RISER	EX. DEMO TREE	EX. DEMO TREE	EX. DEMO TREE
EX. ELECTRIC HANDHOLE	EX. MEDIA MARKER	EX. MEDIA MARKER	EX. MEDIA MARKER
EX. ELECTRIC TRANSFORMER	EX. COMM. MARKER	EX. COMM. MARKER	EX. COMM. MARKER
EX. GENERATOR	EX. TELE. MARKER	EX. TELE. MARKER	EX. TELE. MARKER
EX. WATER MARKER	EX. FIBER MARKER	EX. FIBER MARKER	EX. FIBER MARKER
EX. GAS MARKER			
EX. OVERHEAD CABLE			

SITE BENCHMARKS
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THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.

811.

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The UMLOR Group

LAND DEVELOPMENT SERVICES

PART OF THE SW 1/4 OF SEC.30
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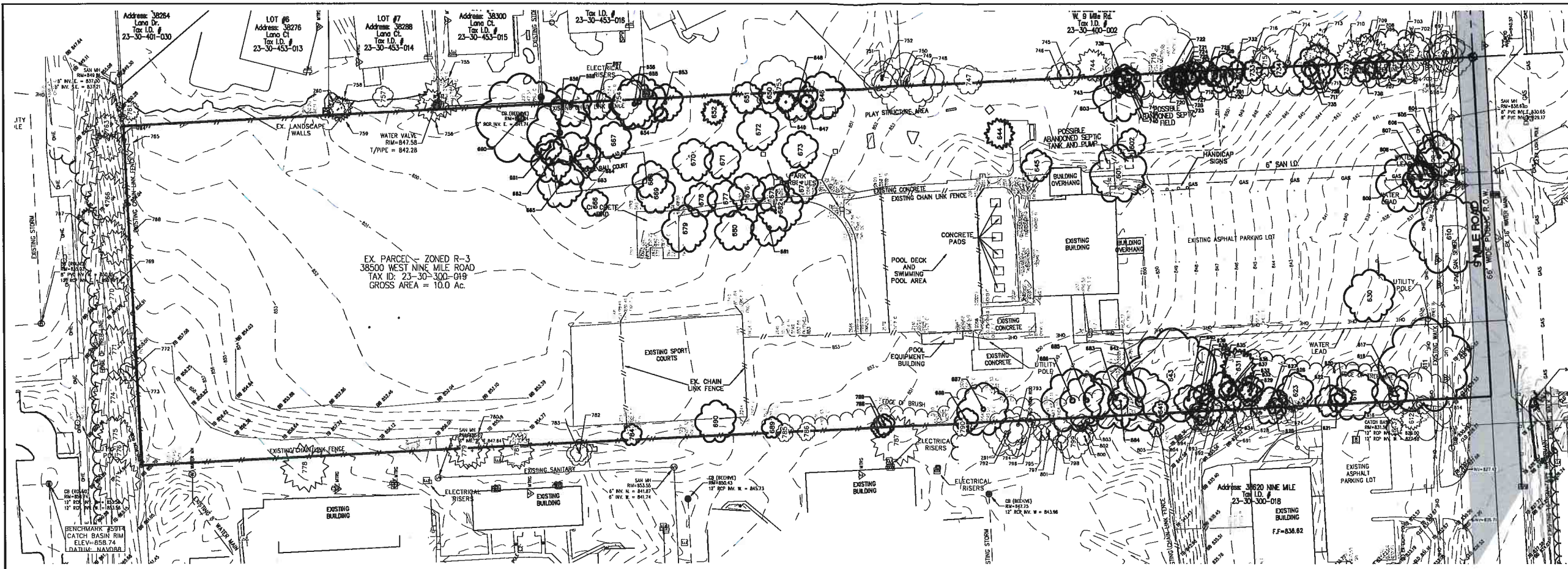
DATE: 09/25/2020

REVISIONS
11/17/20 PER CITY
1/18/21 PER CITY

CHASEWOOD VILLAS
PULTE HOMES OF MICHIGAN
2800 LIVERNOIS ROAD, BLDG D, SUITE 320
TROY, MICHIGAN, 48063

EXISTING CONDITIONS

DR BY: MD
CK BY: SA
SCALE: 0 25 50
1" = 50 FEET
JOB NO. 200302
SHEET NO. 3
SHEET 3 OF 10



TAG #	SCIENTIFIC NAME	COMMON NAME	DBH	Multi Note	CONDITION	TAG #	SCIENTIFIC NAME	COMMON NAME	DBH	Multi Note	CONDITION	TAG #	SCIENTIFIC NAME	COMMON NAME	DBH	Multi Note	CONDITION
001	Ulmus pumila	SIBERIAN ELM	22"		FAIR	051	Juglans nigra	BLACK WALNUT	12"	TWIN	GOOD	701	Juglans nigra	BLACK WALNUT	14"		GOOD
002	Monna sp.	MALBERRY	9", 11"		GOOD	052	Thuja sp.	CEDAR	10"	TWIN	GOOD	702	Thuja canadensis	EASTERN HEARLOCK	7"		GOOD
003	Acer negundo	BOX ELDER	20"		GOOD	053	Juglans nigra	BLACK WALNUT	14"		GOOD	703	Thuja canadensis	EASTERN HEARLOCK	6"		GOOD
004	Rubus pseudoacacia	BLACK LOCUST	12" 14"		GOOD	054	Thuja sp.	CEDAR	6"		GOOD	704	Thuja canadensis	EASTERN HEARLOCK	4", 6", 7"		GOOD
005	Rubus pseudoacacia	BLACK LOCUST	18"		GOOD	055	Juglans nigra	BLACK WALNUT	21"		GOOD	705	Thuja canadensis	EASTERN HEARLOCK	11"		GOOD
006	Rubus pseudoacacia	BLACK LOCUST	18"		GOOD	056	Juglans nigra	BLACK WALNUT	18"		GOOD	706	Thuja canadensis	EASTERN HEARLOCK	11"		GOOD
007	Rubus pseudoacacia	BLACK LOCUST	10"		GOOD	057	Juglans nigra	BLACK WALNUT	9", 9", 11"		GOOD	707	Thuja canadensis	EASTERN HEARLOCK	9"		GOOD
008	Rubus pseudoacacia	BLACK LOCUST	14"		GOOD	058	Juglans nigra	BLACK WALNUT	16"		GOOD	708	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
009	Rubus pseudoacacia	BLACK LOCUST	22"		GOOD	059	Juglans nigra	BLACK WALNUT	22"		GOOD	709	Thuja canadensis	EASTERN HEARLOCK	14"		GOOD
010	Juglans nigra	BLACK WALNUT	36"		GOOD	060	Juglans nigra	BLACK WALNUT	34"		GOOD	710	Thuja canadensis	EASTERN HEARLOCK	14"		GOOD
011	Acer negundo	BOX ELDER	36"		GOOD	061	Juglans nigra	BLACK WALNUT	10"		GOOD	711	Thuja canadensis	EASTERN HEARLOCK	17"		GOOD
012	Pinus nigra	AUSTRIAN PINE	9"		FAIR	062	Juglans nigra	BLACK WALNUT	16"		GOOD	712	Thuja canadensis	EASTERN HEARLOCK	17"		GOOD
013	Pinus nigra	AUSTRIAN PINE	9"		FAIR	063	Juglans nigra	BLACK WALNUT	16"		GOOD	713	Thuja canadensis	EASTERN HEARLOCK	17"		GOOD
014	Monna sp.	MALBERRY	7"		GOOD	064	Cladonia trachothos	HONEYLOCUST	10"		GOOD	714	Thuja canadensis	EASTERN HEARLOCK	14", 16", 26"		GOOD
015	Ulmus americana	AMERICAN ELM	28"		POOR	065	Cladonia trachothos	HONEYLOCUST	18"		GOOD	715	Thuja canadensis	EASTERN HEARLOCK	12"		GOOD
016	Ulmus pumila	SIBERIAN ELM	7", 10"		FAIR	066	Auculus hippocastanaceae	HORSE CHESTNUT	12"		GOOD	716	Thuja canadensis	EASTERN HEARLOCK	15"		GOOD
017	Acer negundo	BOX ELDER	7"		FAIR	067	Ulmus pumila	SIBERIAN ELM	14"		GOOD	717	Thuja canadensis	EASTERN HEARLOCK	14"		GOOD
018	Monna sp.	MALBERRY	13", 14"		FAIR	068	Ulmus pumila	SIBERIAN ELM	14"		GOOD	718	Thuja canadensis	EASTERN HEARLOCK	14"		GOOD
019	Acer negundo	BOX ELDER	18"		GOOD	069	Ulmus pumila	SIBERIAN ELM	15"		GOOD	719	Thuja canadensis	EASTERN HEARLOCK	32"		GOOD
020	Acer negundo	BOX ELDER	7"		GOOD	070	Ulmus pumila	SIBERIAN ELM	16"		GOOD	720	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
021	Acer negundo	BOX ELDER	7"		FAIR	071	Ulmus pumila	SIBERIAN ELM	16"		GOOD	721	Thuja canadensis	EASTERN HEARLOCK	8"		GOOD
022	Monna sp.	MALBERRY	12"		FAIR	072	Ulmus pumila	SIBERIAN ELM	16"		GOOD	722	Thuja canadensis	EASTERN HEARLOCK	7"		GOOD
023	Acer platanoides	NORWAY MAPLE	8", 11"		TWIN	073	Ulmus pumila	SIBERIAN ELM	14"		GOOD	723	Thuja canadensis	EASTERN HEARLOCK	6"		GOOD
024	Ulmus pumila	SIBERIAN ELM	10"		GOOD	074	Ulmus pumila	SIBERIAN ELM	13"		GOOD	724	Thuja canadensis	EASTERN HEARLOCK	8"		GOOD
025	Acer negundo	BOX ELDER	6"		GOOD	075	Ulmus pumila	SIBERIAN ELM	10"		GOOD	725	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
026	Acer negundo	BOX ELDER	6"		GOOD	076	Ulmus pumila	SIBERIAN ELM	10"		GOOD	726	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
027	Acer negundo	BOX ELDER	14"		GOOD	077	Ulmus pumila	SIBERIAN ELM	10"		GOOD	727	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
028	Acer negundo	BOX ELDER	5", 6"		TWIN	078	Ulmus pumila	SIBERIAN ELM	18"		GOOD	728	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
029	Acer negundo	BOX ELDER	7"		TWIN	079	Ulmus pumila	SIBERIAN ELM	18"		GOOD	729	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
030	Acer negundo	BOX ELDER	20"		TWIN	080	Ulmus pumila	SIBERIAN ELM	15"		GOOD	730	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
031	Thuja sp.	CEDAR	14"		GOOD	081	Ulmus pumila	SIBERIAN ELM	14"		GOOD	731	Thuja canadensis	EASTERN HEARLOCK	13"		GOOD
032	Acer negundo	BOX ELDER	10"		GOOD	082	Ulmus pumila	SIBERIAN ELM	12", 18"		TWIN	732	Thuja canadensis	EASTERN HEARLOCK	7"		GOOD
033	Acer negundo	BOX ELDER	7"		GOOD	083	Ulmus pumila	SIBERIAN ELM	6"		GOOD	733	Thuja canadensis	EASTERN HEARLOCK	6"		GOOD
034	Acer negundo	BOX ELDER	6"		GOOD	084	Ulmus pumila	SIBERIAN ELM	6"		GOOD	734	Thuja canadensis	EASTERN HEARLOCK	6"		GOOD
035	Acer negundo	BOX ELDER	10"		GOOD	085	Ulmus pumila	SIBERIAN ELM	20"		GOOD	735	Thuja canadensis	EASTERN HEARLOCK	6"		GOOD
036	Monna sp.	MALBERRY	6"		TWIN	086	Ulmus pumila	SIBERIAN ELM	24"		GOOD	736	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
037	Monna sp.	MALBERRY	7"		GOOD	087	Ulmus pumila	SIBERIAN ELM	14", 16", 23"		TRI	737	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
038	Juglans nigra	BLACK WALNUT	8"		GOOD	088	Ulmus pumila	SIBERIAN ELM	9"		GOOD	738	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
039	Acer platanoides	NORWAY MAPLE	12"		GOOD	089	Ulmus pumila	SIBERIAN ELM	6", 7", 7", 6"		QUAD	739	Thuja canadensis	EASTERN HEARLOCK	7"		GOOD
040	Acer platanoides	NORWAY MAPLE	11"		GOOD	090	Ulmus pumila	SIBERIAN ELM	5", 9", 14", 8", 10"		MULTI (5)	740	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
041	Acer negundo	BOX ELDER	6"		GOOD	091	Ulmus pumila	SIBERIAN ELM	10"		GOOD	741	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
042	Ulmus pumila	SIBERIAN ELM	24"		GOOD	092	Ulmus pumila	SIBERIAN ELM	11"		GOOD	742	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
043	Ulmus pumila	SIBERIAN ELM	36"		GOOD	093	Ulmus pumila	SIBERIAN ELM	13"		GOOD	743	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
044	Picea pungens	COLORADO SPRUCE	12"		GOOD	094	Ulmus pumila	SIBERIAN ELM	11"		GOOD	744	Thuja canadensis	EASTERN HEARLOCK	13"		GOOD
045	Pinus strobus	SWET CHERRY	12"		GOOD	095	Ulmus pumila	SIBERIAN ELM	12"		GOOD	745	Thuja canadensis	EASTERN HEARLOCK	12"		GOOD
046	Juglans nigra	BLACK WALNUT	18"		GOOD	096	Ulmus pumila	SIBERIAN ELM	9"		GOOD	746	Thuja canadensis	EASTERN HEARLOCK	10"		GOOD
047	Thuja sp.	CEDAR	6"		GOOD	097	Ulmus pumila	SIBERIAN ELM	7"		GOOD	747	Thuja canadensis	EASTERN HEARLOCK	11"		GOOD
048	Juglans nigra	BLACK WALNUT	12", 16"		TWIN	098	Ulmus pumila	SIBERIAN ELM	15"		GOOD	748	Thuja canadensis	EASTERN HEARLOCK	16"		GOOD
049	Thuja sp.	CEDAR	8"		GOOD	099	Ulmus pumila	SIBERIAN ELM	16"		GOOD	749	Thuja canadensis	EASTERN HEARLOCK	24"		GOOD
050	Ulmus americana	AMERICAN ELM	8"		TWIN	700	Juglans nigra	BLACK WALNUT	16"		GOOD	750	Thuja canadensis	EASTERN HEARLOCK	7"		GOOD

Tree Removal & Replacement Summary		
Total Trees Surveyed	205	
Off site trees within 25 ft of property	89	
On site trees	116	
Regular Trees To Be Removed	104	
Landmark Trees to be Removed (306 Total DBH)	12	
Landmark DBH to be removed (inches)	306	
Regular Trees Required To Be Replaced with 3" Trees	104	
Landmark Trees DBH Required To Be Replaced (25% - inches)	77	
Landmark replacement trees (77" DBH/3" trees)	26	
Total Replacement Trees	130	

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
EX. SPOT ELEVATION	EX. SPOT ELEVATION	EX. TELEPHONE MANHOLE	EX. TELEPHONE MANHOLE	EX. LIGHT POLE	EX. LIGHT POLE
EX. CONTOUR	EX. CONTOUR	EX. TELEPHONE RISER	EX. TELEPHONE RISER	EX. GROUND LIGHT	EX. GROUND LIGHT
EX. DITCH	EX. DITCH	EX. TELEPHONE HANDHOLE	EX. TELEPHONE HANDHOLE	EX. SINGLE POLE SIGN	EX. SINGLE POLE SIGN
EX. GRAVEL	EX. GRAVEL	EX. UNDERGROUND ELECTRIC	EX. UNDERGROUND ELECTRIC	EX. MAILBOX	EX. MAILBOX
EX. WATER MAIN	EX. WATER MAIN	EX. ELECTRIC MANHOLE	EX. ELECTRIC MANHOLE	EX. UNKNOWN MANHOLE	EX. UNKNOWN MANHOLE
EX. WATER VALVE	EX. WATER VALVE	EX. ELECTRIC RISER	EX. ELECTRIC RISER	EX. SECTION LINE	EX. SECTION LINE
EX. HYDRANT	EX. HYDRANT	EX. ELECTRIC HANDHOLE	EX. ELECTRIC HANDHOLE	EX. PARCELS	EX. PARCELS
EX. STORM SEWER	EX. STORM SEWER	EX. ELECTRIC TRANSFORMER	EX. ELECTRIC TRANSFORMER	EX. EASEMENT	EX. EASEMENT
EX. STORM INLET/CATCH BASIN	EX. STORM INLET/CATCH BASIN	EX. GENERATOR	EX. GENERATOR	EX. CENTERLINE	EX. CENTERLINE
EX. ROUND STORM CATCH BASIN	EX. ROUND STORM CATCH BASIN	EX. WATER MARKER	EX. WATER MARKER	EX. WETLAND LIMITS	EX. WETLAND LIMITS
EX. STORM MANHOLE	EX. STORM MANHOLE	EX. GAS MARKER	EX. GAS MARKER	EX. CURB/PAVEMENT	EX. CURB/PAVEMENT
EX. STORM END SECTION	EX. STORM END SECTION	EX. OVERHEAD CABLE	EX. OVERHEAD CABLE	EX. FENCE	EX. FENCE
EX. SANITARY SEWER	EX. SANITARY SEWER	EX. OVERHEAD FIBER	EX. OVERHEAD FIBER	EX. SECTION CORNER	EX. SECTION CORNER
EX. CLEAN OUT	EX. CLEAN OUT	EX. OVERHEAD ELECTRIC	EX. OVERHEAD ELECTRIC	EX. BOLLARD	EX. BOLLARD
EX. UNDERGROUND GAS	EX. UNDERGROUND GAS	EX. UNDERGROUND CABLE	EX. UNDERGROUND CABLE	EX. RECORDED BEARING	EX. RECORDED BEARING
EX. GAS VALVE	EX. GAS VALVE	EX. COMMUNICATION RISER	EX. COMMUNICATION RISER	EX. MEASURED BEARING	EX. MEASURED BEARING
EX. GAS METER	EX. GAS METER	EX. COMMUNICATION HANDHOLE	EX. COMMUNICATION HANDHOLE	EX. TREE	EX. TREE
EX. UNDERGROUND TELEPHONE	EX. UNDERGROUND TELEPHONE	EX. UTILITY POLE	EX. UTILITY POLE	EX. DEMO TREE	EX. DEMO TREE
EX. MEDIA MARKER	EX. MEDIA MARKER	EX. GUY ANCHOR	EX. GUY ANCHOR		
EX. COMM. MARKER	EX. COMM. MARKER	EX. TELE. MARKER	EX. TELE. MARKER		
		EX. FIBER MARKER	EX. FIBER MARKER		

811

Know what's below.
Call before you dig.

CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF ANY UTILITIES LOCATED ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF ANY UTILITIES LOCATED ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF ANY UTILITIES LOCATED ON THE SITE.

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THE LAMOR GROUP

LAND DEVELOPMENT SERVICES

DATE: 09/25/2020

REVISIONS

11/17/20 PER CITY

1/18/21 PER CITY

CHASEWOOD VILLAS

PULTE HOMES OF MICHIGAN

2800 IVERSON ROAD, BLDG D, SUITE 320

TROY, MICHIGAN, 48063

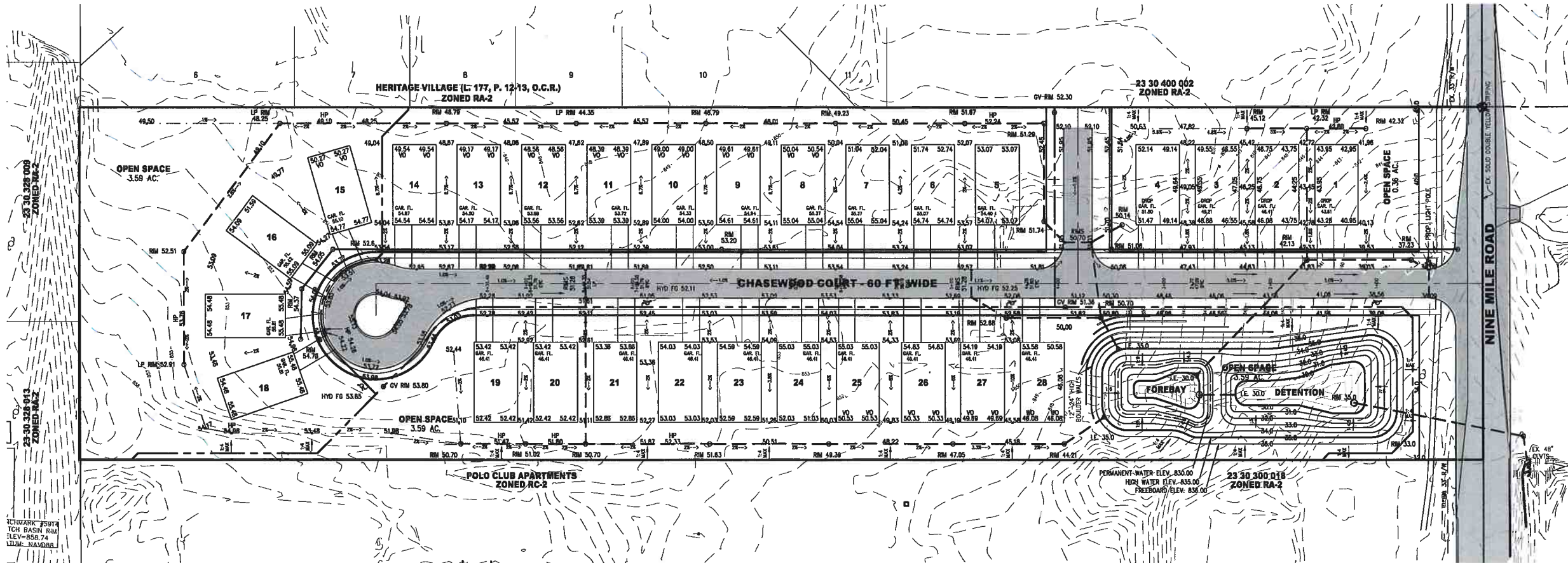
DR. BY: MATTHEW N. DORIAN

SCALE: 1" = 50 FEET

JOB NO. 200302

SHEET NO. 4

SHIT 4 OF 10



LEGEND	
SYMBOL	DESCRIPTION
	PR. STORM SEWER
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. CONTOURS
	PR. LIMITS DISTURBANCE
	PR. WATER VALVE
	PR. HYDRANT
	PR. STORM STRUCTURE
	PR. SANITARY STRUCTURE

SITE BENCHMARKS
1. #3002 HYDRANT ARROW
LOCATED AT N.W. CORNER OF 9
MILE ROAD AND BAYWOOD DRIVE
ELEV=843.75
(NAVD88)
2. #5914 CATCH BASIN RM
LOCATED APPROXIMATELY 91
FEET NORTH OF THE NORTH
WEST PROPERTY CORNER
ELEV=858.74
(NAVD88)



THE LOCATION OF EXISTING
UNDERGROUND UTILITIES ARE SHOWN
IN AN APPROXIMATE MANNER ONLY AND
SHOULD NOT BE USED FOR ANY
CONSTRUCTION OF ANY KIND WITHOUT
THE CONTRACTOR'S VERIFICATION.
THE CONTRACTOR SHALL BE RESPONSIBLE
FOR VERIFYING THE EXACT
LOCATION OF ALL EXISTING UTILITIES
BEFORE COMMENCING WORK, AND
SHALL BE FULLY RESPONSIBLE
FOR ANY AND ALL DAMAGES WHICH
MAY BE OCCURRED BY THE
CONTRACTOR'S FAILURE TO EXACTLY
LOCATE AND PROTECT ANY AND
ALL UNDERGROUND UTILITIES.

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CONSTRUCTION SITE SAFETY IS THE
RESPONSIBILITY OF THE CONTRACTOR.
NEITHER THE ENGINEER NOR THE
ENGINEER SHALL BE EXPECTED TO
ADDRESS ANY RESPONSIBILITY FOR
SAFETY OF THE WORK OF PERSONS
EMPLOYED BY THE CONTRACTOR OR ANY
NEARBY STRUCTURES, OR OF ANY
OTHER PERSONS.

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The UMLOR Group

LAND DEVELOPMENT SERVICES

PART OF THE SW 1/4 OF SEC.30
T.1 N. R. 9 E.
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN

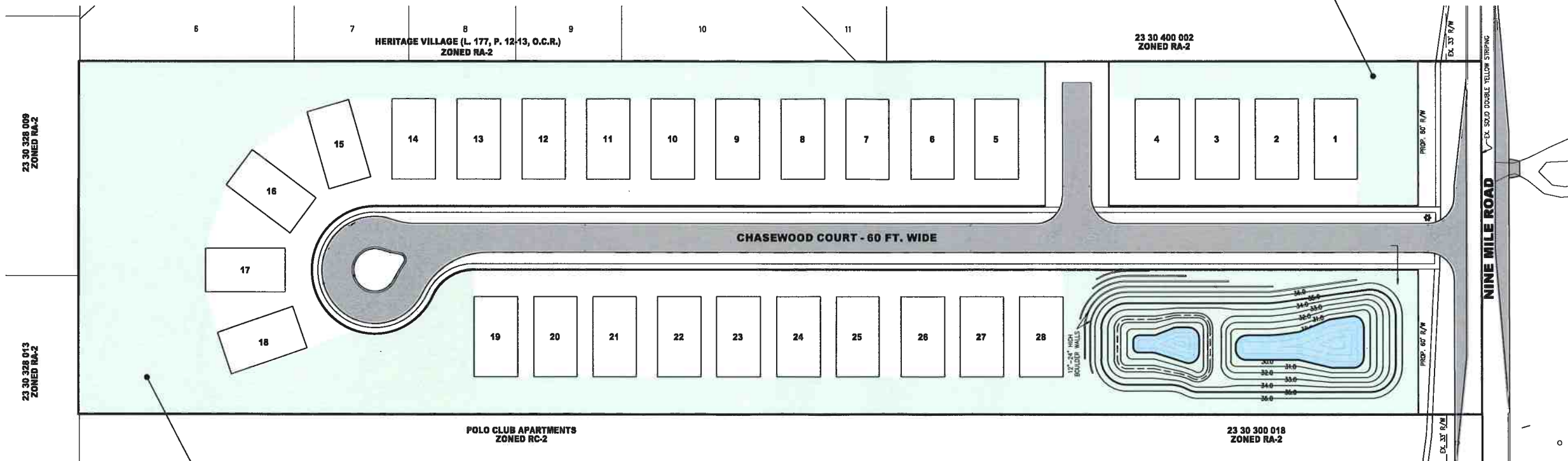
DATE: 09/25/2020

REVISIONS
11/17/20 PER CITY
1/18/21 PER CITY

CHASEWOOD VILLAS
PULTE HOMES OF MICHIGAN
2800 LIVINGSTON ROAD, SUITE 300
TROY, MICHIGAN, 48063

PRELIMINARY GRADING PLAN

DR BY: [Signature]
CK BY: [Signature]
P.M.
SCALE: 1" = 50 FEET
JOB NO. 200302
SHEET NO. 6
SHEET 6 OF 10



TOTAL PROPOSED OPEN SPACE = 3.95 ACRES
(SEE LANDSCAPE PLAN FOR PLANTING DETAILS)

SITE BENCHMARKS

1. #3082 HYDRANT ARROW
LOCATED AT N.W. CORNER OF 8
MILE ROAD AND BAYWOOD DRIVE
ELEV=843.75
(NAVD88)

2. #6914 CATCH BASIN RM
LOCATED APPROXIMATELY 91
FEET NORTH OF THE NORTH
WEST PROPERTY CORNER
ELEV=858.74
(NAVD88)



THE LOCATION OF EXISTING UNDEVELOPED UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDICATED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PREPARE ANY AND ALL UNDEVELOPED UTILITIES.

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CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. NOTWITHSTANDING THE OWNER'S NOTICE, THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSESS ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS EXPOSED TO THE WORK OF ANY HEAVY STRUCTURES, OR OF ANY OTHER PERSONS.

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LAND DEVELOPMENT SERVICES

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CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN

DATE: 09/25/2020

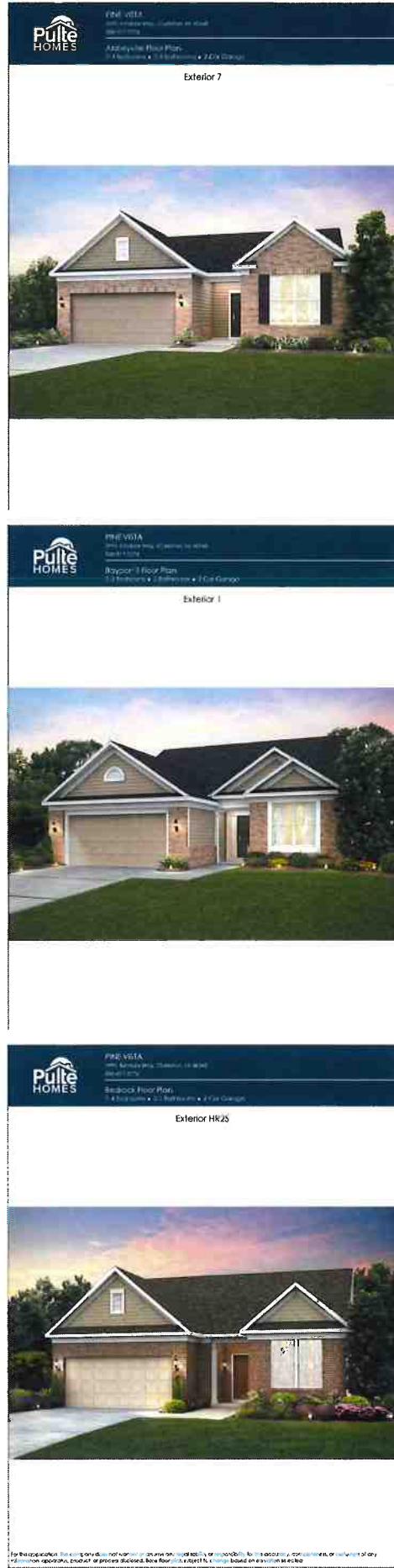
REVISIONS
11/17/20 PER CITY
1/18/21 PER CITY

CHASEWOOD VILLAS

CLIENT:
PULTE HOMES OF MICHIGAN
2800 LIVERMORE ROAD, SUITE 300
TROY, MICHIGAN, 48063

OPEN SPACE PLAN

DR BY:
CK BY:
SCALE:
1" = 50 FEET
JOB NO.: 200302
SHEET NO.: 8
SHEET 8 OF 10



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE UTILITIES PRIOR TO ANY AND ALL UNDERGROUND UTILITIES.

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CONSTRUCTION SITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE UTILITIES PRIOR TO ANY AND ALL UNDERGROUND UTILITIES.

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The UMLOR Group
LAND DEVELOPMENT SERVICES

PART OF THE SW 1/4 OF SEC.30
T. 1 N., R. 9 E.
CITY OF FARMINGTON HILLS
OAKLAND COUNTY, MICHIGAN

DATE:	09/25/2020
REVISIONS	
	11/17/20 PER CITY
	1/18/21 PER CITY

CHASEWOOD VILLAS

CLIENT: **PULTE HOMES OF MICHIGAN**
2800 URBENS ROAD, BLDG D, SUITE 200
TROY, MICHIGAN, 48063

ELEVATIONS

DR BY: _____
CK BY: _____
P.M. _____
SCALE 0  NO SCALE
JOB NO. 200302
SHEET NO. 10
SHEET 10 OF 10



Project:

Prepared for:

Revision:

Issued:

September 25, 2020
November 17, 2020
December 28, 2020

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Seal:



Title:

Landscape Details

Project:

Chasewood Villas
Farmington Hills, Michigan

Prepared for:

Pulte Group
2800 Livernois Road, Building D, Suite 320
Troy, MI 48063

Revision:

Submission
Revised
Revised

Issued:

September 25, 2020
November 17, 2020
December 28, 2020

Job Number:

20-060

Drawn By:

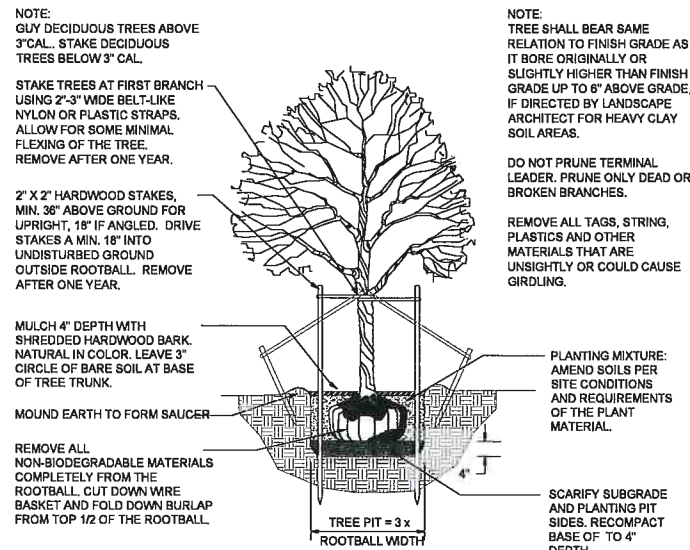
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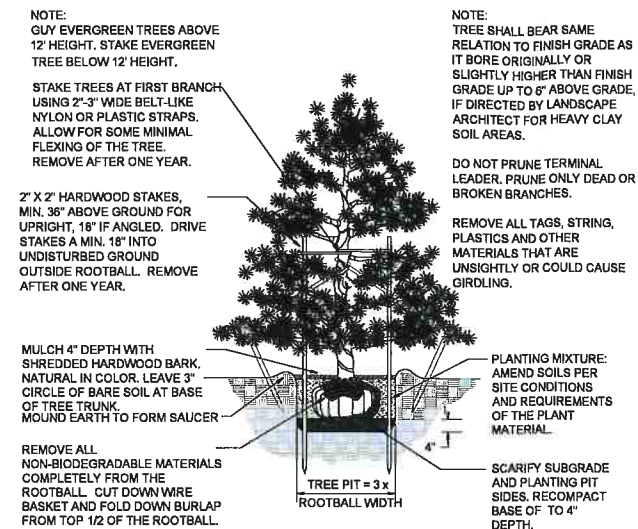
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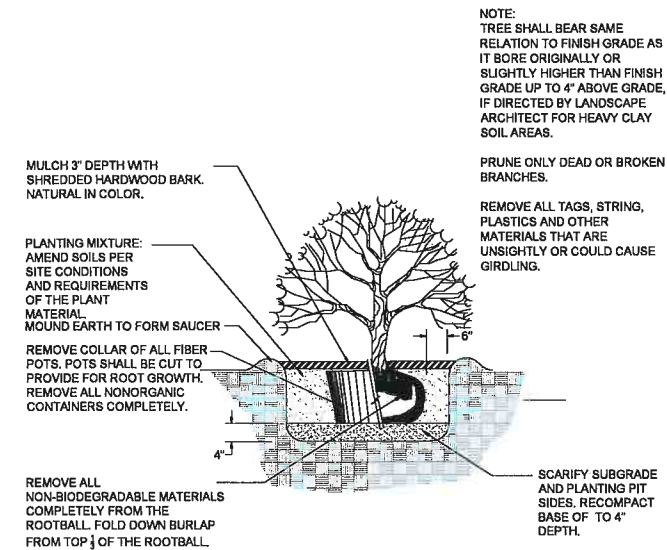
L-2



DECIDUOUS TREE PLANTING DETAIL



EVERGREEN TREE PLANTING DETAIL

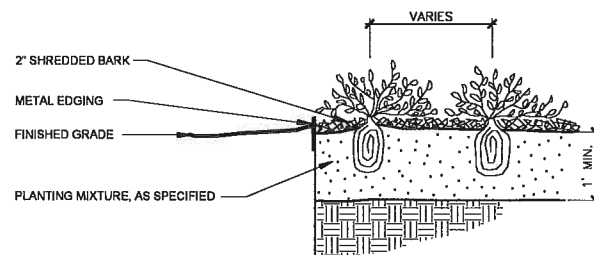


SHRUB PLANTING DETAIL

NOT TO SCALE

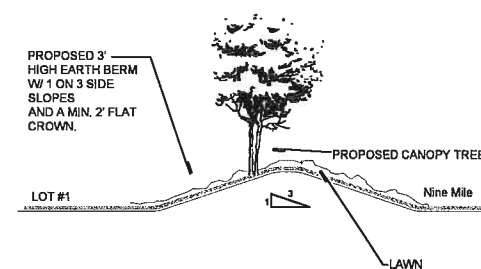
LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agrimor" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old "Baron/Cheridolph" Kentucky Blue Grass grown in a sod nursery on loam soil.



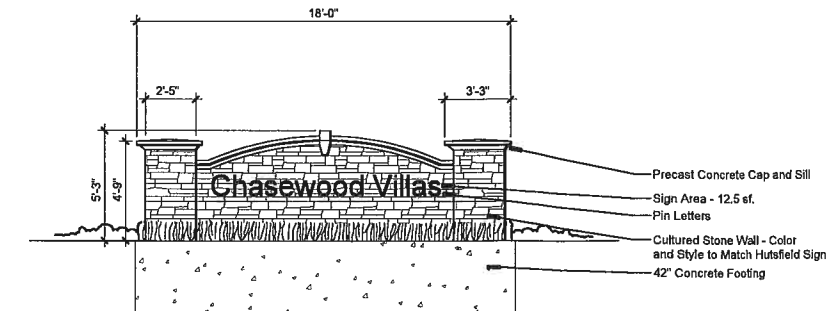
PERENNIAL PLANTING DETAIL

Not to scale



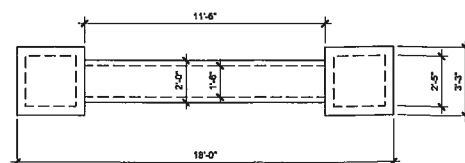
Berm Detail

HORIZONTAL SCALE: 1"=10'



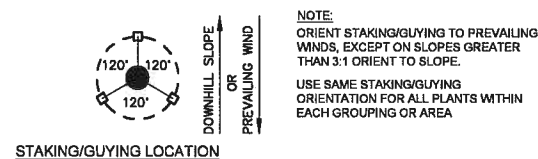
Sign Elevation

1/4" = 1'-0"



Sign Plan View

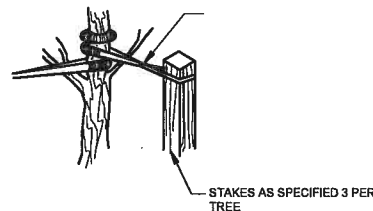
1/4" = 1'-0"



STAKING/GUYING LOCATION



GUYING DETAIL



STAKING DETAIL

TREE STAKING DETAIL

Not to scale