

**AGENDA**  
**PLANNING COMMISSION PUBLIC HEARING/REGULAR MEETING**  
**CITY OF FARMINGTON HILLS**  
**APRIL 18, 2024 @ 7:30 P.M.**  
**FARMINGTON HILLS CITY HALL – CITY COUNCIL CHAMBER**  
**31555 W. ELEVEN MILE ROAD, FARMINGTON HILLS, MICHIGAN 48336**  
Cable TV: Spectrum – Channel 203; AT&T – Channel 99  
YouTube Channel: <https://www.youtube.com/user/FHChannel8>  
[www.fhgov.com](http://www.fhgov.com) (248) 871-2540

1. Call Meeting to Order
2. Roll Call
3. Approval of Agenda
4. Public Hearing

**A. SPECIAL APPROVAL 52-3-2024**

LOCATION: 32680 Northwestern Highway  
PARCEL I.D.: 22-23-02-126-130  
PROPOSAL: Temporary concrete batch plant in B-2, Community Business and B-3, General Business zoning districts  
ACTION REQUESTED: Special Land Use and Site Plan approval  
APPLICANT: Florence Cement Company - Steve Gregor  
OWNER: NWH Holdings, LLC

**B. ZONING TEXT AMENDMENT 1, 2024**

CHAPTER OF CODE: 34, Zoning Ordinance  
PROPOSED AMENDMENT: Amend Zoning Ordinance to include new subsection addressing electronic messaging center area  
ACTION REQUESTED: Recommendation to City Council  
SECTION: 34-5.5.3.A.ix

**5. Regular Meeting**

**A. LOT SPLIT 1, 2024 (FINAL)**

LOCATION: 34037 Nine Mile Road  
PARCEL I.D.: 22-23-33-202-043  
PROPOSAL: Split one (1) parcel into two (2) parcels in RA-3, One Family Residential zoning district  
ACTION REQUESTED: Lot Split approval (final)  
APPLICANT: Eraldo Leba  
OWNER: Arlint Berber

**B. REZONING REQUEST ZR 3-3-2024**

LOCATION: West side of Middlebelt Road, just north of Astor Avenue  
PARCEL I.D.: 22-23-26-480-046  
PROPOSAL: Rezone one (1) parcel from P-1, Vehicular Parking to RA-4, One Family Residential zoning district  
ACTION REQUESTED: Set for Public Hearing  
APPLICANT: Rane Jappaya  
OWNER: 22595 Middlebelt, LLC

**C. REZONING REQUEST ZR 4-3-2024**

LOCATION: 27815 and 28025 Middlebelt Road; three (3) parcels on west side of Middlebelt Road, between Orion Court and Twelve Mile Road  
PARCEL I.D.: 22-23-11-477-013, 014, and 109  
PROPOSAL: Rezone three (3) parcels from RC-2, Multiple Family Residential to B-3, General Business zoning district  
ACTION REQUESTED: Set for Public Hearing  
APPLICANT: Skilken Gold Real Estate Development  
OWNER: HRA Farmington Hills, LLC

**D. PLANNED UNIT DEVELOPMENT (PUD) QUALIFICATION 1, 2024**

LOCATION: South side of Thirteen Mile Road, approximately 0.3 miles west of Middlebelt Road  
PARCEL I.D.: 22-23-11-201-001, 002, 004, 005, 006, 020, and 021  
PROPOSAL: Construction of ranch and townhomes in RA-1, One Family Residential zoning district  
ACTION REQUESTED: Qualification of PUD  
APPLICANT: Schafer Development, LLC  
OWNER: MOBI Investments, LLC, and Detroit Baptist Manor

**E. AMEND PUD 1, 2021, INCLUDING REVISED SITE PLAN 54-2-2021**

LOCATION: 31525 Twelve Mile Road  
PARCEL I.D.: 22-23-15-201-270  
PROPOSAL: Conversion of hotel building into independent living facility in ES, Expressway Service zoning district  
ACTION REQUESTED: Set for Public Hearing  
APPLICANT: Farmington Hills Real Estate, LLC  
OWNER: Farmington Hills Real Estate, LLC

**6. Approval of Minutes** [March 21, 2024, Special Meeting](#), and [March 21, 2024, Regular Meeting](#)

**7. Public Comment**

**8. Commissioner/Staff Comments**

**9. Adjournment**

**Respectfully Submitted,**

**Kristen Aspinall, Planning Commission Secretary**

**Staff Contact**

**Erik Perdonik, AICP**

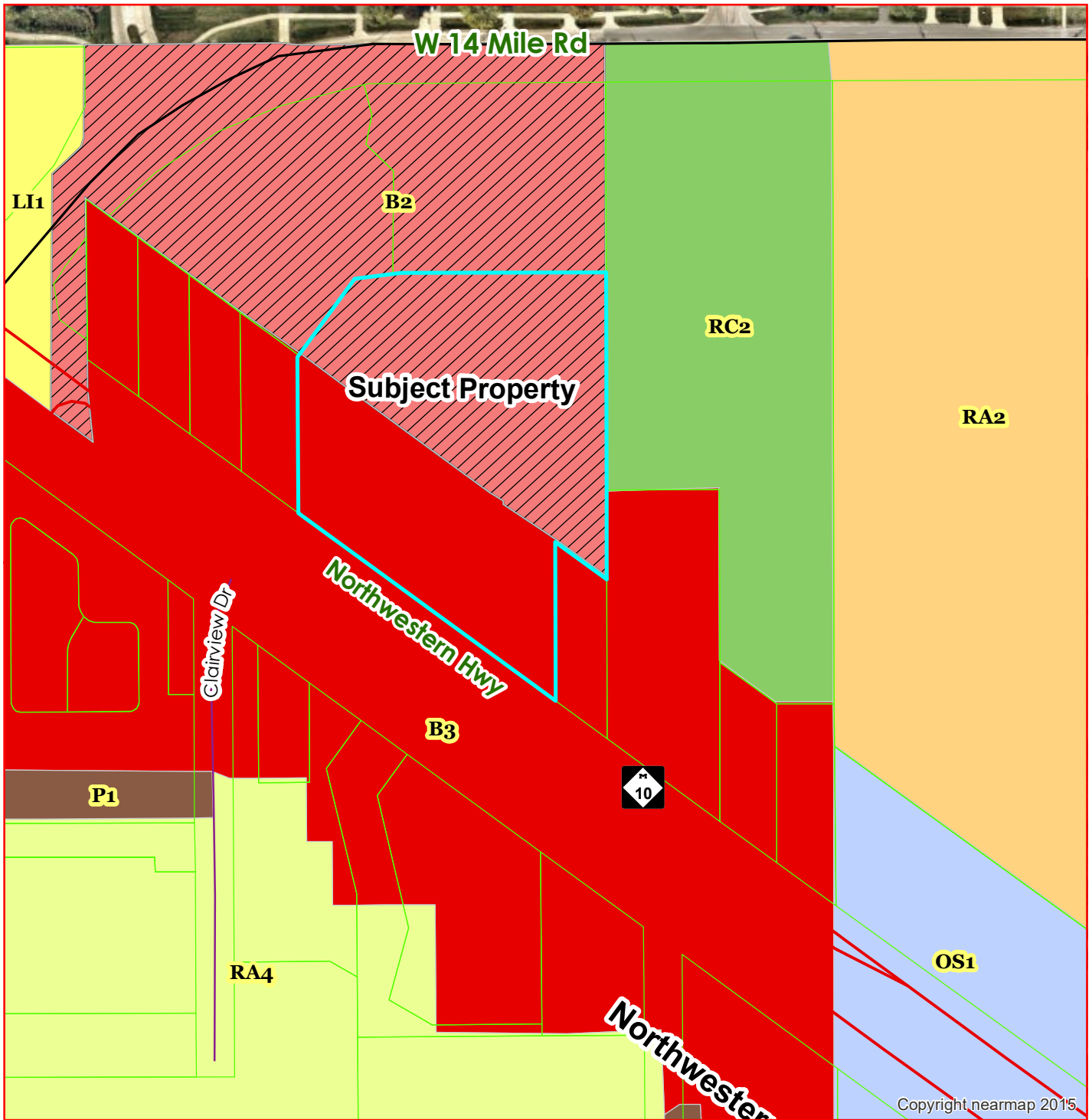
**City Planner, Planning and Community Development Department**

**(248) 871-2540**

**[eperdonik@fhgov.com](mailto:eperdonik@fhgov.com)**

NOTE: Anyone planning to attend the meeting who has need of special assistance under the Americans with Disabilities Act (ADA) is asked to contact the City Clerk's Office at (248) 871-2410 at least two (2) business days prior to the meeting, wherein arrangements/accommodations will be made. Thank you.

SA 52-3-2024  
 32680 Northwestern Hwy., B-2 & B-3  
 02-126-130, Temp Concrete Batch Plant



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Tax parcel	LI-1 Light Industrial District
Minor roads	OS-1 Office Service District
<b>Zoning Districts</b>	P-1 Vehicular Parking District
<b>Zoning Districts</b>	RA-2 One Family Residential District
B-2 Community Business District	RA-4 One Family Residential District
B-3 General Business District	RC-2 Multiple Family Residential

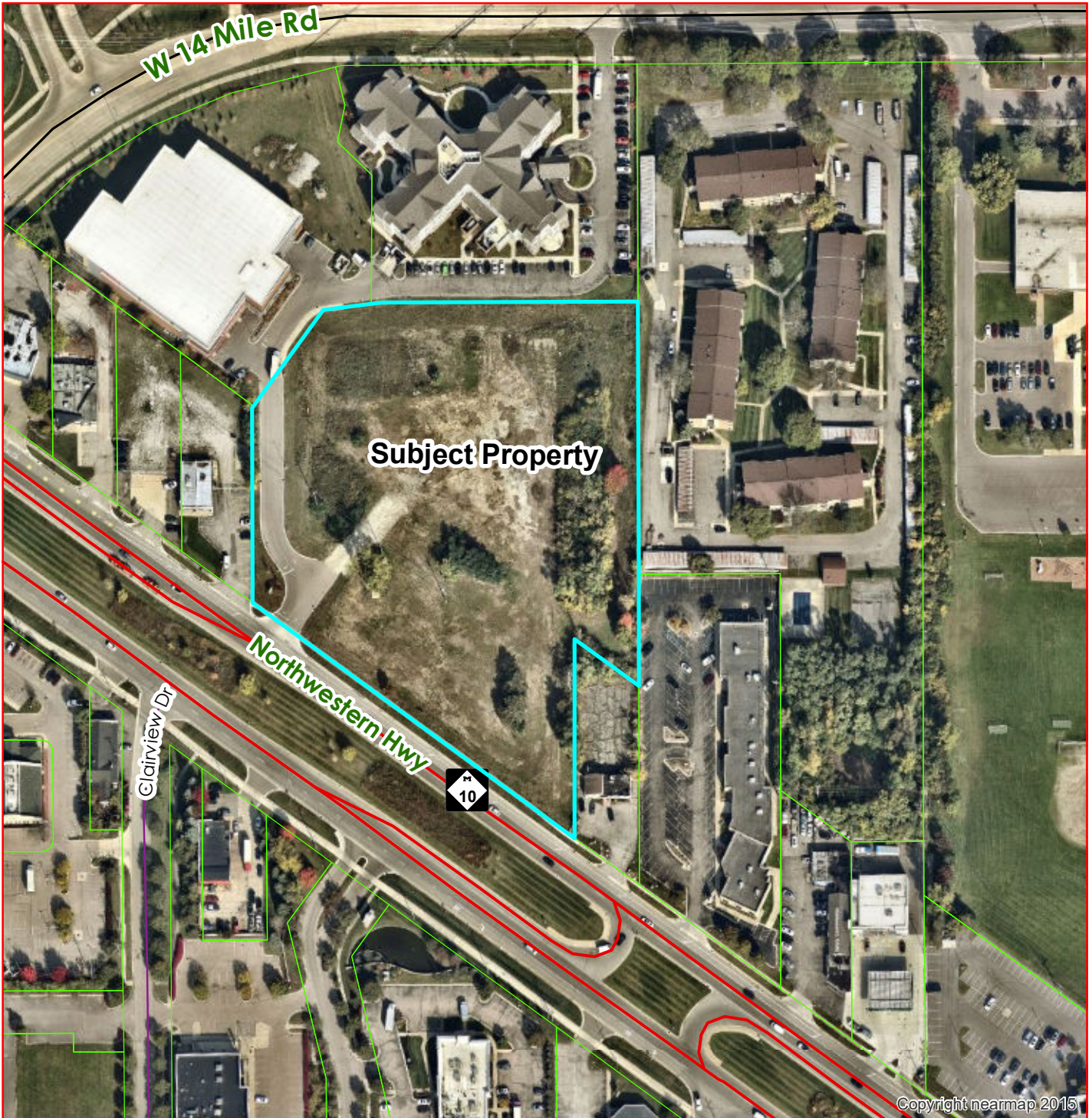
FEET

SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



SA 52-3-2024  
32680 Northwestern Hwy., B-2 & B-3  
02-126-130, Temp Concrete Batch Plant



**Planning Division**

- Tax parcel
- Minor roads



SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

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April 10, 2024

Farmington Hills Planning Commission  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

# Site Plan Review

Case: 52-3-2024  
Site: 32680 Northwestern Highway (Parcel 22-23-02-126-130)  
Applicant: Florence Cement Company/Steve Gregor  
Plan Date: 3/20/2024  
Zoning: B-2 Community Business and B-3 General Business (PUD approved for site)

Dear Planning Commissioners:

We have completed a review of the application for site plan and special land use approval above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



**SUMMARY OF FINDINGS**

**Project Summary**

The applicant is proposing a temporary concrete batch plant with up to 11 employees. The application specifies that the time frame for the batch plant will be 186 days or through October 18, 2024, whichever is sooner. The plant is being erected to support two subdivision projects, and there will be an estimated total of 17 paving days per subdivision during its term of operation. Turf restoration will occur by June 13, 2025 (though the cover letter notes that much of the work will occur by mid-November, 2024). Requested hours of operation are 7am to 7pm, Monday through Saturday, with no work on holidays. This applicant operated a plant at 23400 Drake in 2020 and 2021, and on this site in 2022.

**Summary of Issues**

1. **Provide setback distances.**

**Existing Conditions**

1. **Zoning.** The parcel is zoned B-2 Community Business and B-3 General Business.
2. **Existing site.** The site is 3 acres and vacant; a PUD for multi-family development has been approved here.
3. **Adjacent properties.**

Direction	Zoning	Land Use
North	B-2/w/PUD	Senior Housing Complex
East	RC-2	Multi-Family Housing
South	B-3	Commercial Development
West	B-2	Commercial Development

4. **Site configuration and access.** The site is accessible from Northwestern Highway.

**Site Plan & Use:**

1. **Dimensional Standards (B-2/B-3 districts).** **Setbacks to the equipment and enclosure are not provided** but appear to be met; minimum district setbacks are shown on the plan and the area used for the plant is within the buildable portion of the lot.

Standard	Required	Proposed
Front setback (B-3)	25 ft	Approx. 30 ft to enclosure, 100 ft to equipment
Rear Setback (B-2)	20 ft	Approx. 66 ft to enclosure, 180 ft to equipment
Side Setback (east) (B-2)	20 ft	Approx. 180 ft to enclosure, 250 ft to equipment
Side Setback (west) (B-3)	10 ft	Approx. 20 ft to enclosure, 156 ft to equipment
Building height	50 ft	25 ft

2. **Parking.** A parking area is identified on the plans at the northeast corner of the enclosure.
3. **Overall Circulation.** Circulation through the site is clockwise.
4. **Lighting (Section 34-5.16).** No lighting is proposed.

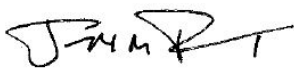
5. **Landscaping and trees.** The trees on site are proposed to be protected during operations. No landscaping is being proposed.
6. **Nature of equipment.** The applicant notes that a water truck will be used on the site to keep dust down.

### Special Approval

1. Conditions: In the B-2 and B-3 districts, cement batch plants are not specifically permitted; they are, however, permitted as a special land use under Section 4.20.4.C, subject to the following:
  - C. Temporary construction uses not accessory to existing uses. Temporary construction uses and structures not directly accessory to any existing use of the zoning lot, but necessary for the use or improvement of some other property or properties within the City for a permitted purpose.
    - i. The planning commission shall examine the proposed use and determine that the petitioner has adequately explored alternative locations and that the location proposed is the most reasonable.
    - ii. The planning commission shall examine the location of structures on the site and determine that they are the most appropriate, may require reasonable temporary screening of the activity proposed, may suggest the location of vehicular access to the site and make other recommendations which will assist in the protection of nearby uses during the time the construction use is in operation.
    - iii. All setbacks, land coverage, off-street parking, lighting and other requirements for protecting the public health, safety, peace, morals, comfort, convenience and general welfare of the inhabitants of the city shall be determined by the planning commission as being appropriate to the site and surrounding area.
    - iv. The act of granting approval of a use not otherwise permitted in a district shall in no way be construed as a change in the basic uses permitted in the district nor on the property wherein the use is permitted.
    - v. The granting of permission for the use shall be made in writing stipulating all conditions as to length of time, nature of developed permitted and arrangements for removing the use at the termination of the period of time granted.

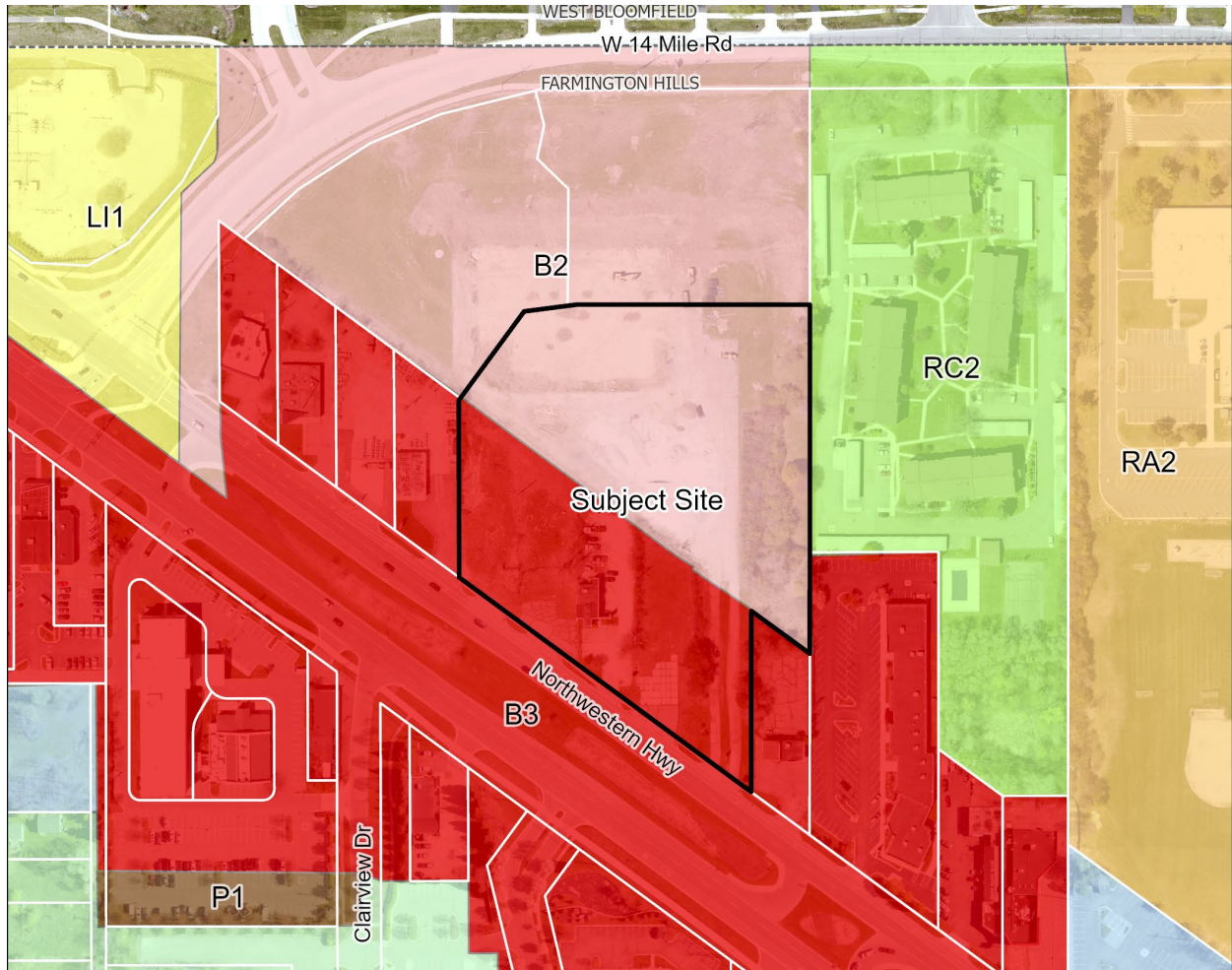
We are available to answer questions.

Respectfully,  
**Giffels Webster**



Joe Tangari, AICP  
Principal Planner








DEPARTMENT OF PUBLIC SERVICES  
JACOB RUSHLOW, P.E., DIRECTOR

### INTEROFFICE CORRESPONDENCE

**DATE:** April 8, 2024  
**TO:** Planning Commission  
**FROM:** James Cubera, Engineering   
**SUBJECT:** Concrete Batch Plan for Florence Cement  
32680 Northwestern  
SA #: 52-03-2024 PJ#: 2-24-69  
22-23-02-126-0130

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This office has performed a preliminary review of the above referenced site plan submitted to the Planning Department on March 20, 2024. Our comments are as follows:

1. We note that the proposed batch plant is to service the concrete road paving of Heritage Hills and Wedgewood Commons Phase IV being reconstructed by the City this year.
2. We note that this request identifies 17 days of use to be complete by October 18, 2024. We suggest that this approval be allowed until October 31, 2024, to address any inclement weather conditions that may occur.
3. We have no objection to this temporary use contingent on the following:
  - Concrete being manufactured will be exclusively for the City's Heritage Hills and Wedgewood Commons Phase II project.
  - The proponent shall not service outside users or other projects from this location.
  - Prior to concrete manufacturing, an acceptable ingress and egress plan must be provided to and approved by the City engineering staff. It must identify an acceptable route along public roads for construction traffic coming to and leaving the batch plant as well as traveling to the construction site (of Heritage Hills and Wedgewood Commons Phase IV) and returning from the construction site.



**INTEROFFICE CORRESPONDENCE**

**DATE:** April 3, 2024  
**TO:** Planning Commission  
**FROM:** Jason Baloga, Fire Marshal  
**SUBJECT:** Special Approval 52-3-2024 (32680 Northwestern Hwy.)

The Fire Department has no objection to recommending approval of the plan as submitted contingent upon compliance with the following requirements:

1. During construction and operation, site access shall be maintained; roadways capable of supporting fire apparatus up to Twenty-five (25) tons shall be provided.
2. An address shall be posted at the main entrance in accordance with Chapter 12 of the City Code Sec. 12-12 (3).
3. Above Storage Tank (AST) shall be installed according to the International Fire Code 2015 (IFC) and National Fire Protection Association (NFPA) requirements.
4. Protection from vehicle damage shall be provided for the AST. Jersey barriers or guard posts are acceptable. Please provide cut sheets of tank indicating secondary containment. AST shall be placarded to indicate the product it contains.
5. A fire extinguisher no smaller than 2-A:20-B:C shall be provided near the fueling area.

Jason Baloga, Fire Marshal

JB/al





March 20, 2024

City of Farmington Hills  
3155 W. Eleven Road  
Farmington Hills, MI 48336

Attn: Planning Department

Re: ITB-FH-23-24-2432  
Proj: Heritage Hills & Westwood Commons Subdivision Phase IV  
FCC#: 24006  
Subj: Temporary Concern Batch Plant Request

Planning Commission:

Florence Cement Company (FCC) respectfully request permission to erect and operation a temporary concrete batch plant within the City of Farmington Hills. Concrete produced from this facility will be solely use for our concrete paving project for the City of Farmington Hills, specifically Heritage Hills & Westwood Commons Subdivision Phase IV. Our batch plants are permitted through Michigan Department of Environment, Great Lakes, and Energy (EGLE) Air Quality Division. FCC will operate within all city ordinances. Hours of operation are Monday – Saturday, 7am to 7pm.

Parameter associated with the Heritage Hills & Westwood contract include the following;

- Duration for work is 186 calendar days or October 18, 2024, whichever is sooner.
- All work is scheduled to be completed this year, except for turf restoration.
- Turf Restoration completion is June 13, 2025
- No work is to occur on Sundays and legal holidays
- Total paving days are estimated to be 17 each – essentially two days per phase, 8 phases

Upon completion of our concrete paving operation, FCC would remove our batch plant and cleanup the site. Requirements by the land owner includes restoration by spreading topsoil and placing seed & mulch on the entire area. This would occur before end of this year's construction season, typically November 15, 2024.

It should be noted that FCC has operated a temporary batch plant within the City limits in past years, Specifically at this location in 2022. There has been minimal, if not zero, incidences within that duration.

Florence Cement Company appreciates the opportunity presented by the City of Farmington Hills. It's our goal to be able to continue to work for the City of Farmington Hills This can only be achieved by working respectful of the city and its residences. I am confident our past work record is proof of our commitment to be a good steward of the City of Farmington Hills.

Sincerely,  
FLORENCE CEMENT COMPANY

A handwritten signature in blue ink, appearing to read "Steve Gregor", is written over a faint, larger version of the signature.

Steve Gregor  
Director of Concrete Operations

51515 CORRIDOR • SHELBY TWP MI • 48315 TEL. 586.997.2666 • FAX. 586.997.3966

PAVEMENT PROVIDERS

## Placement of Temporary Batch Plant Agreement

On this 15<sup>th</sup> day of April, 2024 ("**Effective Date**"), NWH Holdings, LLC ("**NWH**"), hereby grants an exclusive temporary easement to Florence Cement Company ("**FCC**"), to place and operate a temporary concrete batch plant on NWH's real property commonly identified as 32680 Northwestern Highway, Farmington Hills, MI, Tax Parcel No. \_\_\_\_\_ ("**NWH Parcel**") pursuant to the terms and conditions hereinafter set forth ("**Easement Grant**"):

- 1. Term:** This Easement Grant shall commence on Effective Date, and run through November 15, 2024 ("**Easement Term**"). The Easement Term may be extended on a month-to-month basis following the expiration of the Easement Term, at the same monthly fee, if so agreed by the parties in writing reached prior to each requested monthly extension. To be clear, NWH may have other needs for NWH Parcel, and consequently reserves the right to restrict the Easement Grant not to exceed the Easement Term, as herein defined.
- 2. Consideration:** In consideration for the Easement Grant, FCC agrees to pay to NWH the sum of \$35,000 simultaneously with the execution of this Agreement, the receipted sufficiency of which is hereby acknowledged by NWH, as payment for entire seven (7) months of the Easement Term, calculated at the rate of \$5,000 per month; which is the monthly rate to be paid by FCC in the event of a month-to-month extension of the Easement Term, if applicable.
- 3. Indemnity:** FCC shall indemnify and save harmless NWH from and against any and all liabilities, damages, penalties or judgments, any and all actions, suits, proceedings, claims, demands, assessments, costs and expenses, including, without limitation, reasonable legal fees and expenses, incurred in enforcing this indemnity ("**Losses**"), arising from injury to person or property sustained by anyone in and about the NWH Parcel resulting from any act or omission of FCC, its employees, and/or its Business Invitees using NWH Parcel. FCC shall, at its own cost and expense, defend any and all suits or actions, just or unjust, with legal counsel approved by the NWH, which may be brought against the NWH or in which NWH may be impleaded with others upon any such above-mentioned matter, claim or claims, except for those arising from the affirmative acts, omissions, bad faith or negligence of NWH or the affirmative acts, omissions, bad faith or negligence of NWH. For purposes set forth herein, the term "NWH Parcel" shall be defined to include the access drive that provides access to and from NWH Parcel with Northwestern Highway ("**Access Drive**").
- 4. Insurance:** FCC, at its own expense, shall be required to procure and maintain in full force and effect i) a policy or policies of commercial general liability insurance (including contractual liability coverage) against any liability or claim for personal liability, wrongful death, property damage or liability for which such party is responsible under this Agreement or under the Laws, with financially responsible insurers authorized to transact business in the State of Michigan with a commercially reasonable combined single limit of not less than \$2,000,000.00 per occurrence; and ii) workers compensation insurance covering FCC's employees while working on NWH Parcel pursuant to Easement Grant. FCC will furnish the NWH with a Certificate of Insurance, issued by FCC's insurance carrier, naming NWH as 'additionally insured' and providing NWH with 30 days' notice of cancellation.
- 5. Access Drive:** FCC shall be responsible to maintain and restore any excess wear and tear that its operating equipment may cause to Access Drive during Easement Term. Understanding that FCC's right to use Access Drive is not an exclusive right, but rather one shared with other users, FCC agrees not to materially interfere with the rights of third parties and the


public to use of Access Drive, including their right of ingress and egress from and to Northwestern Highway.

6. **Governmental Compliance:** FCC acknowledges and agrees that its use of Easement Grant is subject at all times to the rules and regulations of the City of Farmington Hills. In the event that FCC's use of Easement Grant violates any such rule or regulation, resulting in fines, penalties and/or termination of FCC's rights granted under this Agreement, FCC shall hold NWH harmless therefrom; and shall relinquish and waive any right to demand a refund of any advanced fees paid for the Easement Grant rights herein afforded to FCC.

7. **Maintenance/Restoration:** FCC acknowledges that it assumes possession of NWH Parcel in its existing condition, which is in compliance with applicable governmental authorities. FCC will undertake its business operations on NWH Parcel in compliance with the terms any controlling document issued by and/or requirements of the City of Farmington Hills, authorizing such use; and FCC acknowledges that it is not relying upon any representation made by or required of NWH as a condition precedent to FCC's execution of this Agreement and payment of the down payment fee to NWH. Upon the termination of Easement Term, FCC shall restore the NWH Parcel to its condition existing as of Effective Date, including, without limitation, any required grading, seeding and/or such other restoration as may be required to achieve compliance with rules and regulations of applicable governmental authorities.

Entered into on Effective Date:

**NWH HOLDINGS, LLC**

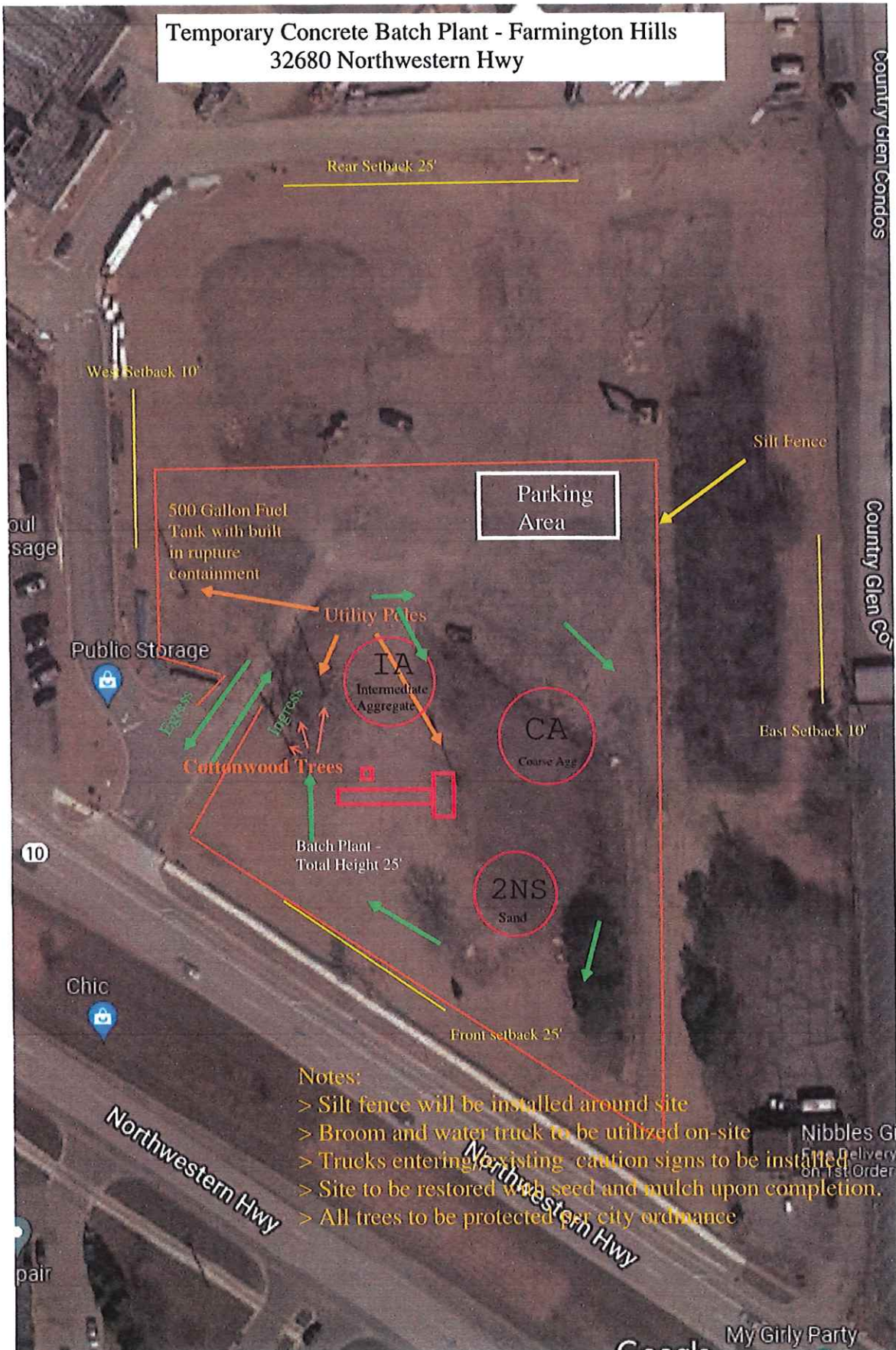
  
By: Robert J. Asmar  
Its: Managing Member 3/12/2024

**FLORENCE CEMENT COMPANY**

  
By: Doreen Lanni  
Its: President



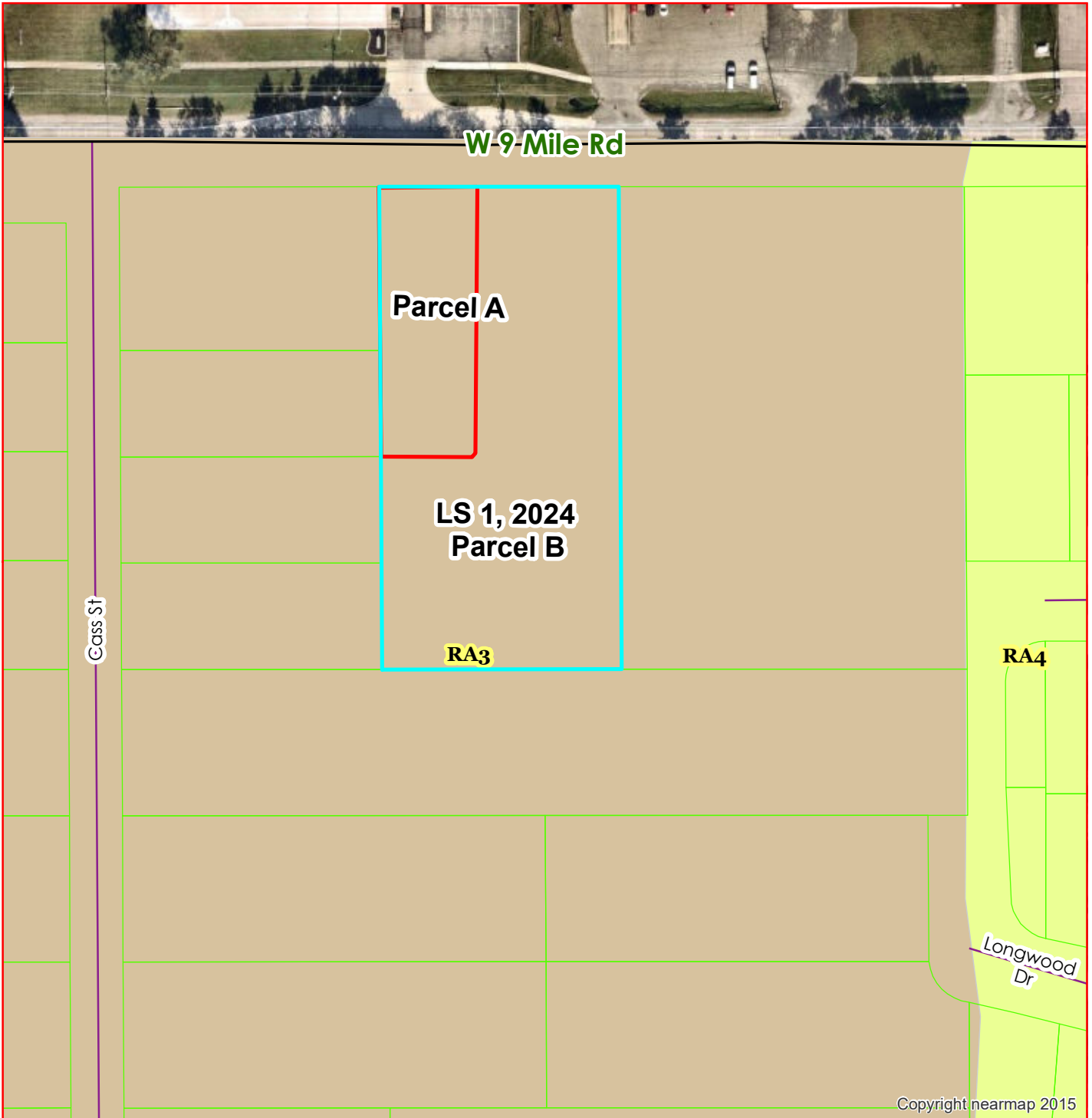
**Temporary Concrete Batch Plant - Farmington Hills  
32680 Northwestern Hwy**



**Notes:**

- > Silt fence will be installed around site
- > Broom and water truck to be utilized on-site
- > Trucks entering/exiting - caution signs to be installed
- > Site to be restored with seed and mulch upon completion.
- > All trees to be protected per city ordinance

**Lot Split 1, 2024, One parcel into two in RA-3  
34037 Nine Mile Rd., 33-202-043**



□ Tax parcel  
— Minor roads

**Zoning Districts**

**Zoning Districts**

■ RA-3 One Family Residential District  
■ RA-4 One Family Residential District

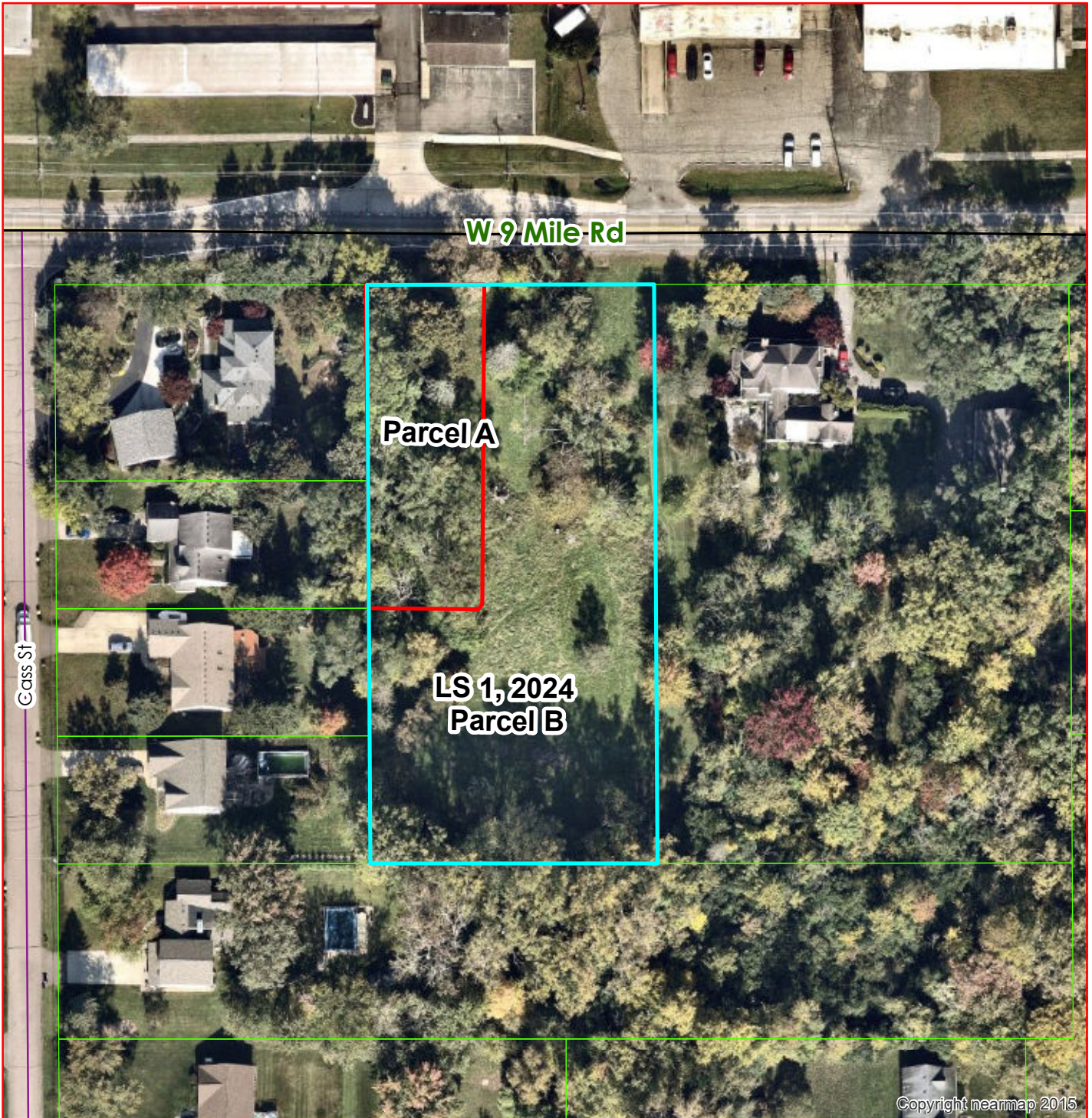


SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

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**Lot Split 1, 2024, One parcel into two in RA-3  
34037 Nine Mile Rd., 33-202-043**



**Planning Division**



- Tax parcel
- Minor roads

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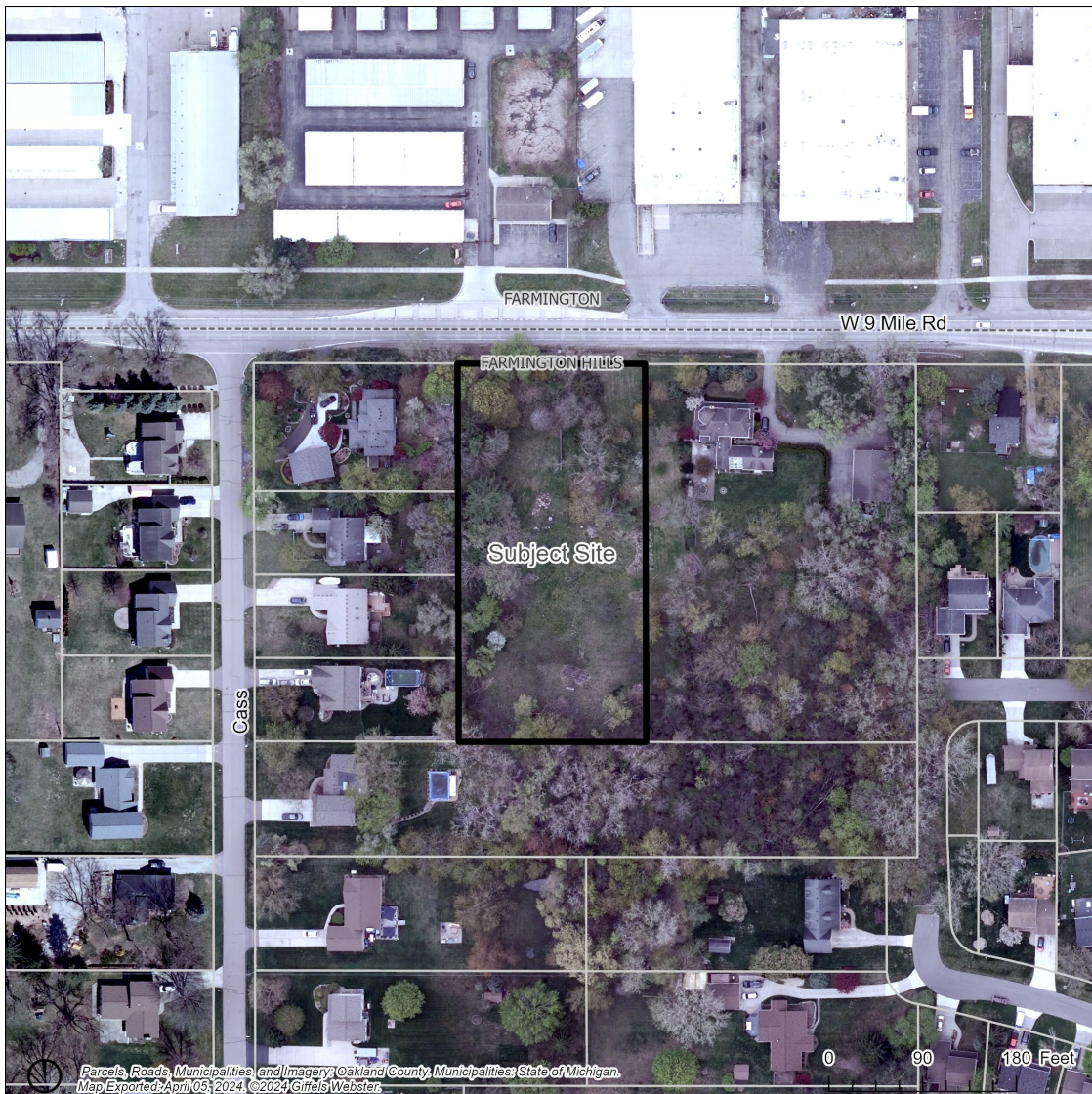


April 10, 2024  
 Farmington Hills Planning and Community Development Department  
 31555 W 11 Mile Rd  
 Farmington Hills, MI 48336

## Lot Split Review

Case: Lot Split 1, 2024  
 Site: 34037 Nine Mile Road (Parcel ID 22-23-33-202-043)  
 Applicant: Arlint Berberi  
 Plan Date: February 29, 2024 (received March 14, 2024)  
 Zoning: RA-3

We have completed a review of the application for a lot split referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.





## SUMMARY OF FINDINGS

### Existing Conditions

- Zoning.** The total site is 1.5 acres and zoned RA-3 One Family Residential (12,500 square feet).
- Existing site.** The property is vacant.
- Adjacent Properties.**

Direction	Zoning	Land Use
North	IND	Industrial
East	RA-3	Single-Family
South	RA-3	Single-Family
West	RA-3	Single-Family

### Site Plan & Use:

- Summary of proposed split.** The split will result in two parcels:

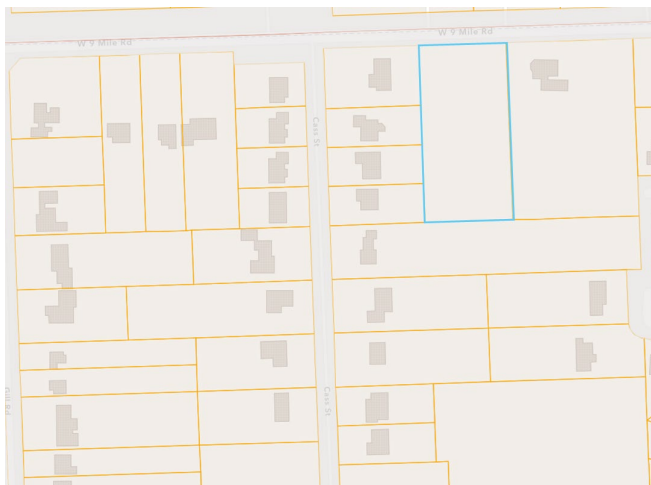
Parcel	Frontage	Size
Parcel A	80 ft on W. Nine Mile Rd.	16,240 sq ft (0.373 acres)
Parcel B	100 ft on W. Nine Mile Rd.	49,092 sq ft (1.127 acres)

- Site configuration and access.** The site has frontage on West Nine Mile Road
- Dimensional standards.**

Standard	Required	Proposed
Min Lot Size	10,000 sq ft/12,500 avg	16,240 sq ft and 49,092 sq ft
Min Lot Width	80 ft	80 ft and 100 ft
Depth-to-width ratio	4-to-1	2.5:1 and 3.63:1

- Subdivision of Land Ordinance §27-110(2)(e), Compatibility with Existing Parcels.** To assure that the public health, safety, and welfare will be served by the permission of any partition or division of land the planning commission's review shall be in accordance with the following standards:

- If any parcel does not meet zoning ordinance requirements, the request shall be denied by the planning commission. *The parcels meet the standards of the ordinance.*
- Any partition or division shall be of such location, size and character that, in general, it will be compatible with the existing development in the area in which it is situated. *The parcels will*

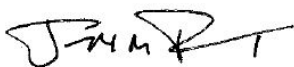


*both have frontage on W. Nine Mile Road. Parcels in this area have a fairly wide variety of sizes, proportions, and widths. The split will create a rear-to-side relationship between the parcel to the south and both parcels A and B. In addition, it will create a rear-to-side relationship between parcel A and the four adjacent parcels to the west. This is similar to the arrangement of lots one block west along W. Nine Mile Rd. between Cass and Gill Rd. (see graphic). The primary difference in configuration between the proposed lots and other lots in the area is the relative flag shape of Parcel B.*

- c. The planning commission shall give consideration to the following:
1. The conformity of the resultant parcels with zoning ordinance standards and the creation of parcels compatible with surrounding lands as to area, width, and width-to-depth ratio. *As noted above, parcels in this area have a variety of configurations and sizes; this arrangement is not atypical of block-end arrangements here. Although Parcel B is flag-shaped, the majority of the lot has frontage on W. Nine Mile Road. Parcel B is deeper than other lots in the neighborhood, but the lot depth is comparable with those that also have frontage on W. Nine Mile Road. The proposed split will result in lot widths for both parcels that are more consistent with surrounding lots. Parcel A is similar in area to other lots in the neighborhood with frontage on Cass St. or Gill Rd., while Parcel B is more similar in area with other lots that have frontage on W. Nine Mile Road.*
  2. The orientation of the yards of proposed parcels in relationship to the yards of surrounding parcels in order to avoid incompatible relationships, such as but not limited to, front yards to rear yards. *It does not appear that the proposed division will result in an incompatible relationship with surrounding parcels; this is not atypical of other lots with W. Nine Mile Rd. frontage in this neighborhood and will not create any front-to-rear yard relationships.*
  3. The impact of any existing flood plains, wetlands, topography, or other natural features and physical conditions on the resulting parcels so that such parcels are compatible with other surrounding lands in terms of buildable area. *The EGLE wetlands map indicates this site is impacted by hydric soils. Additional delineation of wetlands, including hydric soils, may be required prior to the issuance of any building permits for this site.*
  4. The relationship of the front, side, and rear yards to the yards and orientation of buildings on other existing and potential parcels. This shall include the probable orientation of buildings on the parcels resulting from the proposed division or partition. *Parcel B is deeper than other lots in the neighborhood, but the lot depth is comparable with those that also have frontage on W. Nine Mile Road. The proposed split will result in lot widths for both parcels that are more consistent with surrounding lots. The requested split will also result in the creation of a flag-shaped lot.*

We are available to answer questions.

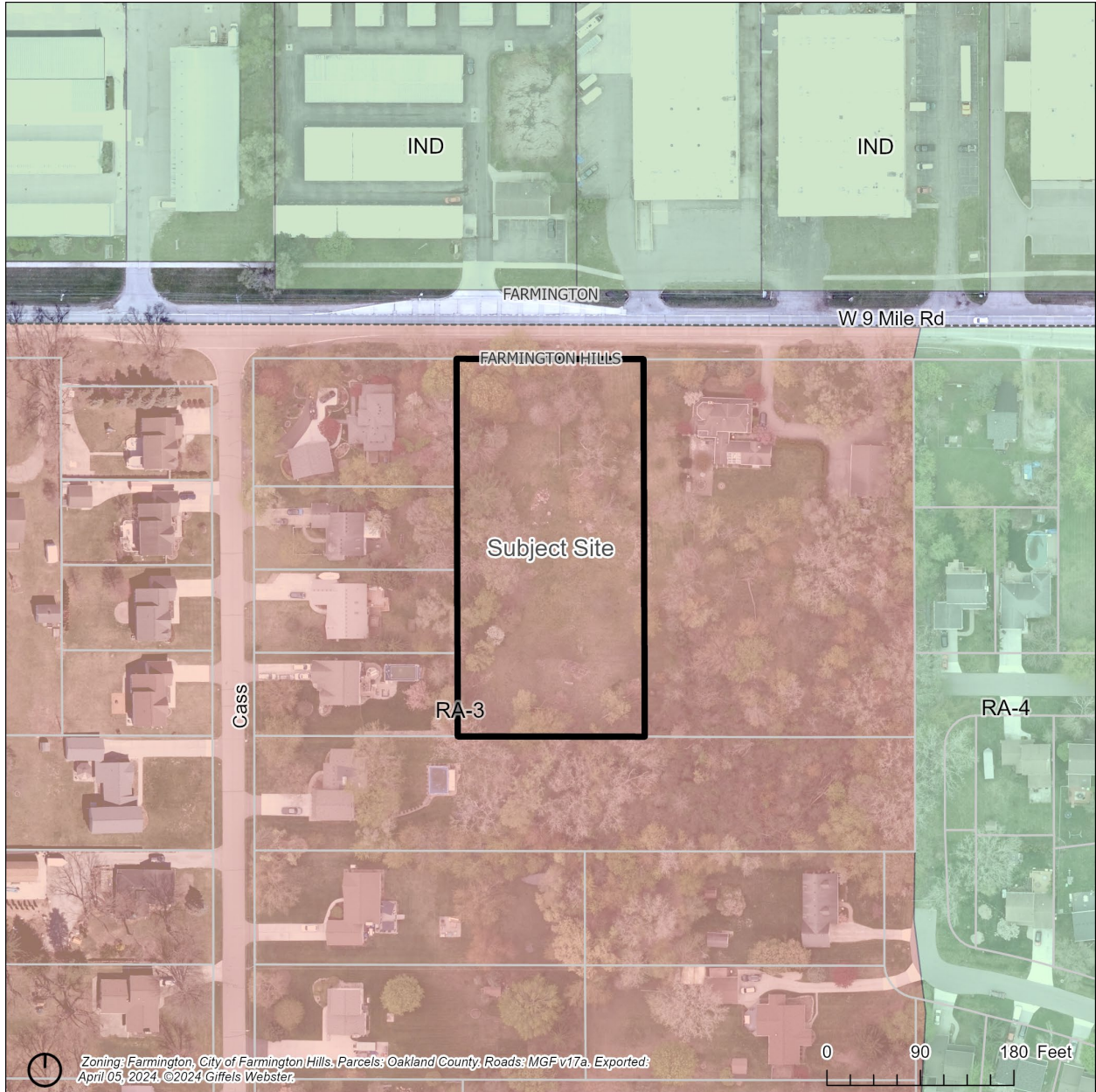
Respectfully,  
**Giffels Webster**



Joe Tangari, AICP  
Principal Planner



Julia Upfal, AICP  
Senior Planner



Zoning










DEPARTMENT OF PUBLIC SERVICES  
JACOB RUSHLOW P.E., DIRECTOR

## INTEROFFICE CORRESPONDENCE

**DATE:** April 8, 2024  
**TO:** Planning Commission  
**FROM:** James Cubera, Engineering   
**SUBJECT:** Lot Split 1-2024  
34037 9 Mile  
22-23-33-202-043

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This office has performed a preliminary review of the above referenced lot split plan submitted to the Planning Department on May 16, 2021. The plan must meet the requirements of the Section 27 of the City Code (Section C-11-99) which became effective on January 3, 2000. Note that under section 27-121-2c-1, a signed approval of the Engineering Division indicating compliance of section 27-110, Paragraph 2 (H) is necessary. With this in mind, our preliminary comments are as follows:

1. A 12-inch water main exists on the south side of 9 mile across the frontage of the parent parcel. It is available for service.
2. An 8-inch sanitary sewer exists on the south side of Nine Mile Road across the frontage of the parent parcel. The proponent will be obligated as part of the split to provide service leads to the new property line for each of the resultant parcels. If an existing lead is available, it will be considered. Note that the existing public sewer is shallow and with resultant parcel B dropping off in grade, slab service and basement gravity service may not be feasible. The proponent may wish to explore extending public sewer from Cass Avenue at the south end. This would necessitate offsite easements.
3. All resultant parcels have access to a public road. It is suggested that in accordance with access management practices they be obligated to share a driveway.

4. A five-foot-wide concrete sidewalk will be required along the 9 Mile Road frontage of the parent parcel. It shall be placed such that the south walk line is one foot north of the ultimate 60-foot right-of-way line.
5. The ultimate right-of-way on 9 Mile Road is 120 feet, with that being 60 feet both north and south of the center line. The existing ROW is 66 feet as part of this split, the proponent will be obligated to dedicate an additional 27 feet in order to conform with the ultimate 60 feet on the south side of 9 Mile Road.
6. The proponent will be obligated to provide a master grading plan for review and approval for all the resultant parcels prior to construction.



**FIRE**  
**FARMINGTON**  
**HILLS**



**INTEROFFICE CORRESPONDENCE**

**TO: Planning Commission**

**FROM: Jason Baloga, Fire Marshal**

**DATE: March 22, 2024**

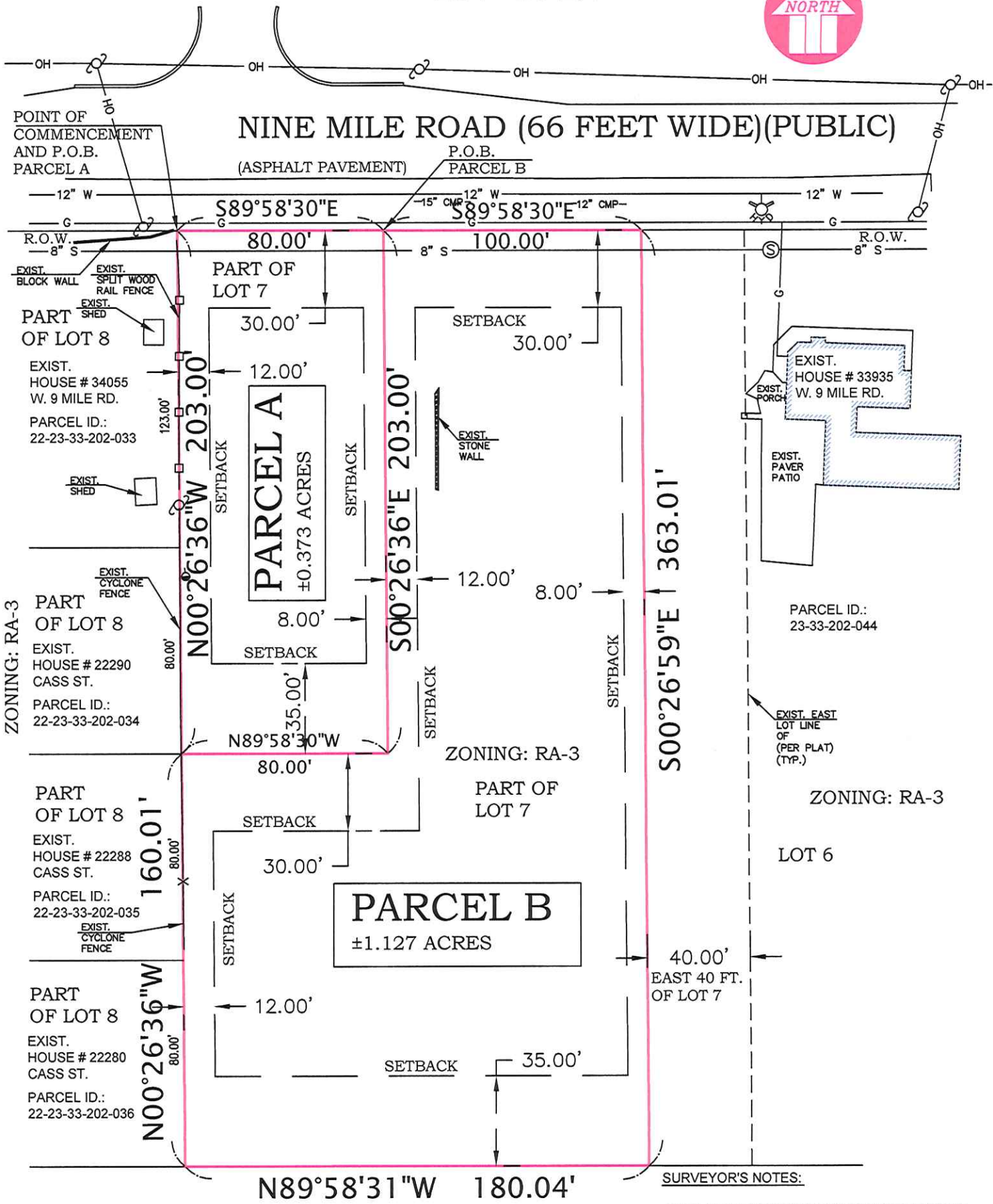
**RE: Lot Split 1-2024, 34037 Nine Mile**

The Fire Department has no objection to approval of this lot split.

A handwritten signature in blue ink, appearing to read 'Jason Baloga'.

Jason Baloga, Fire Marshal

# LOT SPLIT



**PARCEL A**  
±0.373 ACRES

**PARCEL B**  
±1.127 ACRES

**LOT 50**  
EXIST. HOUSE # 22268 CASS ST. PARCEL ID.: 22-23-33-202-005  
ZONING: RA-3

**LOT 6**  
EXIST. HOUSE # 33935 W. 9 MILE RD. PARCEL ID.: 23-33-202-044  
ZONING: RA-3

**LOT 7**  
PART OF LOT 7

**LOT 8**  
PART OF LOT 8  
EXIST. HOUSE # 34055 W. 9 MILE RD. PARCEL ID.: 22-23-33-202-033  
EXIST. HOUSE # 22290 CASS ST. PARCEL ID.: 22-23-33-202-034  
EXIST. HOUSE # 22288 CASS ST. PARCEL ID.: 22-23-33-202-035  
EXIST. HOUSE # 22280 CASS ST. PARCEL ID.: 22-23-33-202-036

**SURVEYOR'S NOTES:**  
SINCE OUR SURVEY WORK DOES NOT INCLUDE A TITLE SEARCH AT TIME OF SURVEY, THERE MAY BE EASEMENT AND/OR ENCUMBRANCES UPON THE LAND WHICH ARE NOT SHOWN ON OUR SURVEY AT THIS TIME.

- LEGEND OF SYMBOLS & ABBREVIATIONS**
- (M) FIELD MEASUREMENT
  - (R) RECORDED MEASUREMENT (PER PLAT)
  - R.O.W. RIGHT-OF-WAY
  - BOUNDARY LINE
  - ⊙ UTILITY POLE
  - ⊙ GUY WIRE
  - OH — OVERHEAD ELECTRIC LINES
  - 12" W — WATER
  - G — GAS
  - S — SANITARY SEWER
  - ⊙ SANITARY SEWER MANHOLE

Received

MAR 14 2024

City of Farmington Hills  
Planning Dept.



	<b>ACCURATE SURVEYING AND MAPPING</b>	<b>CLIENT: ARLINT BERBERI</b>	<b>DATE: 02-29-2024</b>	
	LAND SURVEYORS DEVELOPMENT CONSULTANTS		FILE NO. 024-102	
	19500 Middlebelt Road, Suite 340E Livonia, MI 48152 www.accurate-surveying.com	PH: 313-506-3160 PH: 734-437-7740 Fax: 734-437-7759	SCALE 1 INCH = 50 FEET	JOB NO. 024-102
				SHEET 1 OF 2



**PROPERTY DESCRIPTION**  
**(AS PROVIDED BY CLIENT)**

# LOT SPLIT

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, AND MORE PARTICULARLY DESCRIBED AS:

LOT 7 EXCEPT THE EAST 40 FEET, "SUPERVISOR'S PLAT NO. 15" OF PART OF THE NE. 1/4, SECTION 33, T. 1 N., R. 9 E., FARMINGTON TOWNSHIP, OAKLAND COUNTY, MICHIGAN. AS RECORDED IN LIBER 67 OF PLATS, PAGE 2, OAKLAND COUNTY RECORDS.  
CONTAINING 1.50 ACRES.  
SUBJECT TO EASEMENTS & RESTRICTIONS OF RECORDS, IN ANY.

MORE COMMONLY KNOWN AS:  
34037 W. 9 MILE ROAD,  
CITY OF FARMINGTON HILLS,  
OAKLAND COUNTY, MICHIGAN 48335

PROPERTY TAX ID. No.: 22-23-33-202-043

SUBJECT TO THE EXISTING BUILDING AND USE RESTRICTIONS, EASEMENTS, AND ZONING ORDINANCES, OF RECORDS, IF ANY.

**PARCEL A**

**LEGAL DESCRIPTION:**

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, AND MORE PARTICULARLY DESCRIBED AS:

PART OF LOT 7 OF "SUPERVISOR'S PLAT NO. 15" OF PART OF THE NORTHEAST 1/4 OF SECTION 33, TOWN 1 NORTH, RANGE 9 EAST, FARMINGTON TOWNSHIP (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 67 OF PLATS ON PAGE 2 OF THE OAKLAND COUNTY RECORDS.

COMMENCING AND BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 7;  
THENCE S 89°58'30" E ALONG THE NORTH LINE OF SAID LOT 7, BEING THE SOUTH 33 FEET RIGHT-OF-WAY LINE OF NINE MILE ROAD (66 FEET WIDE) (ASPHALT PAVEMENT), A DISTANCE OF 80.00 FEET;  
THENCE S 00°26'36" E, A DISTANCE OF 203.00 FEET;  
THENCE N 89°58'30" W, A DISTANCE OF 80.00 FEET TO THE WEST LINE OF SAID LOT 7;  
THENCE N 00°26'36" W ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 203.00 FEET TO THE POINT OF BEGINNING OF PARCEL A.

CONTAINING ±0.373 ACRES.  
SUBJECT TO THE EXISTING BUILDING AND USE RESTRICTIONS, EASEMENTS, RIGHT-OF-WAYS, AND ZONING ORDINANCES, OF RECORDS, IF ANY.

**PARCEL B**

**LEGAL DESCRIPTION:**

THE FOLLOWING DESCRIBED PREMISES SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, AND STATE OF MICHIGAN, AND MORE PARTICULARLY DESCRIBED AS:

PART OF LOT 7 OF "SUPERVISOR'S PLAT NO. 15" OF PART OF THE NORTHEAST 1/4 OF SECTION 33, TOWN 1 NORTH, RANGE 9 EAST, FARMINGTON TOWNSHIP (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 67 OF PLATS ON PAGE 2 OF THE OAKLAND COUNTY RECORDS.

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 7;  
THENCE S 89°58'30" E ALONG THE NORTH LINE OF SAID LOT 7, BEING THE SOUTH 33 FEET RIGHT-OF-WAY LINE OF NINE MILE ROAD (66 FEET WIDE) (ASPHALT PAVEMENT), A DISTANCE OF 80.00 FEET TO THE POINT OF BEGINNING OF PARCEL B;  
THENCE S 89°58'30" E ALONG THE NORTH LINE OF SAID LOT 7, BEING THE SOUTH 33 FEET RIGHT-OF-WAY LINE OF NINE MILE ROAD (66 FEET WIDE) (ASPHALT PAVEMENT), A DISTANCE OF 100.00 FEET;  
THENCE S 00°26'59" E, A DISTANCE OF 363.01 FEET TO THE NORTH LINE OF LOT 50 OF SAID "SUPERVISOR'S PLAT NO. 15";  
THENCE N 89°58'31" W ALONG THE NORTH LINE OF LOT 50 OF SAID "SUPERVISOR'S PLAT NO. 15", A DISTANCE OF 180.04 FEET TO THE WEST LINE OF SAID LOT 7,  
THENCE N 00°26'36" W ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 160.01 FEET;  
THENCE S 89°58'30" E, A DISTANCE OF 80.00 FEET;  
THENCE N 00°26'36" W, A DISTANCE OF 203.00 FEET TO THE POINT OF BEGINNING OF PARCEL B.

CONTAINING ±1.127 ACRES.  
SUBJECT TO THE EXISTING BUILDING AND USE RESTRICTIONS, EASEMENTS, RIGHT-OF-WAYS, AND ZONING ORDINANCES, OF RECORDS, IF ANY.



**ACCURATE SURVEYING AND MAPPING**

LAND SURVEYORS  
DEVELOPMENT CONSULTANTS

19500 Middlebelt Road, Suite 340E  
Livonia, MI 48152  
www.accurate-surveying.com

PH: 313-506-3160  
PH: 734-437-7740  
Fax: 734-437-7759

CLIENT: ARLINT BERBERI

DATE: 02-29-2024

50 0 25 50



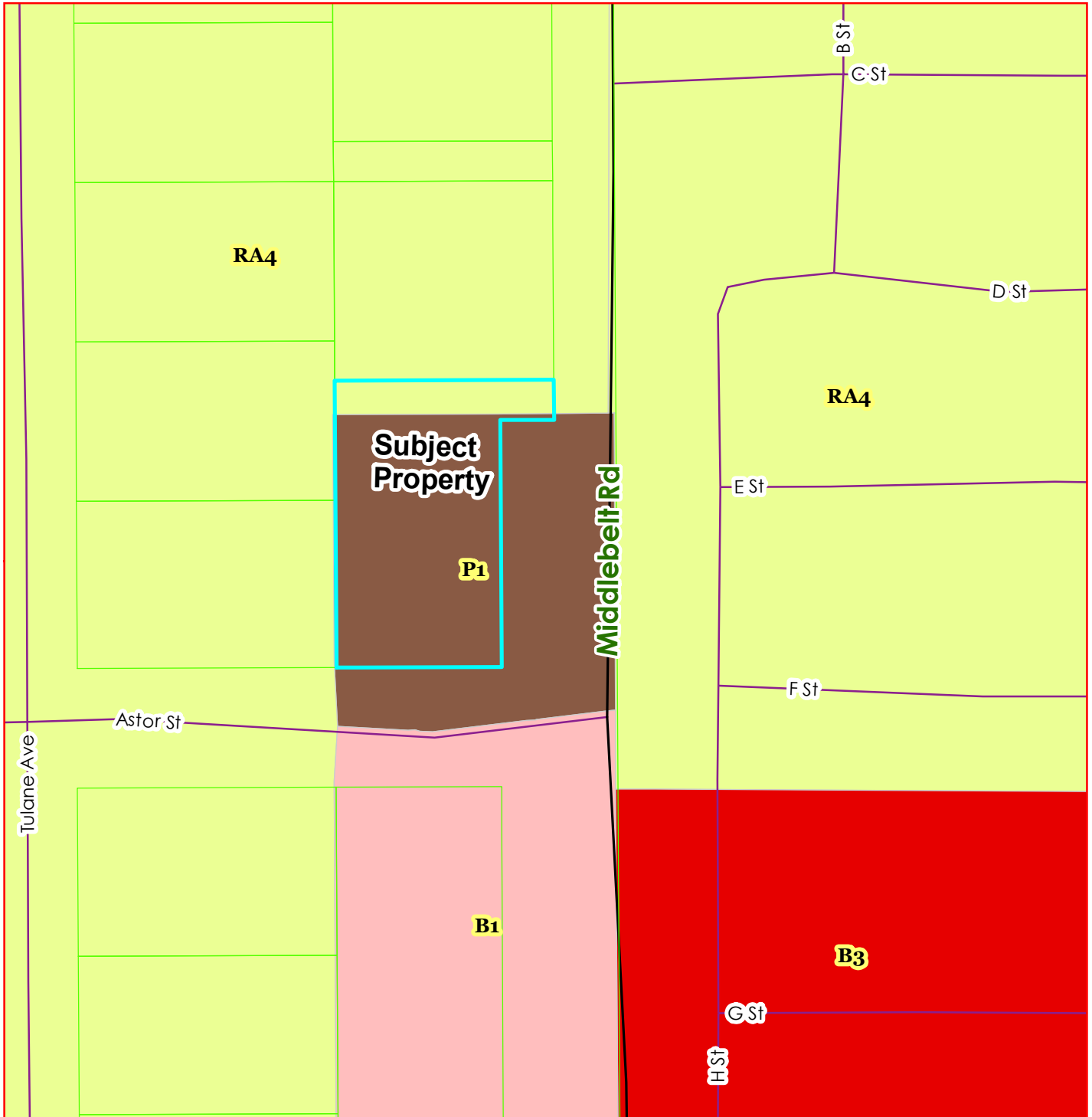
SCALE 1 INCH = 50 FEET

FILE NO. 024-102

JOB NO. 024-102

SHEET 2 OF 2

**ZR 3-3-2024, W. side of Middlebelt Rd., just N. of Astor Ave.  
26-480-046  
Rezone from P-1 to RA-4**



<ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; border: 1px solid green; margin-right: 5px;"></span> Tax parcel</li> <li><span style="display: inline-block; width: 15px; border-bottom: 1px solid purple; margin-right: 5px;"></span> Minor roads</li> </ul>	<p><b>Zoning Districts</b></p> <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #800000; margin-right: 5px;"></span> P-1 Vehicular Parking District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #90EE90; margin-right: 5px;"></span> RA-4 One Family Residential District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FFB6C1; margin-right: 5px;"></span> B-1 Local Business District</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: #FF0000; margin-right: 5px;"></span> B-3 General Business District</li> </ul>
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SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

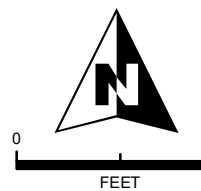
DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



ZR 3-3-2024, W. side of Middlebelt Rd., just N. pf Astor Ave.  
26-480-046  
Rezone from P-1 to RA-4



Planning Division



- Tax parcel
- Minor roads

SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



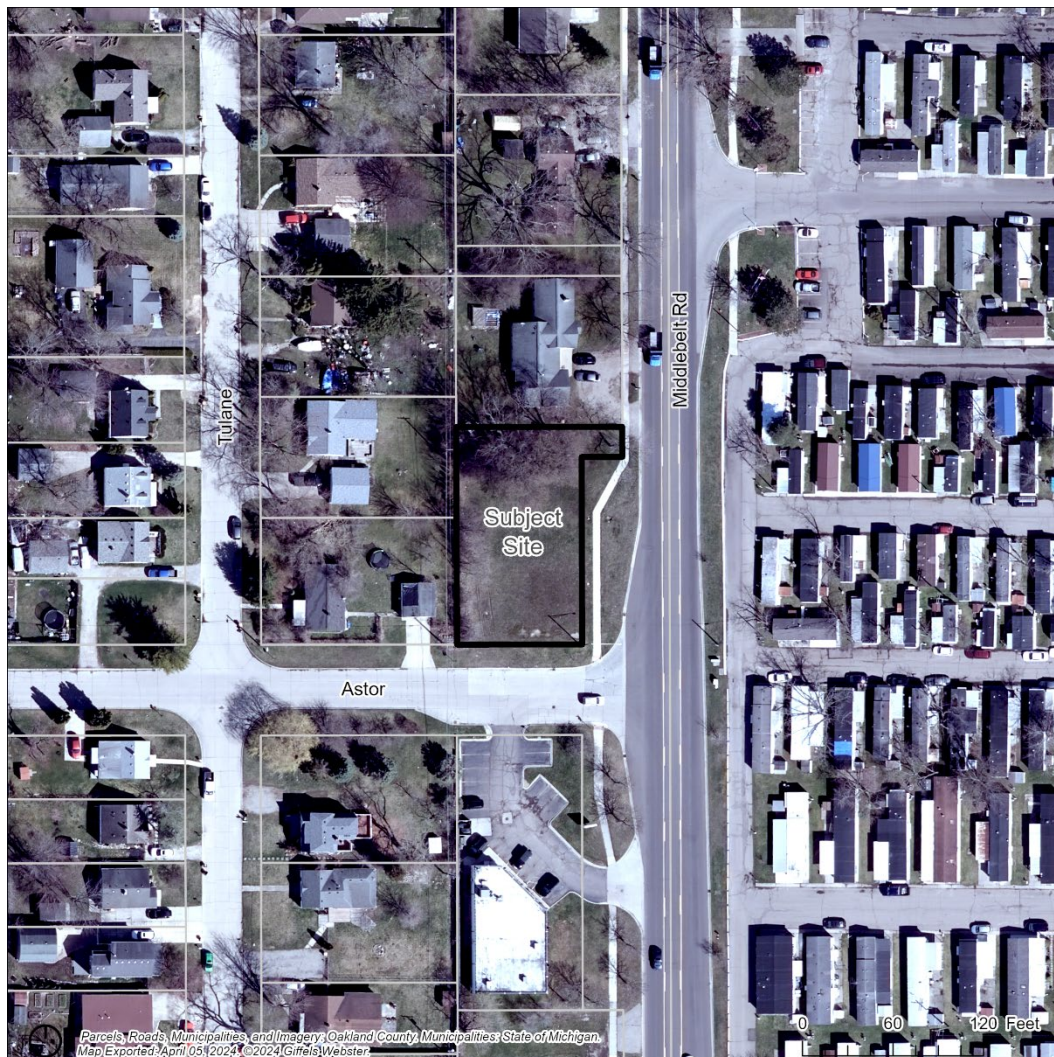
April 10, 2024

Planning Commission  
City of Farmington Hills  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

# Rezoning Review

Case: ZR 3-3-2024  
Site: Middlebelt and Astor (23-26-480-046)  
Applicant: Rane Jappaya  
Plan Date: Received March 18, 2024  
Request: Rezone from P-1 to RA-4 for Residential use (duplex)

We have completed a review of the request for rezoning referenced above and a summary of our findings is below.





**SUMMARY OF FINDINGS**

**Existing Conditions**

- Zoning.** The subject property is 0.29 acres and currently split-zoned, with the vast majority of the site zoned P-1 Vehicular Parking District, and a small 20' x 110' area along the northern boundary zoned RA-4. It is located on the west side of Middlebelt Road, at the corner of Astor St.
- Existing Development.** The site is presently vacant. There is a sidewalk along the Middlebelt frontage.
- Adjacent Properties.** Zoning and use of adjacent properties is as follows:

Direction	Zoning	Land Use	Future Land Use Category
North	RA-4	Residential	Single Family Residential
East (across Middlebelt)	RA-4	Mobile Home Park	Multiple Family Residential
South (across Astor)	B-1	Convenience Store	Shopping Center Type Business
West	RA-4	Residential	Single Family Residential



4. **Master Plan.** This land is primarily designated Shopping Center Type Business on the Future Land Use Map, with the 20’x110’ portion on the northern end of the site designated as Single-Family Residential. The 2009 Master Plan describes uses permitted in Shopping Center Type Business as those that are compatible with each other in the shopping center environment and that have the least impact beyond the buildings. The Zoning Plan aligns this district with areas zoned B-1, B-2, and B-4.
5. **Residential Densities Map.** The residential densities map designates this area as medium density residential, which is compared with RA-3 and RA-4 residential zoning districts.
6. **Special Planning Areas.** The parcel is not a part of any of the Special Planning Areas in the Master Plan

**Proposed Zoning Versus Current Zoning**

The subject property is split zoned, but Primarily P-1 Vehicular Parking District, with only a small 20’ x 110’ area zoned RA-4 along the Northern boundary. The applicant is requesting to rezone the entire lot to RA-4 to permit a residential/duplex use. Duplexes are not listed as permitted uses in the P-1 Vehicular Parking District. A duplex may be constructed in the RA-4 District under the major road frontage option outlined in Section 34-3.18.

Standard	P-1 District	RA-4 District	Existing
Front Setback	Since the P-1 District only permits vehicular parking, no dimensional requirements are provided for structures (except for attendants’ shelters).	25 ft	No present structure on site.
Rear Setback		35 ft	
Street Side Setback		25 ft	
Side Setback (west)		5 ft	
Max Height		25 ft	
Lot Coverage		35%	
Min. Lot Size		8,500 SF	12,496.15
Min. Lot Width		60 Ft.	83 ft.

**Items to Consider for Zoning Map Amendment**

1. Is the proposed zoning consistent with the Master Plan?

*The Master Plan primarily designates this site as Shopping Center Type Business, which is inconsistent with the proposed rezoning. The parcels abutting the site to the south are also Shopping Center Type Business. The abutting parcels to the north and west are designated as single-family, shown on the residential densities map as “medium density.” These neighboring parcels are consistent with RA-4 Zoning.*

2. What other impact would the requested zoning have on public services, utilities, and natural features?

*Portions of the site where only vehicular parking uses were permitted will accommodate single-family and two-family residential uses, consistent with the RA-4 Zoning Designation. This will not have a significant impact on public services or utilities. The EGLE wetlands map designates this area as having “hydric soils.” No emergent wetlands are present in the area.*

3. Has the Applicant provided evidence that the property cannot be developed or used as zoned?

*There has not been evidence provided that would inhibit this site from being developed with a P-1 use, though demand for such a use in this location should also be considered.*

4. Is the proposed zoning district (and potential land uses) compatible with surrounding uses?

*The site is compatible with the neighboring RA-4 uses. In addition, if zoned RA-4, this site would be compatible with the neighboring B-1 parcel to the south, as the ordinance states that the intent of the B-1 District is to meet the day-to-day convenience shopping and service needs of persons residing in nearby residential areas.*

5. Will the proposed zoning place a burden on nearby thoroughfares? If so, how would this burden compare with the existing zoning district?

*As an undeveloped corner lot, a new curb cut may result in minor traffic conflicts. However, if developed as a P-1 use (parking lot), a curb cut would also be needed.*

6. Is there other land currently available for this use?

*With several listings on Zillow, there are other opportunities to construct single-family homes on vacant land in Farmington Hills. There is, however, limited land where the major thoroughfare option would be available.*

7. Will development of the site under proposed zoning be able to meet zoning district requirements?

*It appears that the site could be developed in accordance with the standards of the RA-4 district.*

8. Is rezoning the best way to address the request or could the existing zoning district be amended to add the proposed use as a permitted or special land use?

*A change to allow residential in the P-1 District would be inconsistent with the stated intent of the district, which is to accommodate off-street parking for those nonresidential uses which are not able to provide adequate space within their own district boundaries. The RA-4 district is one of two (with RA-3) where the major thoroughfare option is available.*

9. Has there been a change in circumstances and conditions since adoption of the Master Plan that would support the proposed change?

*Development in the immediate area has not changed in a substantial way since the adoption of the last master plan.*

10. Would granting the request result in the creation of an unplanned spot zone? Spot zoning is the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of a single property owner and to the detriment of others (*Rogers v. Village of Tarrytown*, 96 N.E. 2d 731). Typically, to determine if a rezoning would constitute spot zoning a municipality would look to answer three questions.

- Is the rezoning request consistent with the Master Plan for the area?

*The Master Plan for the area designates this land as Shopping Center Type Business, which is not consistent with the rezoning request. However, the Planning Commission may consider the parcel's proximity to adjacent lots proposed for Single-Family (Medium Density) residential.*

- Is the proposed zoning district a logical extension of an existing zoning district in the area?

*This rezoning is consistent with most surrounding zoning.*

- Would approving the request grant a special benefit to a property owner or developer?

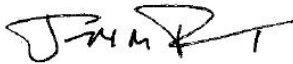


*The rezoning would permit the use of the full property for residential use, consistent with the majority of residential properties in the area.*

For reference, we have included the lists of permitted and special land uses in both districts at the end of this letter.

We look forward to discussing our review at the next Planning Commission meeting.

Sincerely,  
**Giffels Webster**



Joe Tangari, AICP  
Principal Planner



Julia Upfal, AICP  
Senior Planner



**Future Land Uses**

## RA-4 District Uses

### Permitted Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Site-built, one-family detached dwelling units
- ii. Farms § 34-4.1
- iii. Neighborhood parks
- iv. Manufactured one-family detached dwelling units § 34-4.6
- v. The following uses are permitted subject to the special conditions in Section 34-3.6
  - a. Public, parochial or private elementary intermediate or secondary schools offering courses in general education § 34-4.2
  - b. Golf courses, not including driving ranges or miniature golf courses § 34-4.3
  - c. Churches § 34-4.4
  - d. Nursery schools, day nurseries, and day care centers § 34-4.5
  - e. Municipal buildings and uses not including any outdoor storage
  - f. Publicly owned and operated libraries, community wide parks and recreational facilities
  - g. Accessory buildings and uses customarily incidental to any principal permitted use.

### Special Land Uses:

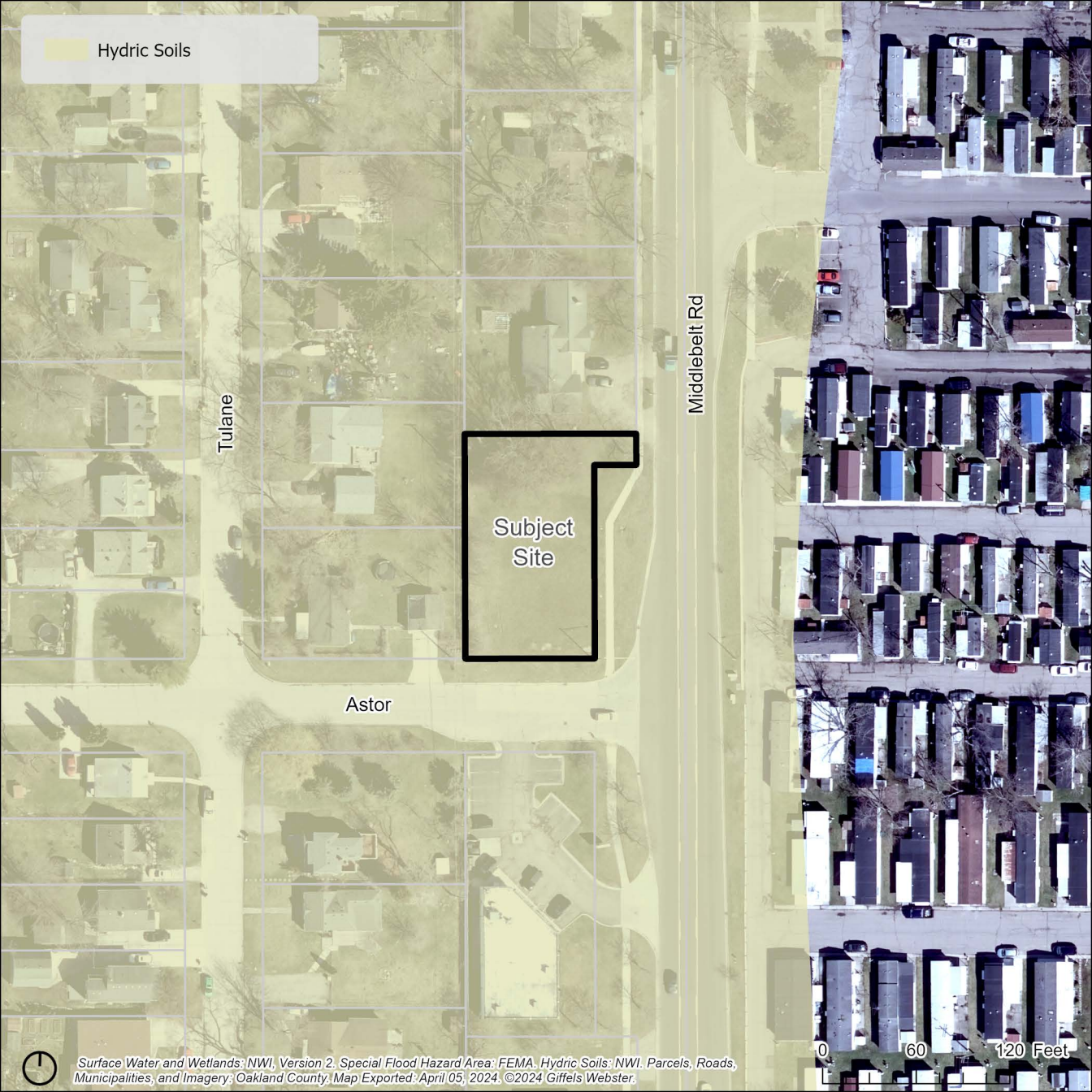
The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Public utility buildings, telephone exchange buildings, electric transformer stations and substations, and gas regulator stations § 34-4.8
- ii. Private noncommercial recreational areas, institutional or community recreation centers, a nonprofit swimming pool club § 34-4.9
- iii. Colleges, universities and other such institutions of higher learning, public and private § 34-4.10

### Accessory Uses:

- i. Electrical vehicle infrastructure § 34-4.55
- ii. Private swimming pools § 34-4.11
- iii. Private stables 34-4.12
- iv. Retail sale of farm goods § 34-4.13
- v. Commercial vehicles § 34-4.14
- vi. Home occupations § 34-4.15
- vii. State-licensed day care homes § 34-4.16

Hydric Soils



Tulane

Subject Site

Middlebelt Rd

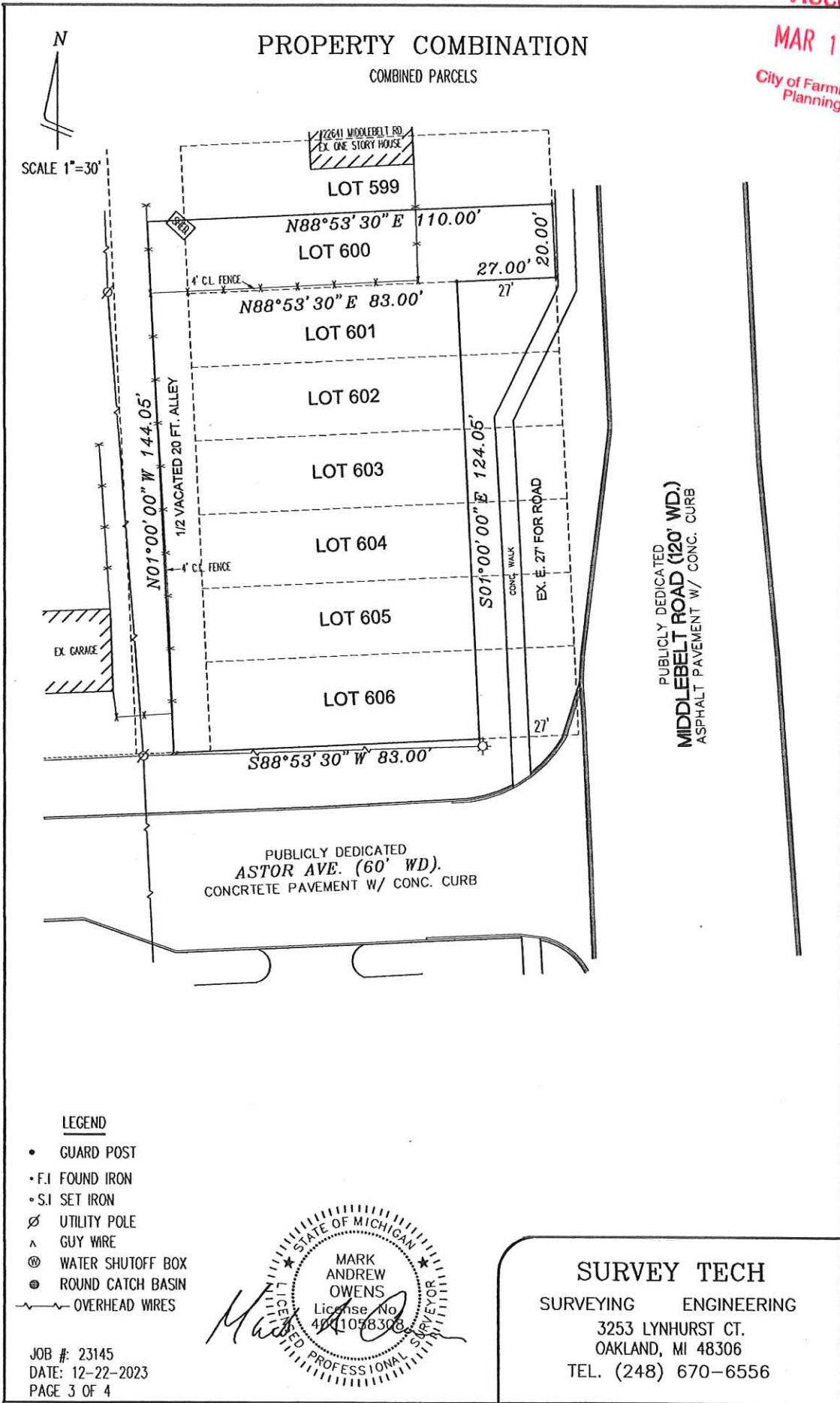
Astor

0 60 120 Feet





Received  
 MAR 18 2024  
 City of Farmington Hills  
 Planning Dept.



**LEGEND**

- GUARD POST
- F.I FOUND IRON
- S.I SET IRON
- ⊗ UTILITY POLE
- ^ GUY WIRE
- ⊙ WATER SHUTOFF BOX
- ⊙ ROUND CATCH BASIN
- OVERHEAD WIRES

STATE OF MICHIGAN  
 MARK ANDREW OWENS  
 License No. 4811038308  
 LICENSED PROFESSIONAL SURVEYOR

**SURVEY TECH**  
 SURVEYING ENGINEERING  
 3253 LYNHURST CT.  
 OAKLAND, MI 48306  
 TEL. (248) 670-6556

Received  
MAR 18 2024  
City of Farmington Hills  
Planning Dept.

PROPERTY DESCRIPTION

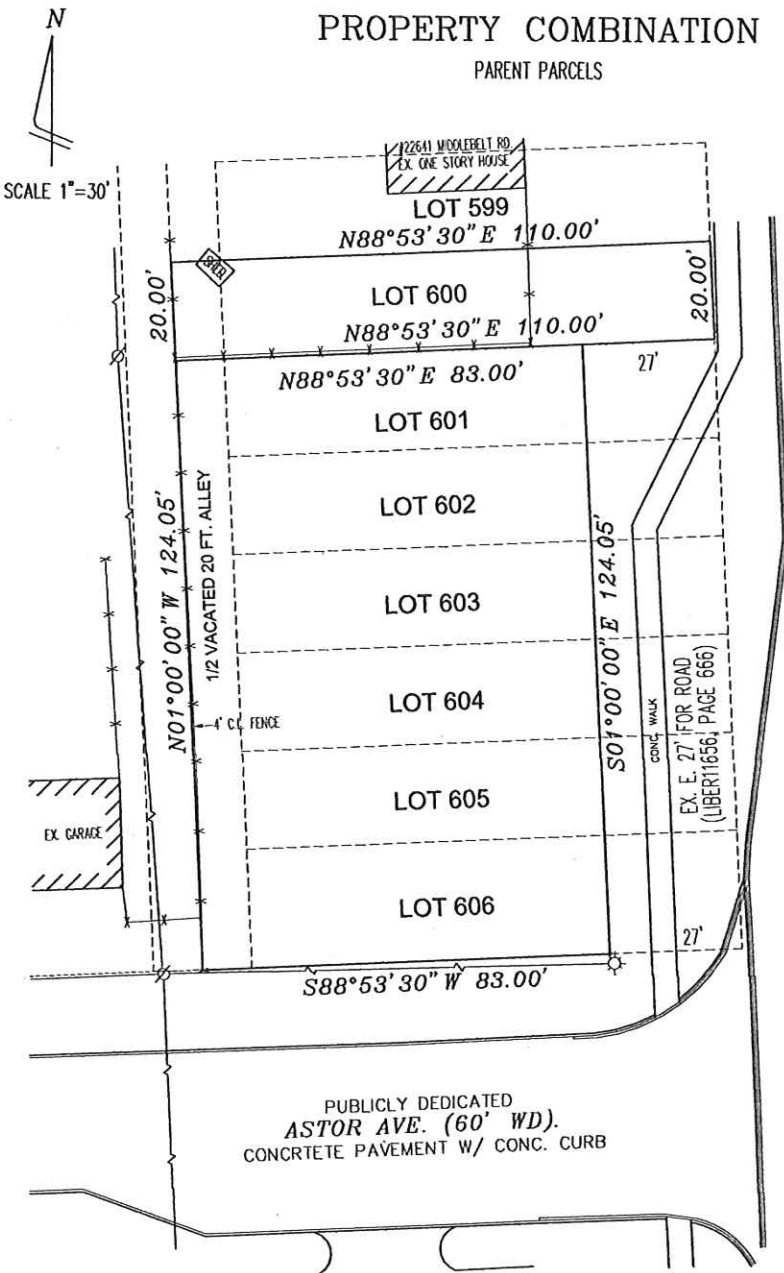
LOTS 601 THROUGH 606 INCLUSIVE, INCLUDING THE  $\frac{1}{2}$  VACATED ADJACENT ALLEY, EXCEPT THE EAST 27 FEET THEREOF TAKEN FOR ROAD ALSO LOT 600 INCLUDING THE  $\frac{1}{2}$  VACATED ADJACENT ALLEY "WADDELL-WILCOX-RYMEAL-COMPANY'S KEMBERTON PARK SUBDIVISION", OF E.  $\frac{1}{2}$  OF SE  $\frac{1}{4}$  OF SEC. 26, T.1N., R.9E., FARMINGTON TWP. (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 36 OF PLATS, PAGE 37 OF OAKLAND COUNTY RECORDS.

JOB #: 23145  
DATE: 12-22-2023  
PAGE 4 OF 4

**SURVEY TECH**  
SURVEYING      ENGINEERING  
3253 LYNHURST CT.  
OAKLAND, MI 48306  
TEL. (248) 670-6556

PROPERTY COMBINATION  
PARENT PARCELS

Received  
MAR 18 2024  
City of Farmington Hills  
Planning Dept.



PUBLICLY DEDICATED  
MIDDLEBELT ROAD (120' WD.)  
ASPHALT PAVEMENT W/ CONC. CURB

LEGEND

- GUARD POST
- F.I FOUND IRON
- S.I SET IRON
- ⊗ UTILITY POLE
- ^ GUY WIRE
- ⊕ WATER SHUTOFF BOX
- ⊙ ROUND CATCH BASIN
- OVERHEAD WIRES

JOB #: 23145  
DATE: 12-22-2023  
PAGE 1 OF 4



**SURVEY TECH**  
SURVEYING ENGINEERING  
3253 LYNHURST CT.  
OAKLAND, MI 48306  
TEL. (248) 670-6556



Received

MAR 18 2024

City of Farmington Hills  
Planning Dept.

PROPERTY DESCRIPTION

PARCEL A:

LOTS 601 THROUGH 606 INCLUSIVE, INCLUDING THE  $\frac{1}{2}$  VACATED ADJACENT ALLEY, EXCEPT THE EAST 27 FEET THEREOF TAKEN FOR ROAD "WADDELL-WILCOX-RYMEAL-COMPANY'S KEMBERTON PARK SUBDIVISION", OF E.  $\frac{1}{2}$  OF SE  $\frac{1}{4}$  OF SEC. 26, T.1N., R.9E., FARMINGTON TWP. (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 36 OF PLATS, PAGE 37 OF OAKLAND COUNTY RECORDS.

PARCEL NO.: 23-26-480-038

PARCEL B:

LOT 600 INCLUDING THE  $\frac{1}{2}$  OF THE VACATED ADJACENT ALLEY "WADDELL-WILCOX-RYMEAL-COMPANY'S KEMBERTON PARK SUBDIVISION", OF E.  $\frac{1}{2}$  OF SE  $\frac{1}{4}$  OF SEC. 26, T.1N., R.9E., FARMINGTON TWP. (NOW CITY OF FARMINGTON HILLS), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 36 OF PLATS, PAGE 37 OF OAKLAND COUNTY RECORDS.

PARCEL NO.: 23-26-480-037

JOB #: 23145  
DATE: 12-22-2023  
PAGE 2 OF 4

**SURVEY TECH**

SURVEYING      ENGINEERING

3253 LYNHURST CT.

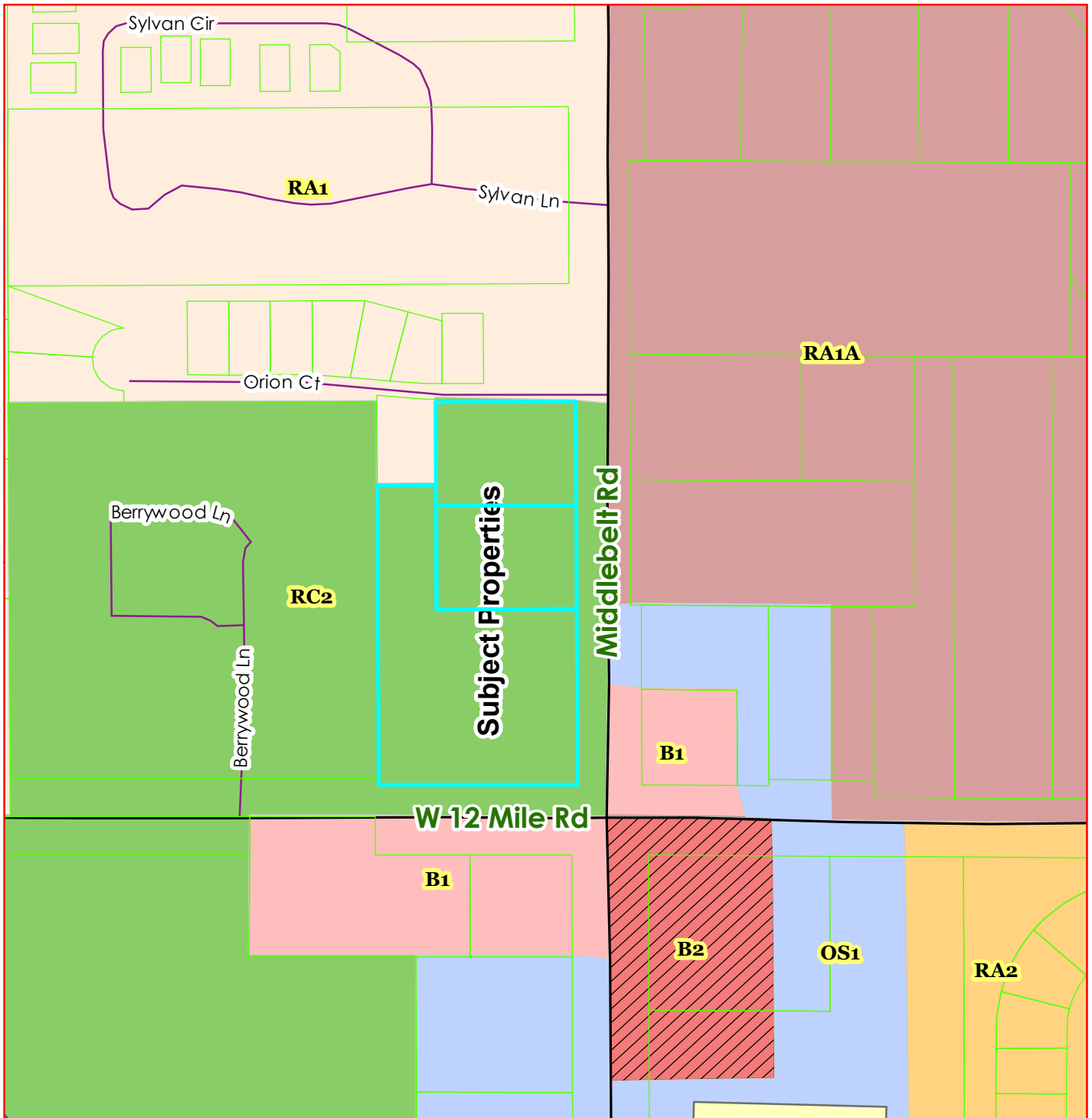
OAKLAND, MI 48306

TEL. (248) 670-6556

Legal:

T1N, R9E, SEC 26 WADDELL-WILCOX-RYMAL COMPANY'S KEMBERTON PARK SUBLOTS 601 TO 606 INCL, EXC E 27 FT  
TAKEN FOR RD, ALSO 1/2 OF VAC ALLEY ADJ TO SAME7-9-91 CORR 1/2024 COMBINED WITH -037 INTO -046

**ZR 4-3-2024, 27815 and 28025 Middlebelt Rd.;  
 three (3) parcels on west side of Middlebelt Rd.  
 between Orion Ct., and Twelve Mile Rd., 11-477-013, 014 & 109  
 Rezone the three parcels from RC-2 to B-3**



Tax parcel	OS-1 Office Service District
Minor roads	RA-1 One Family Residential District
<b>Zoning Districts</b>	RA-1A One Family Residential District
<b>Zoning Districts</b>	RA-2 One Family Residential District
B-1 Local Business District	RC-2 Multiple Family Residential
B-2 Community Business District	

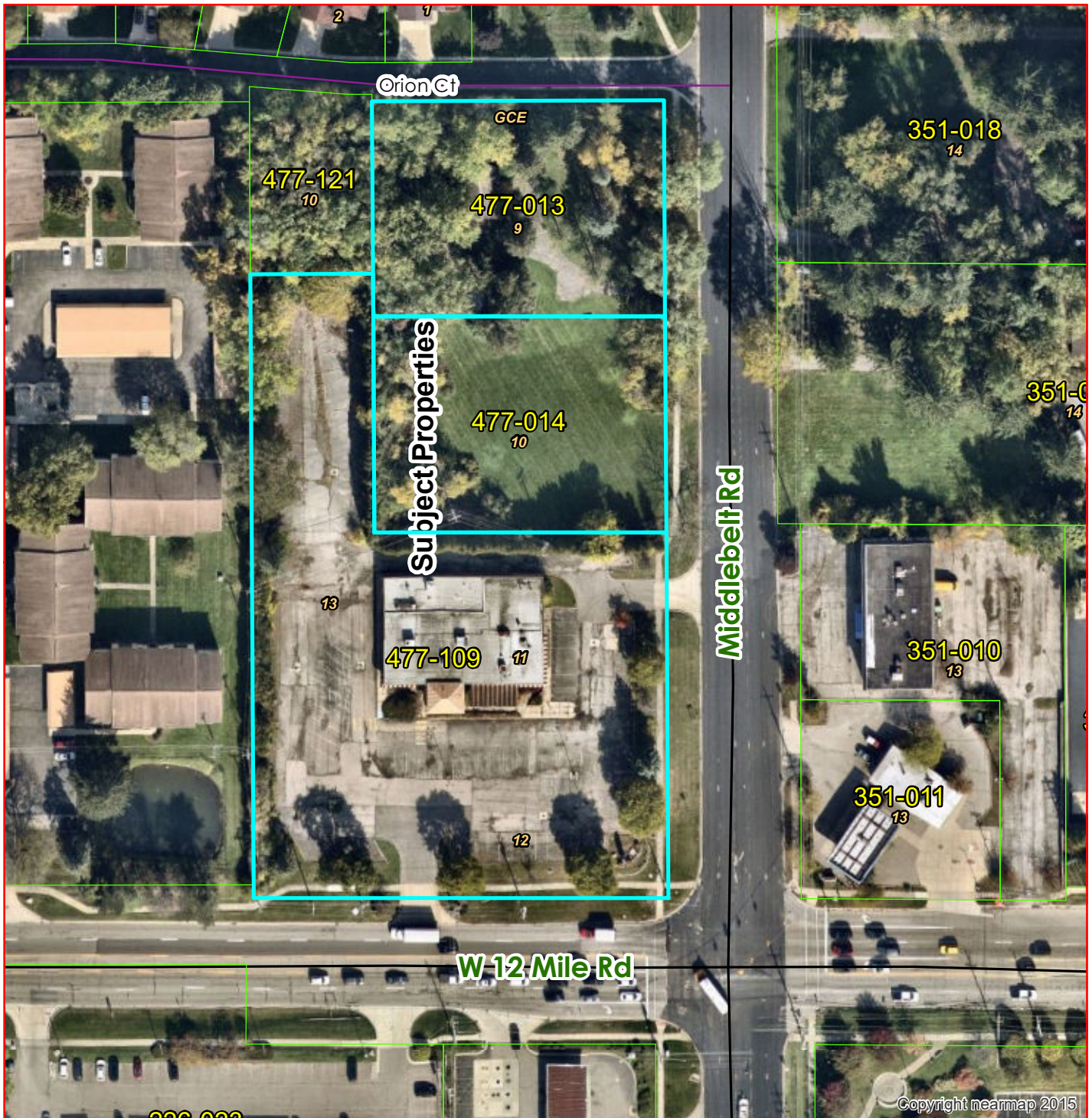
FEET

SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



**ZR 4-3-2024, 27815 and 28025 Middlebelt Rd.;  
 three (3) parcels on west side of Middlebelt Rd.  
 between Orion Ct., and Twelve Mile Rd., 11-477-013, 014 & 109  
 Rezone the three parcels from RC-2 to B-3**



**Planning Division**



- Tax parcel
- Minor roads

SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



April 10, 2024

Planning Commission  
City of Farmington Hills  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

# Rezoning Review

Case: ZR 4-3-2024  
Site: 27815 Middlebelt Road (23-11-477-109, -014, -013)  
Applicant: SkilkenGold Real Estate Development  
Plan Date: Received March 18, 2024  
Request: Rezone from RC-2 to B-3

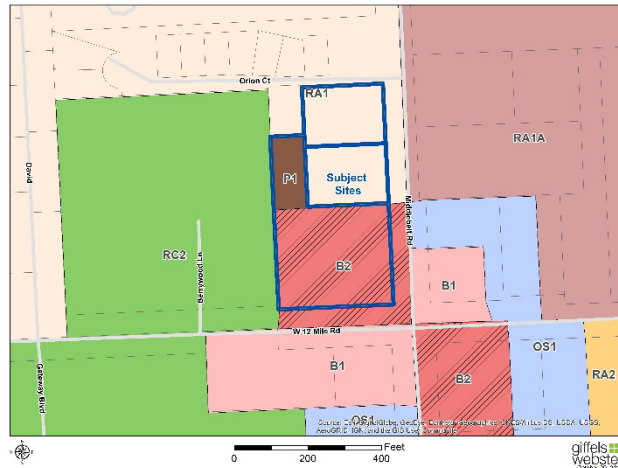
We have completed a review of the request for rezoning referenced above and a summary of our findings is below.



**SUMMARY OF FINDINGS**

**Existing Conditions**

- Zoning.** The subject property includes three parcels zoned RC-2 Multiple-Family Residential. The parcels have had this zoning designation since 2019. Prior to that, the zoning was a mix of B-2 at the corner, P-1 in the west-central portion of the property, and RA1 on the northern half:

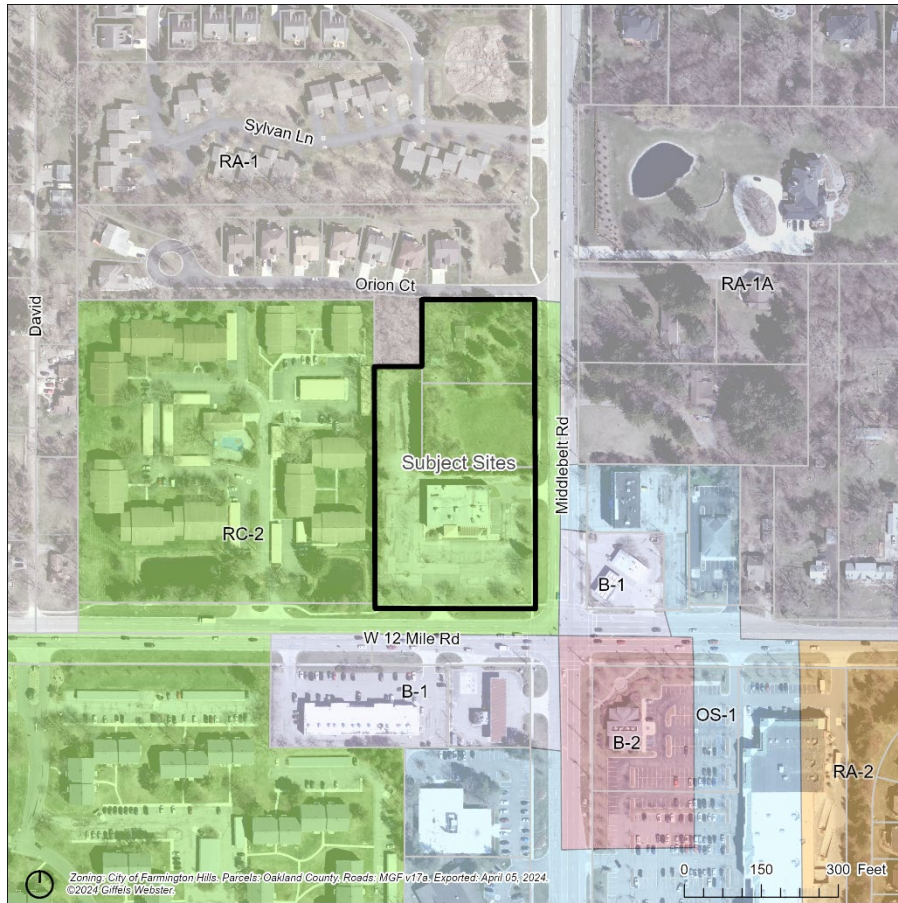


Zoning in early 2019

- Existing Development.** Parcel -109 is 2.39 acres and includes a vacant 10,134 SF commercial building and parking area. Parcel -014 is 0.82 acres and is vacant. Parcel -013 is .82 acres and includes a single-family house and accessory structures. A senior housing project was twice approved for this property in 2019 and 2021, but was never built.
- Adjacent Properties.** Zoning and use of adjacent properties is as follows:

Direction	Zoning	Land Use	Future Land Use Category
North	RA-1	Single-Family Residential	Single-Family Residential (Cluster)
East	RA-1A	Single-Family Residential	Single-Family Residential
East	OS-1	Office	Small Office
East	B-1	Gas Station	Shopping Center Type Business
South	B-1	Gas Station	Non-Center Type Business
West	RC-2	Multiple-Family Residential	Multiple-Family Residential





4. **Master Plan.** Parcel -109 is designated as Shopping-Center Type business. The 2009 Master Plan describes uses permitted in Shopping Center Type Business as those that are compatible with each other in the shopping center environment and that have the least impact beyond the buildings. The Zoning Plan aligns this district with areas zoned B-1, B-2, and B-4. Parcels -014 and -013 are both designated as Multiple-Family Residential.
5. **Residential Densities Map.** The residential densities map designates Parcels -014 and -013 area as high density residential, which is comparable with multiple-family residential zoning districts.
6. **Special Planning Areas.** The parcel is not a part of any of the Special Planning Areas in the Master Plan.

**Proposed Zoning Versus Current Zoning**

The applicant is requesting to rezone the entire lot to B-3 to permit a fueling station with convenience store and restaurant; when a site plan is presented at a future date, a front street must be identified.

Standard	RC-2 District	B-3 District	Existing
Front Setback	50 ft	25 ft	>50 ft
Rear Setback (Street side)	50 ft <sup>1</sup>	25 ft	>50 ft

East Side Setback (Street side)	50 ft <sup>1</sup>	25 ft	>50 ft
West Side Setback	20 ft	31.2 ft <sup>2</sup>	>31.2ft <sup>3</sup>
Max Height	30 ft	50 ft/ 3 stories	Information not provided; all buildings less than 50 ft
Lot Coverage	35% (per unit)	NA	<35%
Min. Lot Size	8,000 SF	NA	>8,000 SF
Min. Lot Width	80 ft	NA	>80 ft

<sup>1</sup> Street side setbacks are a minimum of 50 feet, but this may vary depending on building height based on the formula described in 34-3.5.2.G

<sup>2</sup> Side yard setback addresses the provision in 34-3.5.2.L, which states that the setback from any residential district shall be not less than 10% of the depth of the lot, not to exceed 50 feet.

<sup>3</sup> The garage on parcel -013 is located within the required setback area,. This is an existing nonconforming structure, but does not comply with the present RC-2 zoning.

**Items to Consider for Zoning Map Amendment**

1. Is the proposed zoning consistent with the Master Plan?

*The proposed zoning is not consistent with the Master Plan. The Master Plan designates this site as either Shopping Center Type Business (parcel -109) or Multiple Family Residential (parcel -013, 014). Neither FLU designation aligns with areas currently zoned as B-3.*

2. What other impact would the requested zoning have on public services, utilities, and natural features?

*There are not any significant impacts to public services, utilities, and natural features as a part of this proposed rezoning.*

3. Has the Applicant provided evidence that the property cannot be developed or used as zoned?

*There has not been evidence provided that would inhibit this site from being developed as an RC-2 use.*

4. Is the proposed zoning district (and potential land uses) compatible with surrounding uses?

- *The B-3 land use permits a long list of commercial uses that are less conducive to pedestrian traffic than in other zoning districts. With proximity to residential along the northern, eastern, and western boundaries, the Planning Commission may wish to consider whether a more transitional zoning classification may be appropriate and better aligned with the Future Land Use map.*
  - *The B-1 Zoning district also permits carryout restaurants and convenience stores as principal uses, and gasoline service stations as a special land use and is consistent with zoning to the east and south of the site. Furthermore, the B-1 classification is consistent with the Shopping Center Type Business Future Land Use designation, assigned to Parcel -109.*

5. Will the proposed zoning place a burden on nearby thoroughfares? If so, how would this burden compare with the existing zoning district?

*The proposed development will result in increased traffic. A traffic study is recommended as a part of the site plan review process. A multiple-family residential development, as permitted under the current RC-2 Zoning, would also contribute to increased traffic.*

6. Is there other land currently available for this use?

*There is other land zoned B-3, some of which is vacant (primarily in the Grand River and Northwestern Highway corridors).*

7. Will development of the site under proposed zoning be able to meet zoning district requirements?

*It appears that the site could be developed in accordance with the standards of the B-3 district. However, the site presently includes a structure that is used as a single-family house. If this use is continued, the proposed rezoning will result in the creation of a nonconforming use. The Planning Commission may wish to deny or postpone this request until the applicant demonstrates intent to abandon continuation of the single-family use.*

8. Is rezoning the best way to address the request or could the existing zoning district be amended to add the proposed use as a permitted or special land use?

*Gasoline service stations, restaurants, and convenience stores are not permitted or appropriate uses for a multiple-family residential zoning district.*

9. Has there been a change in circumstances and conditions since adoption of the Master Plan that would support the proposed change?

*Development in the immediate area has not changed in a substantial way since the adoption of the last master plan.*

10. Would granting the request result in the creation of an unplanned spot zone? Spot zoning is the process of singling out a small parcel of land for a use classification totally different from that of the surrounding area, for the benefit of a single property owner and to the detriment of others (*Rogers v. Village of Tarrytown*, 96 N.E. 2d 731). Typically, to determine if a rezoning would constitute spot zoning a municipality would look to answer three questions.

- Is the rezoning request consistent with the Master Plan for the area?

*The Master Plan for the area designates this land as Shopping Center Type Business and Multiple Family Residential, which is not consistent with the rezoning request.*

- Is the proposed zoning district a logical extension of an existing zoning district in the area?

*This rezoning is inconsistent with surrounding zoning.*

- Would approving the request grant a special benefit to a property owner or developer?

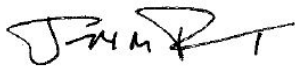
*The rezoning would permit the use of the full property for commercial use, consistent with the other corners of this intersection. However, a B-3 Zoning Designation would allow for more intensive development than the surrounding B-1 Districts.*

For reference, we have included the lists of permitted and special land uses in both districts at the end of this letter.

We look forward to discussing our review at the next Planning Commission meeting.



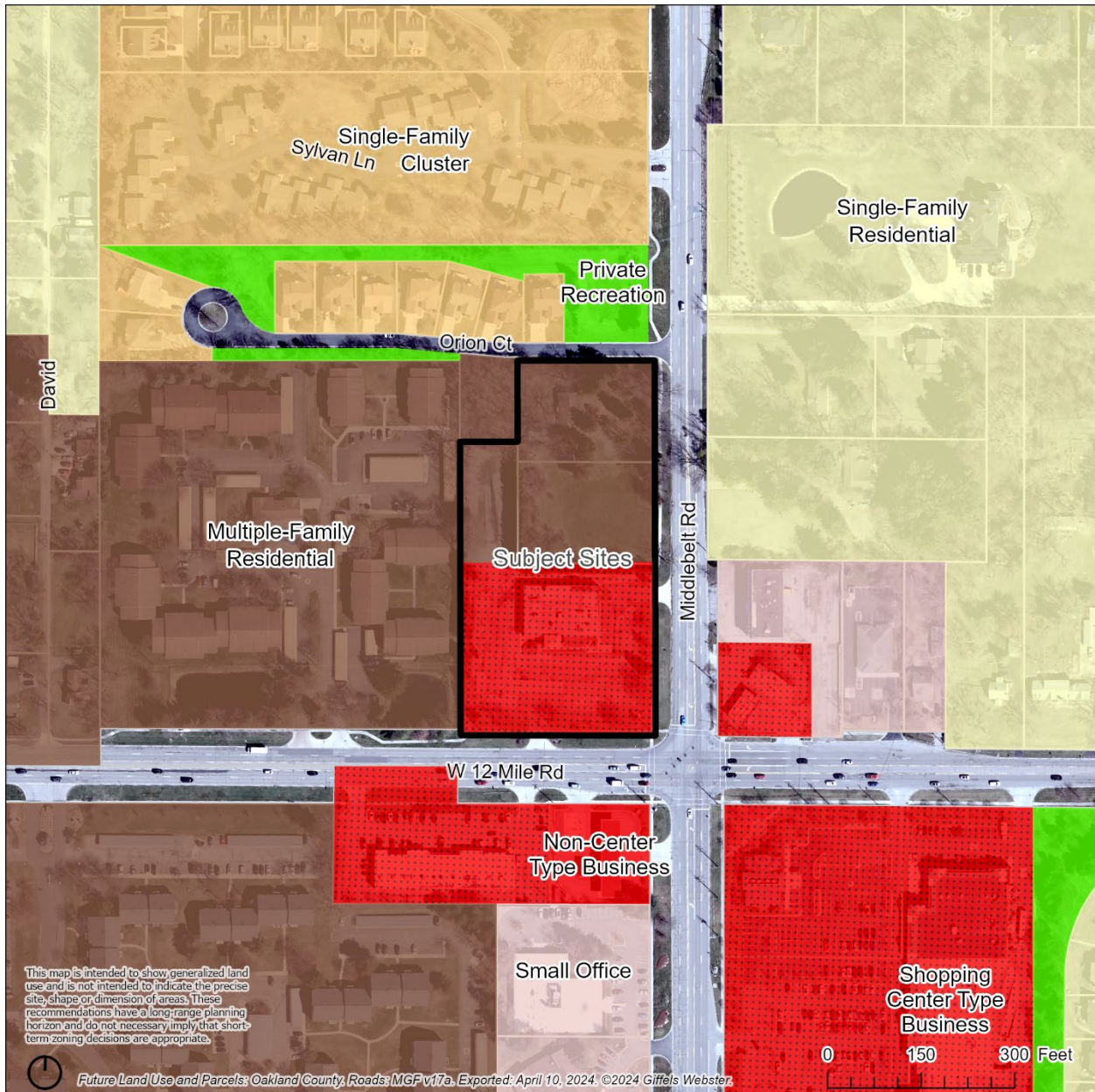
Sincerely,  
Giffels Webster



Joe Tangari, AICP  
Principal Planner



Julia Upfal, AICP  
Senior Planner



**Future Land Uses**

## RC-2 District Uses

### Permitted Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Multiple-family dwellings
- ii. Two-family dwellings
- iii. Rental or management offices and clubrooms accessory to a multiple-dwelling project
- iv. Convalescent homes or orphanages § 34-4.17
- v. Accessory buildings and uses customarily incidental to any of the above uses, including the following:
  - a. Home occupations § 34-4.15
- vi. The following uses are permitted subject to the standards and requirements of the RA district having the greatest common linear boundary with the RC district. The area and bulk requirement of the RC district shall apply to all uses other than one-family.
  - a. Site-built, one-family detached dwelling units
  - b. Farms § 34-4.1
  - c. Neighborhood parks
  - d. Manufactured one-family detached dwelling units § 34-4.6
  - e. The following uses are permitted subject to the special conditions in Section 34-3.6
    - i. Public, parochial or private elementary, intermediate or secondary schools offering courses in general education § 34-4.2
    - ii. Golf course, not including driving ranges or miniature golf courses § 34-4.3
    - iii. Churches § 34-4.4
    - iv. Nursery schools, day nurseries, and
    - v. day care centers § 34-4.5
    - vi. Municipal buildings and uses not including any outdoor storage
    - vii. Publicly owned and operated libraries, community wide parks and recreational facilities
  - f. Accessory buildings and uses customarily incidental to any of the above uses

### Special Land Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Public utility buildings, telephone exchange buildings, electric transformer stations and substations, and gas regulator stations § 34-4.8
- ii. Private noncommercial recreational areas, institutional or community recreation centers, a nonprofit swimming pool club § 34-4.9
- iii. Colleges, universities and other such institutions of higher learning, public and private § 34-4.10

### Accessory Uses:

- i. Electrical vehicle infrastructure § 34-4.55

## B-3 District Uses

### Permitted Uses:

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Retail businesses § 34-4.29
- ii. Personal service establishments which perform services on the premises
- iii. Laundry, drycleaning establishments, or pickup stations, dealing directly with the consumer § 34-4.25
- iv. Office buildings for any of the following occupations: executive, administrative, professional, accounting, writing, clerical, stenographic, drafting, sales
- v. Medical office including clinics
- vi. Banks, credit unions, savings and loan associations and similar uses with drive-in facilities as an accessory use only
- vii. Post office and similar governmental office buildings, serving persons living in the adjacent residential area
- viii. Nursery schools, day nurseries, and day care centers
- ix. Mortuary establishments
- x. Dance hall or catering hall when conducted within a completely enclosed building
- xi. Tire, battery and accessory sales
- xii. New or used car salesroom, showroom or office when the main use is carried on within a building with open air display of vehicles as accessory
- xiii. Retail sales of plant materials, lawn furniture, playground equipment and other house or garden supplies
- xiv. Lawn mower sales or service
- xv. Private clubs or lodge halls
- xvi. Data processing, computer centers
- xvii. Restaurants including fast food or carryout restaurants
- xviii. Other uses similar to the above uses
- xix. Accessory structures and uses customarily incident to any of the above uses
- xx. Theaters, assembly halls, concert halls or similar places of assembly § 34-4.44
- xxi. Churches
- xxii. Business schools and colleges or private schools operated for profit
- xxiii. The following uses are subject to review and approval of the site plan by the planning commission:
  - a. Motel
  - b. Drive-in restaurants § 34-4.35
  - c. Outdoor space for sale or rental of new or used motor vehicles, trailers, mobile homes, boats, recreational vehicles and other similar products §34-4.36
  - d. Business in the character of a drive-in or open front store § 34-4.37
  - e. Gasoline service stations § 34-4.28
  - f. Veterinary hospitals or commercial kennels §34-4.26
  - g. Bus passenger stations § 34-4.38
  - h. Commercially used outdoor recreational space for children's amusement parks, carnivals, miniature golf courses, tennis courts § 34-4.39
  - i. Automobile repair
  - j. Vehicle Wash § 34-4.40
  - k. Indoor Recreation Facilities § 34-4.19



- l. Public buildings, public utility buildings, telephone exchange buildings, electric transformer stations and substations without storage yards; gas regulator stations with service yards, but without storage yards; water and sewage pumping stations
- m. Outdoor space for seating areas accessory to a restaurant
- n. Cellular tower and Cellular Antennae
- o. Indoor health and fitness studio and instructional dance studios

**Special Land Uses:**

The following uses are permitted subject to the required conditions in Section 34-3.11

- i. Coin-operated amusement device arcades, billiard parlors or other similar indoor recreation uses § 34-4.19.4
- ii. Establishments with coin-operated amusement devices § 34-4.33

**Accessory Uses:**

- i. Electrical vehicle infrastructure § 34-4.55
- ii. Fabrication, repair, and processing of goods § 34-4.29

### LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 63122098INITS, EFFECTIVE DATE: DECEMBER 19, 2023)

#### EXHIBIT A DESCRIPTION:

LAND SITUATED IN THE CITY OF FARMINGTON HILLS, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

**PARCEL 1:**  
LOTS 9 AND 10, HILLSIDE, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 37 OF PLATS, PAGE 22, OAKLAND COUNTY RECORDS.

**PARCEL 2:**  
LOTS 11 AND 12, HILLSIDE, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 37 OF PLATS, PAGE 22, OAKLAND COUNTY RECORDS.

**PARCEL 3:**  
PART OF LOTS 13 AND 14, HILLSIDE, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 11, TOWN 1 NORTH, RANGE 9 EAST, FARMINGTON TOWNSHIP, OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF, AS RECORDED IN LIBER 37 OF PLATS, PAGE 22, OAKLAND COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 13; THENCE NORTH 471.39 FEET; THENCE WEST 92.46 FEET; THENCE SOUTH 470.94 FEET; THENCE SOUTH 89 DEGREES 43 MINUTES EAST 92.46 FEET TO THE PLACE OF BEGINNING.

**COMBINED AS SURVEYED LEGAL DESCRIPTION:**  
LOTS 9 THROUGH 12, INCLUSIVE AND PART OF LOTS 13 AND 14 OF HILLSIDE, A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 11, TOWN 1 NORTH, RANGE 9 EAST, FARMINGTON TOWNSHIP, HOW CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 37 OF PLATS, PAGE 22, OAKLAND COUNTY RECORDS, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 11, THENCE DUE NORTH 50.00 FEET ALONG THE CENTERLINE OF MIDDLEBELT ROAD (50 FEET WIDE, 1/2 WIDTH), ALSO BEING THE EAST LINE OF SAID SECTION; THENCE NORTH 89 DEGREES 46 MINUTES 09 SECONDS WEST 50.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 89 DEGREES 46 MINUTES 05 SECONDS WEST MEASURED (NORTH 89 DEGREES 43 MINUTES 00 SECONDS WEST RECORDED), 312.43 FEET ALONG THE NORTH RIGHT OF WAY LINE OF WEST TWELVE MILE ROAD (50 FEET WIDE, 1/2 WIDTH); THENCE DUE NORTH 470.94 FEET ALONG THE EAST LINE OF BEECHWOOD HILLS CONDOMINIUM, OAKLAND COUNTY SUBDIVISION PLAN NO. 260; THENCE THE FOLLOWING THREE (3) COURSES ALONG THE SOUTHERLY LINES OF CRESTWOOD HEADS CONDOMINIUM, OAKLAND COUNTY SUBDIVISION PLAN NO. 1208 1) SOUTH 89 DEGREES 55 MINUTES 35 SECONDS EAST 92.46 FEET, 2) DUE NORTH 129.94 FEET AND 3) SOUTH 89 DEGREES 55 MINUTES 35 SECONDS EAST 219.97 FEET; THENCE DUE SOUTH 601.74 FEET MEASURED (601.33 FEET RECORDED) ALONG THE WEST RIGHT OF WAY LINE OF SAID MIDDLEBELT ROAD TO THE POINT OF BEGINNING.

### BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:  
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND  
(LAT: 42°30'02.66" N, LON: 83°20'22.60" W, ELEV: 791, SCALE FACTOR: 1.00010551).

### UTILITY/REFERENCE INFO

**WW:** CITY OF FARMINGTON HILLS ~ OAKLAND COUNTY DRAIN COMMISSIONER  
PHONE: 248-871-2550 ~ 248-858-1116  
RECEIVED: 1/25/24 ~ NO RESPONSE

**SAN:** CITY OF FARMINGTON HILLS ~ OAKLAND COUNTY DRAIN COMMISSIONER  
PHONE: 248-871-2550 ~ 248-858-1116  
RECEIVED: 1/25/24 ~ NO RESPONSE

**STORM:** CITY OF FARMINGTON HILLS ~ OAKLAND COUNTY DRAIN COMMISSIONER  
PHONE: 248-871-2550 ~ 248-858-1116  
RECEIVED: 1/25/24 ~ NO RESPONSE

**GAS:** CONSUMERS ENERGY  
PHONE: 800-778-9140  
RECEIVED: 1/9/24

**ELEC:** DTE ELECTRIC  
PHONE: 313-687-5364  
RECEIVED: 1/22/24

**PHONE/CABLE:** AT&T  
PHONE: 616-881-2288  
RECEIVED: 1/16/24

**PHONE/CABLE:** CHARTER CABLE  
PHONE: 800-778-9140  
RECEIVED: 1/9/24

**PHONE/CABLE:** CLEAR RATE  
PHONE: 616-425-9840  
RECEIVED: 1/9/24

**PHONE/CABLE:** COMCAST  
PHONE: 855-922-8525  
RECEIVED: 1/11/24

### UTILITY NOTES

- ALL UTILITIES SHOWN ARE BASED ON:  
A. GPS MARKINGS LOCATED AT TIME OF SURVEY, OR;  
B. UTILITY MAPS PROVIDED TO THE SURVEYOR AT THE TIME OF THE SURVEY.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

### SCHEDULE B-SECTION II EXCEPTIONS

TITLE AGENCY: CHICAGO TITLE INSURANCE COMPANY  
TITLE COMMITMENT NO: 63122098INITS  
EFFECTIVE DATE: DECEMBER 19, 2023

- 3. EASEMENT PIPELINES IN FAVOR OF CONSUMERS ENERGY COMPANY RECORDED IN LIBER 51576, PAGE 1 (PLOTTED & SHOWN HEREIN)

### SHEET INDEX

ALT-1 = ALTA COVER  
ALT-2 = ALTA SURVEY

### SURVEYOR'S OBSERVATIONS

AT THE TIME OF THIS SURVEY, EVIDENCE WAS OBSERVED OF POTENTIAL ENCROACHMENTS AND OTHER POTENTIAL ISSUES. OTHER ENCROACHMENTS MAY OR MAY NOT STILL EXIST ON OR OFF THE SUBJECT PROPERTY.

- THE FOLLOWING OBSERVATIONS WERE MADE AT THE TIME OF SURVEY:
- OVERHEAD POWER LINES, POLES AND OTHER RELATED INFRASTRUCTURE CROSS THE SUBJECT PARCEL AS SHOWN ON THE SURVEY.
  - POSSIBLE PIPELINE EASEMENT OVER LOTS 11 AND 12 NOT INCLUDED IN TITLE WORK, SIMILAR TO THE EASEMENT DESCRIBED IN EXCEPTION 3.
  - POSSIBLE 10' WIDENING OF 12 MILE ROAD AND MIDDLE BELT, SEE ITEM NO. 17 NOTE.
  - PUBLIC SIDEWALK ALONG EAST AND SOUTH OF OVERALL SUBJECT PARCEL POSSIBLY INDICATE AN EASEMENT.

### TABLE A NOTES

(FOR TABLE "A" ITEMS NOT LISTED BELOW, SEE PLAN VIEW ON ALT-2 SHEET FOR MORE INFORMATION)

- ITEM 2: THE POSTED ADDRESSES ON SITE ARE:  
TAX ID: 22-23-11-477-13 = 28025 MIDDLEBELT ROAD,  
TAX ID: 22-23-11-477-109 = 27815 MIDDLEBELT ROAD,  
TAX ID: 22-23-11-477-014 = NO POSTED ADDRESS ON SITE; NO BUILDINGS WERE OBSERVED, SUBJECT PROPERTY IS VACANT LAND.
- ITEM 3: FLOOD ZONE  
FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.  
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF OAKLAND, COMMUNITY PANEL NO. (26125C0514), EFFECTIVE DATE: SEPTEMBER 29, 2006.
- ITEM 6(a) and 6(b): ZONING  
A ZONING REPORT OR LETTER WAS NOT PROVIDED TO THE SURVEYOR AS REQUIRED BY 2021 ALTA/NSPS STANDARDS TABLE A ITEMS 6(A) & 6(B).  
THIS ZONING INFORMATION SHOWN HEREIN WAS TAKEN FROM THE CITY OF FARMINGTON HILLS ZONING ORDINANCE, EFFECTIVE DATE: FEBRUARY 18, 2013.  
ZONING CLASSIFICATION:  
(RC-2) (MULTIPLE FAMILY RESIDENTIAL DISTRICT)  
BUILDING SETBACKS:  
FRONT = 50'  
SIDE = 50' (ONE SIDE)  
SIDE 2 = 40' (TOTAL 2 SIDES)  
REAR = 20'  
MAX. BUILDING HEIGHT = 30'  
FOR FURTHER INTERPRETATION OF THE BUILDING SETBACK REQUIREMENTS OR OTHER APPLICABLE ZONING REGULATIONS, PLEASE REFER TO THE LOCAL ZONING AUTHORITY LISTED ABOVE.

ITEM 9: EXISTING PARKING  
NUMBER AND TYPE (E.G., DISABLED, MOTORCYCLE, REGULAR, AND OTHER MARKED SPECIALIZED TYPES) OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS, LOTS, AND IN PARKING STRUCTURES, STRIPING OF CLEARLY IDENTIFIABLE PARKING SPACES ON SURFACE PARKING AREAS AND LOTS.  
TAX ID: 22-23-11-477-109:  
66 REGULAR SPACES  
3 BARRIER FREE SPACES  
89 TOTAL PARKING SPACES  
[THERE ARE POSSIBLE ADDITIONAL PARKING SPACES ALONG THE WEST SIDE OF SUBJECT PARCEL; PARKING STRIPING ARE FADED AND NOT VISIBLE.]  
TAX ID: 22-23-11-477-13 & 014:  
THERE ARE NO STRIPED PARKING SPACES ON EITHER SUBJECT PROPERTIES.

ITEM 16: AT THE TIME OF THIS SURVEY "EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK" WAS NOT OBSERVED.

ITEM 17: AT THE TIME OF THIS SURVEY, INFORMATION REGARDING PROPOSED CHANGES TO RIGHT OF WAY LINES WAS NOT MADE AVAILABLE BY THE CONTROLLING JURISDICTION. EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK. BASED UPON CONDO PLAN NO. 260, "BEECHWOOD HILL CONDOMINIUM", 10' OF RIGHT-OF-WAY ALONG 12 MILE HAS BEEN ADDED. BASED UPON CONDO PLAN NO. 1208, "CRESTWOOD MEADOWS", 10' OF RIGHT-OF-WAY HAS BEEN TAKEN ALONG MIDDLEBELT. THE RIGHT-OF-WAY SHOWN ON THIS SURVEY MAP INCLUDES THIS 10' EXPANSION TO THE RESPECTIVE ROAD RIGHT-OF-WAYS. NO DOCUMENTATION WAS INCLUDED IN THE TITLE WORK ADDRESSING SAID EXPANSION.

ITEM 19: CERTIFICATE OF INSURANCE TO BE FURNISHED UPON REQUEST, BUT THIS ITEM SHALL NOT BE ADDRESSED ON THE FACE OF THE PLAT OR MAP.

### MISCELLANEOUS NOTES

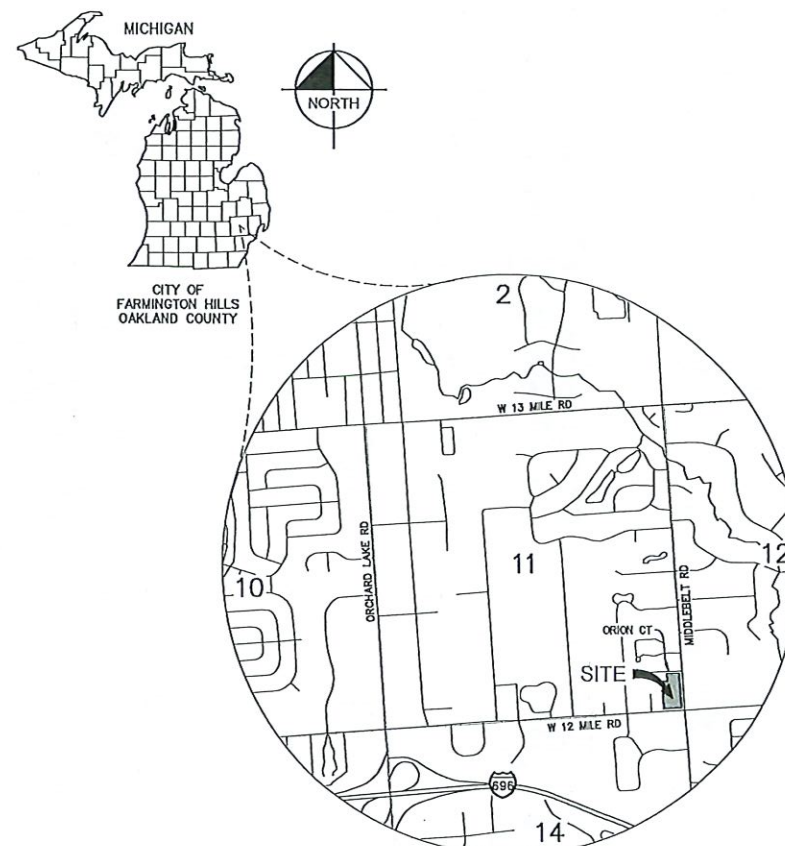
- THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA MIDDLEBELT ROAD & W 12 MILE ROAD, BOTH ARE PUBLIC RIGHT-OF-WAYS. SEE ITEM "17" REGARDING POTENTIAL EXPANSION OF THE RIGHT-OF-WAYS OF SAID ROADS.
- THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN EXHIBIT A OF TITLE AGENCY: CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 63122098INITS, EFFECTIVE DATE: DECEMBER 19, 2023.

### WINTER NOTE

THIS SURVEY WAS PERFORMED UNDER WINTER CONDITIONS. ALL REASONABLE MEASURES WERE TAKEN DURING THE SURVEY TO OBTAIN ALL INFORMATION NECESSARY, HOWEVER, SOME INFORMATION MAY NOT BE SHOWN DUE TO SNOW COVER.

### CERTIFICATION

TO: CHICAGO TITLE INSURANCE COMPANY  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2001 MICHIGAN STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 7(b), 7(c), 8, 9, 11, 13, 14, 15, 17, 18 & 19 OF TABLE A THEREOF.  
THE FIELD WORK WAS COMPLETED ON 1/30/2024.  
DATE OF PLAT OR MAP:  
MARC E. BUZZESSA, PS  
PROFESSIONAL SURVEYOR  
NO. 4001053492  
THIS SURVEY PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED THIRD PERSON WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR NAMING SAID THIRD PERSON.



LOCATION MAP

2-24-3-2024  
Received  
MAR 18 2024  
City of Farmington Hills  
Planning Dept.



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27815 & 28025 MIDDLEBELT ROAD  
TAX IDs: 22-23-11-477-13 & 014 & 109  
PART OF SE 1/4, SEC. 11, T1N-17R-9E  
CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MI

DATE	PLAN SUBMITTALS/REVISIONS
2/27/24	

ORIGINAL ISSUE DATE:  
2/6/2024  
PROJECT NO: 24-006  
SCALE: N/A  
FIELD: AH, RZ  
DRAWN BY: DC  
DESIGN BY:  
CHECK BY: MB  
ALT-1

NOT FOR CONSTRUCTION

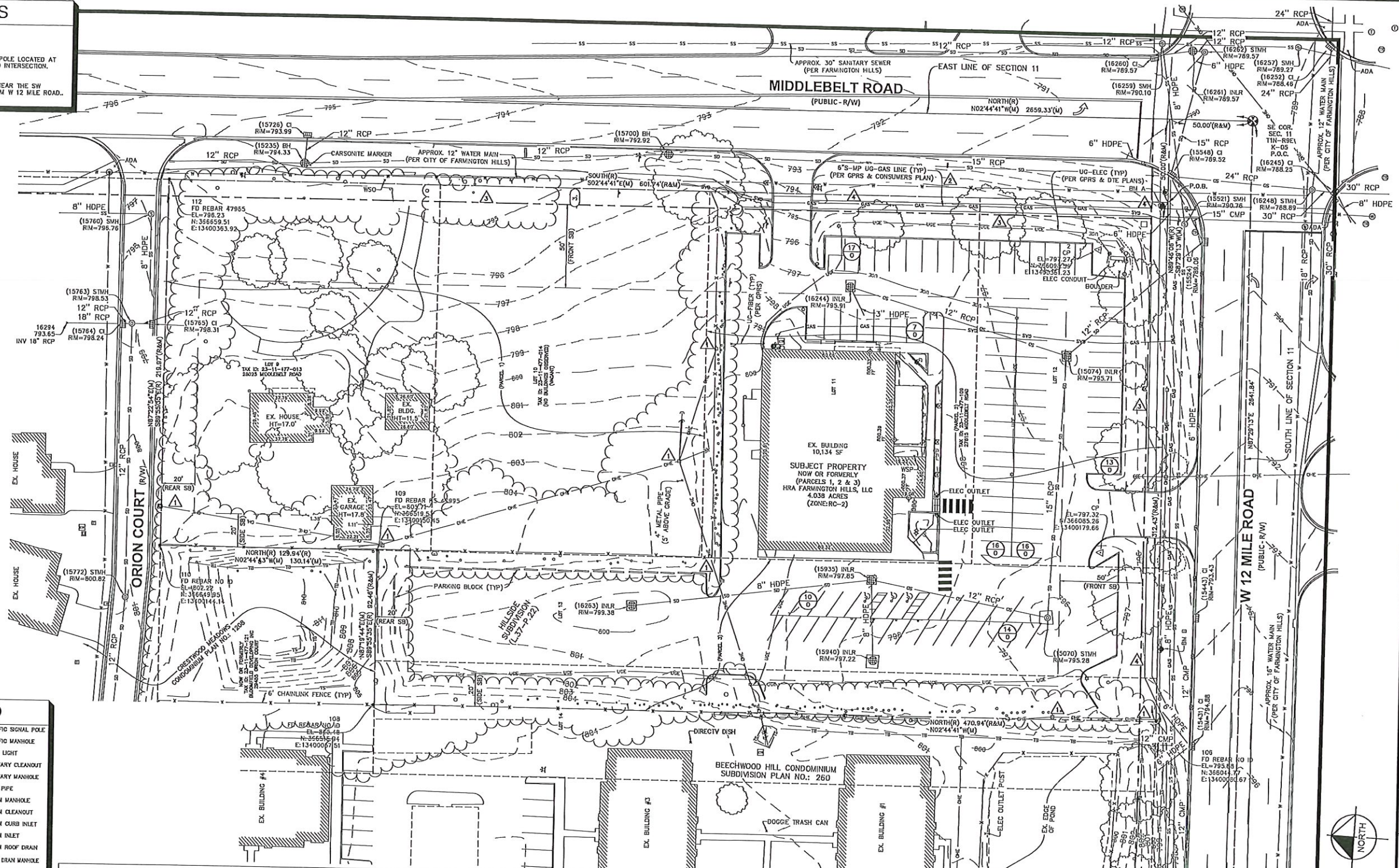


# BENCHMARKS

**SITE BENCHMARKS:**  
(LOCATIONS SHOWN ON SURVEY)

BM A: NORTHWEST ANCHOR BOLT ON TRAFFIC LIGHT POLE LOCATED AT NW CORNER OF W 12 MILE ROAD & MIDDLEBELT ROAD INTERSECTION. ELEVATION= 782.92

BM B: RAILROAD SPIKE ON EAST SIDE UTILITY POLE NEAR THE SW PROPERTY CORNER 47' WEST OF ACCESS DRIVE FROM W 12 MILE ROAD. ELEVATION= 796.57



# EXISTING LEGEND

- |                         |                           |                        |
|-------------------------|---------------------------|------------------------|
| ○ BOLLARD               | □ ACCESS COVER            | ⊕ TRAFFIC SIGNAL POLE  |
| ○ CONTROL BENCHMARK     | ⊕ FUEL TANK LID           | ⊕ TRAFFIC MANHOLE      |
| ⊕ CONTROL POINT         | ⊕ MISC LID                | ⊕ YARD LIGHT           |
| ⊕ CONTROL MONUMENT      | ⊕ MONITOR WELL            | ⊕ SANITARY CLEANOUT    |
| ⊕ CONTROL SET           | ⊕ GAS MARKER              | ⊕ SANITARY MANHOLE     |
| ⊕ CONTROL FROM PIPE     | ⊕ GAS METER               | ⊕ VENT PIPE            |
| ⊕ CONTROL REBAR         | ⊕ GAS VALVE               | ⊕ STEAM MANHOLE        |
| ⊕ ROW MONUMENT          | ⊕ OIL MARKER              | ⊕ STORM CLEANOUT       |
| ⊕ FLAG POLE             | ⊕ AC UNIT                 | ⊕ STORM CURB INLET     |
| ⊕ MAIL BOX              | ⊕ AREA LIGHT              | ⊕ STORM INLET          |
| ⊕ UTILITY POLE          | ⊕ CROSSWALK SIGN          | ⊕ STORM ROOF DRAIN     |
| ⊕ POST                  | ⊕ DUCT BANK               | ⊕ STORM DRAIN MANHOLE  |
| ⊕ WETLAND FLAG          | ⊕ ELECTRICAL BOX          | ⊕ STORM YARD DRAIN     |
| ⊕ HANDICAP SYMBOL       | ⊕ ELECTRICAL RISE         | ⊕ FIRE DEPT CONNECTION |
| ⊕ LEFT/RIGHT TURN ARROW | ⊕ ELECTRICAL TRANSFORMER  | ⊕ ELECTRICAL MANHOLE   |
| ⊕ SIGN                  | ⊕ ELECTRICAL VAULT        | ⊕ ELECTRICAL MARKER    |
| ⊕ CABLE MANHOLE         | ⊕ OUT POLE/WIRE           | ⊕ ELECTRICAL RISER     |
| ⊕ CABLE PEDESTAL        | ⊕ POWER POLE              | ⊕ WELL                 |
| ⊕ SATELLITE DISH        | ⊕ FIBER OPTIC PUSHBUTTON  | ⊕ WATER METER          |
| ⊕ CALL BOX              | ⊕ TOE OF SLOPE            | ⊕ WATER MANHOLE        |
| ⊕ TELEPHONE PEDESTAL    | ⊕ TOP OF BANK             | ⊕ WATER VALVE          |
| ⊕ TELEPHONE HAND HOLE   | ⊕ UNDERGROUND FIBER OPTIC | ⊕ TREE / STUMP         |
| ⊕ TELEPHONE MARKER      | ⊕ UNDERGROUND CABLE       |                        |
| ⊕ TELEPHONE MANHOLE     | ⊕ OVERHEAD CABLE          |                        |
| ⊕ FIBER OPTIC MARKER    | ⊕ UNDERGROUND TELEPHONE   |                        |
|                         | ⊕ UNDERGROUND FUEL        |                        |
|                         | ⊕ UNDERGROUND GAS         |                        |
|                         | ⊕ OVERHEAD ELECTRICAL     |                        |

# STORM SCHEDULE

EX. STORM SEWER TABLE			EX. STORM SEWER TABLE			EX. STORM SEWER TABLE			EX. STORM SEWER TABLE			EX. STORM SEWER TABLE		
STRUCTURE:	RM ELEV.	PIPES:	STRUCTURE:	RM ELEV.	PIPES:	STRUCTURE:	RM ELEV.	PIPES:	STRUCTURE:	RM ELEV.	PIPES:	STRUCTURE:	RM ELEV.	PIPES:
(15070) STMH	795.28	IE=792.13(12"RCP N) IE=792.06(15"RCP E)	(15524) CI	789.06	IE=787.29(6"HDPE W) IE=786.56(15"CMPE NE) IE=787.24(12"RCP NW)	(15764) CI	798.24	IE=793.44(18"RCP N) IE=793.59(12"RCP S)	(16244) INLR	795.91	IE=792.35(12"RCP S) IE=794.37(15"HDPE SW)	(16261) INLR	789.57	1/P/PE=787.35(12"RCP N) 1/P/PE=787.00(12"RCP S)
(15074) INLR	795.71	IE=791.69(12"RCP W) IE=791.44(15"RCP W) IE=791.01(12"RCP SE)	(15548) CI	789.52	IE=788.51(15"RCP N) IE=786.59(6"HDPE N) IE=786.50(6"HDPE W) IE=786.60(15"CMPE SW) IE=786.32(24"RCP S) IE=786.47(15"RCP E)	(15772) STMH	800.82	IE=796.20(12"RCP W) IE=796.02(12"RCP E)	(16245) CI	788.25	IE=783.53(30"RCP W) IE=783.63(30"RCP W) IE=783.83(30"RCP S) IE=785.60(8"HDPE SW)	(16262) STMH	789.57	IE=786.65(12"RCP N) IE=786.34(15"RCP W) IE=786.30(6"HDPE NW)
(15235) BH	794.33	IE=791.60(12"RCP N) IE=791.51(12"RCP S) IE=791.37(12"RCP E)	(15700) BH	792.92	IE=791.02(12"RCP N) IE=790.85(15"RCP S)	(15933) INLR	797.65	IE=792.75(6"HDPE N) IE=792.58(6"HDPE W) IE=792.30(12"RCP S)	(16248) STMH	788.89	IE=785.07(24"RCP N) IE=784.33(18"RCP W) IE=784.19(30"RCP S) IE=785.02(24"RCP E)	(16263) INLR	799.38	IE=786.65(12"RCP N) IE=786.89(6"HDPE W)
(15431) CI	794.88	IE=792.83(6"HDPE NE) IE=792.42(6"HDPE NW) IE=792.47(12"CMPE N) IE=792.41(12"CMPE W) IE=792.36(12"CMPE E)	(15726) CI	793.99	FULL OF DEBRIS AT TIME OF SURVEY	(15940) INLR	797.22	IE=792.12(6"HDPE E)	(16252) CI	788.46	IE=784.34(24"RCP W) IE=784.09(24"RCP E)	(16293) SHH	799.36	IE=788.03(6"HDPE W) IE=787.89(6"HDPE E) IE=788.40(6"HDPE S)
(15443) CI	793.43	IE=790.76(12"CMPE W)	(15763) STMH	798.53	IE=793.76(12"RCP W) IE=793.66(12"RCP N) IE=793.66(12"RCP S)				(16260) CI	789.57	IE=786.30(12"RCP N) IE=785.65(12"RCP E)			

# SANITARY SCHEDULE

EX. SANITARY TABLE		
STRUCTURE:	RM ELEV.	PIPES:
(15521) SMH	790.76	IE=781.74(6"HDPE W) IE=781.69(6"HDPE E)
(15760) SMH	796.76	IE=789.75(6"HDPE W) IE=789.75(6"HDPE N)
(16257) SMH	789.27	IE=786.65(12"RCP N) IE=786.34(15"RCP W) IE=786.30(6"HDPE NW)
(16259) SMH	790.10	IE=786.65(12"RCP N) IE=786.89(6"HDPE W)
(16293) SHH	799.36	IE=788.03(6"HDPE W) IE=787.89(6"HDPE E) IE=788.40(6"HDPE S)

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THE LOCATION AND DEPTH OF  
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THIS SURVEY PREPARED FOR:

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KIMLEY-HORN & ASSOCIATES, INC.

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PHONE: 205-251-9000  
WWW.KIMLEY-HORN.COM

**ALTA/NSPS LAND TITLE SURVEY**

27815 & 28025 MIDDLEBELT ROAD  
TAX IDS: 22-23-11-477-13 & 014 & 109  
PART OF SE 1/4, SEC. 11, T1N-R0E  
CITY OF FARMINGTON HILLS, OAKLAND COUNTY, MI

DATE: 2/27/24

PLAN SUBMITTALS/REVISIONS

UPDATED PER REVIEW COMMENTS

ORIGINAL ISSUE DATE: 2/6/2024

PROJECT NO: 24-006

SCALE: 1" = 30'

FIELD: AC, RZ

DRAWN BY: DH

DESIGN BY:

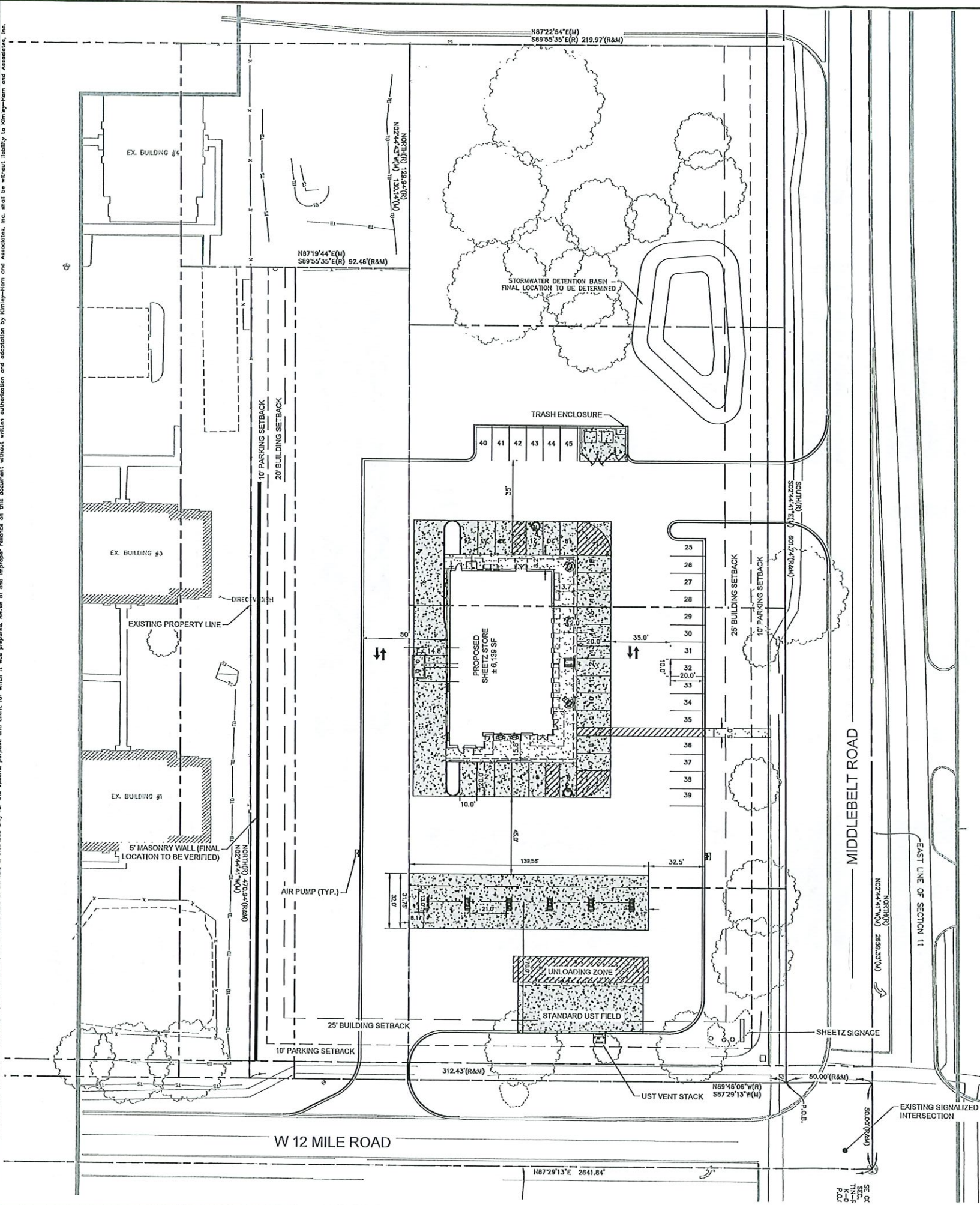
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**ALT-2**

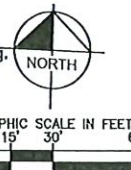
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Drawing name: K:\SITE\2512655000\_Solides\04\_Solides\0405\0405-SITE PLAN.dwg CLO Mar 10, 2024 11:02am by: Laurin/Rizzenro  
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### SITE LEGEND

HEAVY DUTY PAVEMENT	
HEAVY DUTY CONCRETE	
CONCRETE SIDEWALK	
CURB AND GUTTER	

- ### SITE NOTES
- ALL CURB RADI ARE 5.0' UNLESS OTHERWISE NOTED.
  - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL STOP SIGNS, DIRECTIONAL SIGNS, AND STRIPING SHOWN ON THE PLANS.
  - ALL SIDEWALKS TO BE PRIVATE UNLESS OTHERWISE NOTED.
  - TWO COATS OF TRAFFIC PAINT SHALL BE SUPPLIED FOR ALL PAVEMENT STRIPING.

 Kimley-Horn of Michigan, Inc. <small>©2024 KIMLEY-HORN OF MICHIGAN          1000 YORK CENTER, SUITE 1100          ANN ARBOR, MI 48106          PHONE: 734-487-5550          WWW.KIMLEY-HORN.COM</small>	SCALE: AS NOTED DESIGNED BY: ### DRAWN BY: ### CHECKED BY: ###	<h2 style="margin: 0;">SITE PLAN</h2>	REVISIONS NO. DATE BY
<h3 style="margin: 0;">SHEETZ - 12 MILE AND MIDDLEBELT</h3>		ORIGINAL ISSUE: 03/01/2024 KHA PROJECT NO. 268593001 SHEET NUMBER <h2 style="margin: 0;">C-100</h2>	









FARMINGTON HILLS  
W. 12 MILE RD.

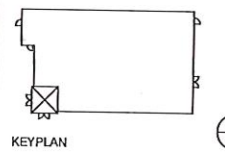
Int. of West 12 Mile Road  
and Middlebelt Road  
Farmington Hills, MI 48334

OWNER:  
SHEETZ, INC.

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL



KEYPLAN

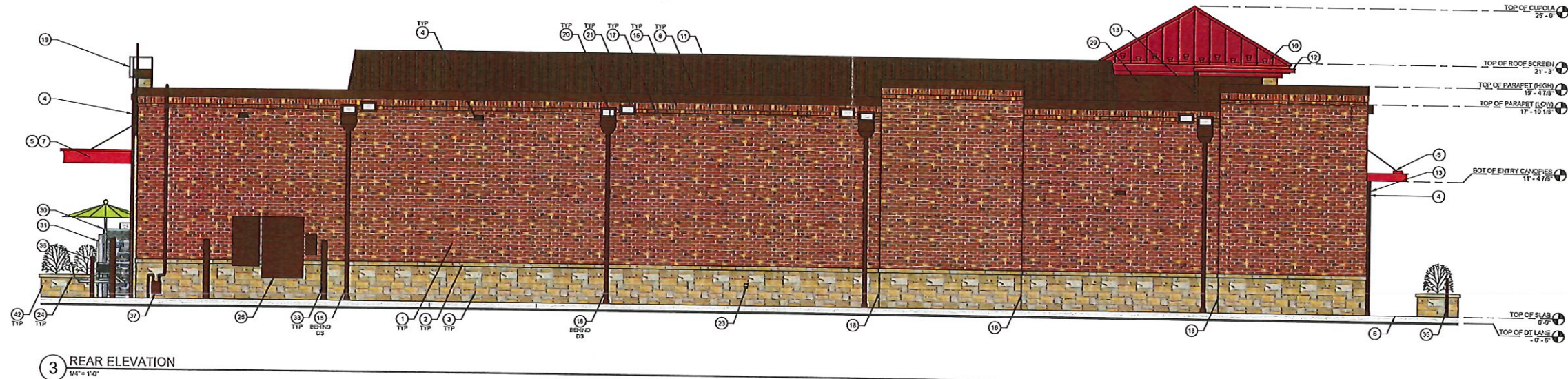
MARK	DATE	DESCRIPTION

ISSUE: 03.08.2024  
SITE ID NO: 214637  
AUTHOR BY: RJK  
REVIEW BY: RJH  
VERSION: 6139\_v1.5.5

EXTERIOR ELEVATIONS

**A201**

PRELIMINARY ELEVATIONS

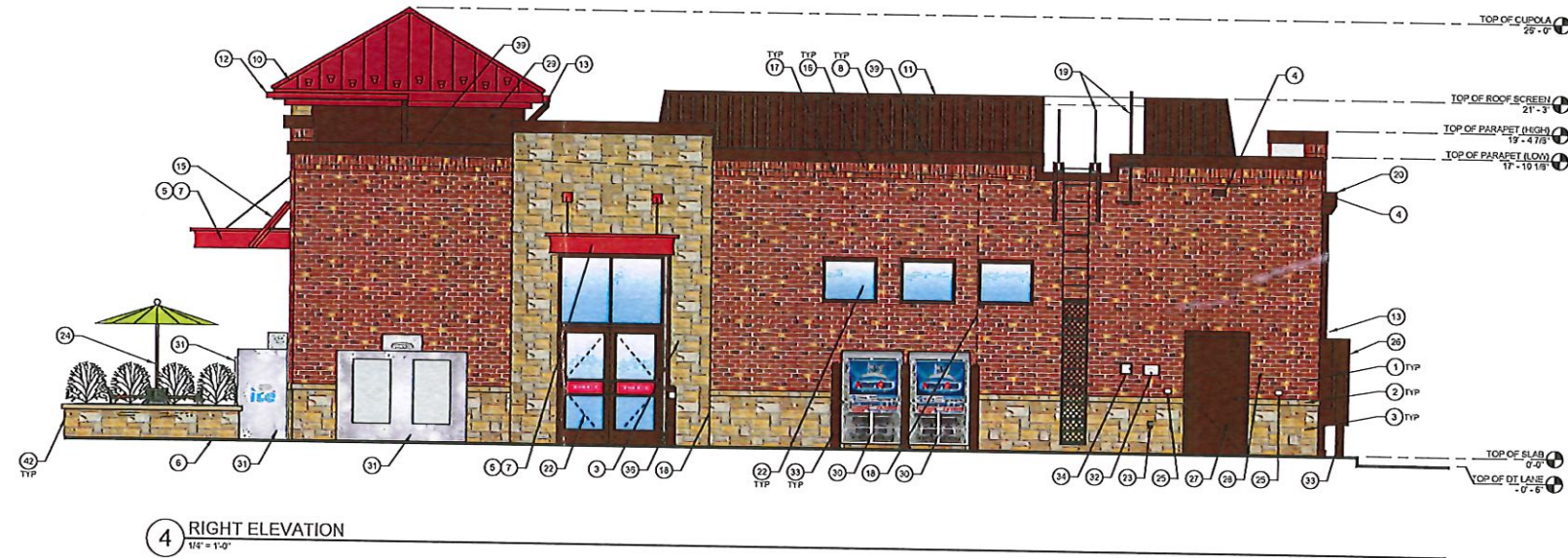


3 REAR ELEVATION  
1/4" = 1'-0"

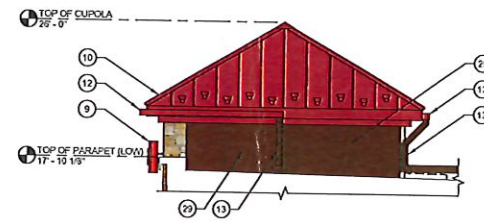
- TYPICAL EXTERIOR ELEVATION NOTES:**
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
  - FIXTURES/EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
  - EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 6205 JOINT SEALANTS, GENERAL BUILDING FACSCIDE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STONE.

**EXTERIOR ELEVATION KEYNOTES:**

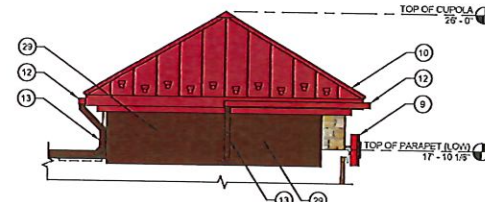
- BRICK VENEER, COLOR: #30 BY CONTINENTAL BRICK COMPANY, SEE MASONRY SPEC
- CAST STONE SILL, COLOR: CRAB ORCHARD, SEE MASONRY SPEC
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD, SEE MASONRY SPEC
- EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
- ARCHITECTURAL CANOPY, COLOR: REGAL RED, PREMIUM TWO-COAT NYLON FINISH
- BRICK PAVER WALKWAY
- LIGHTED CURVED FASCIA CANOPY ATTACHMENT
- METAL COPING, COLOR: DARK BRONZE
- WALL MOUNTED BUILDING SIGN, SEE SHEET A200
- STANDING SEAM METAL ROOF, COLOR: BRITE RED
- ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE
- GUTTER, COLOR TO MATCH CUPOLA COLOR
- DOWNSPOUT, COLOR: DARK BRONZE
- DRIVE-THRU WINDOW (IF APPLICABLE)
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY, ROOF COLOR: BRITE RED, FRAME COLOR: DARK BRONZE
- BRICK SOLDIER COURSE, COLOR: #30 BY CONTINENTAL BRICK COMPANY, SEE MASONRY SPEC
- BRICK ROWLOCK COURSE, COLOR: #30 BY CONTINENTAL BRICK COMPANY, SEE MASONRY SPEC
- CONTROL JOINT, SEE MASONRY SPEC
- STEEL ROOF LADDER AND CRANHY POST, COLOR: DARK BRONZE
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE
- OVERFLOW SCUPPER
- ALUMINUM STOREFRONT SYSTEM, SEE A200
- EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS
- OUTDOOR FURNITURE
- ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS
- ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS
- HM DOOR AND FRAME, COLOR: DARK BRONZE
- EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE
- PROPANE LOCKER
- ICE MERCHANTS
- RTH FILLPORT
- STEEL BOLLARD, COLOR: DARK BRONZE
- CO2 FILLPORT
- DECORATIVE ALUMINUM FENCE, COLOR: DARK BRONZE
- AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE
- GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE
- MTO GRAPHIC DECAL, SEE SHEET A200
- LIGHT CHANNEL AT PARAPET COPING, SEE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR MORE INFORMATION
- FALX WINDOWS WITH INTERNAL GRAPHIC
- E-STOP & SIGN, REFER TO IUST DRAWINGS
- RAISED PLANTERS



4 RIGHT ELEVATION  
1/4" = 1'-0"



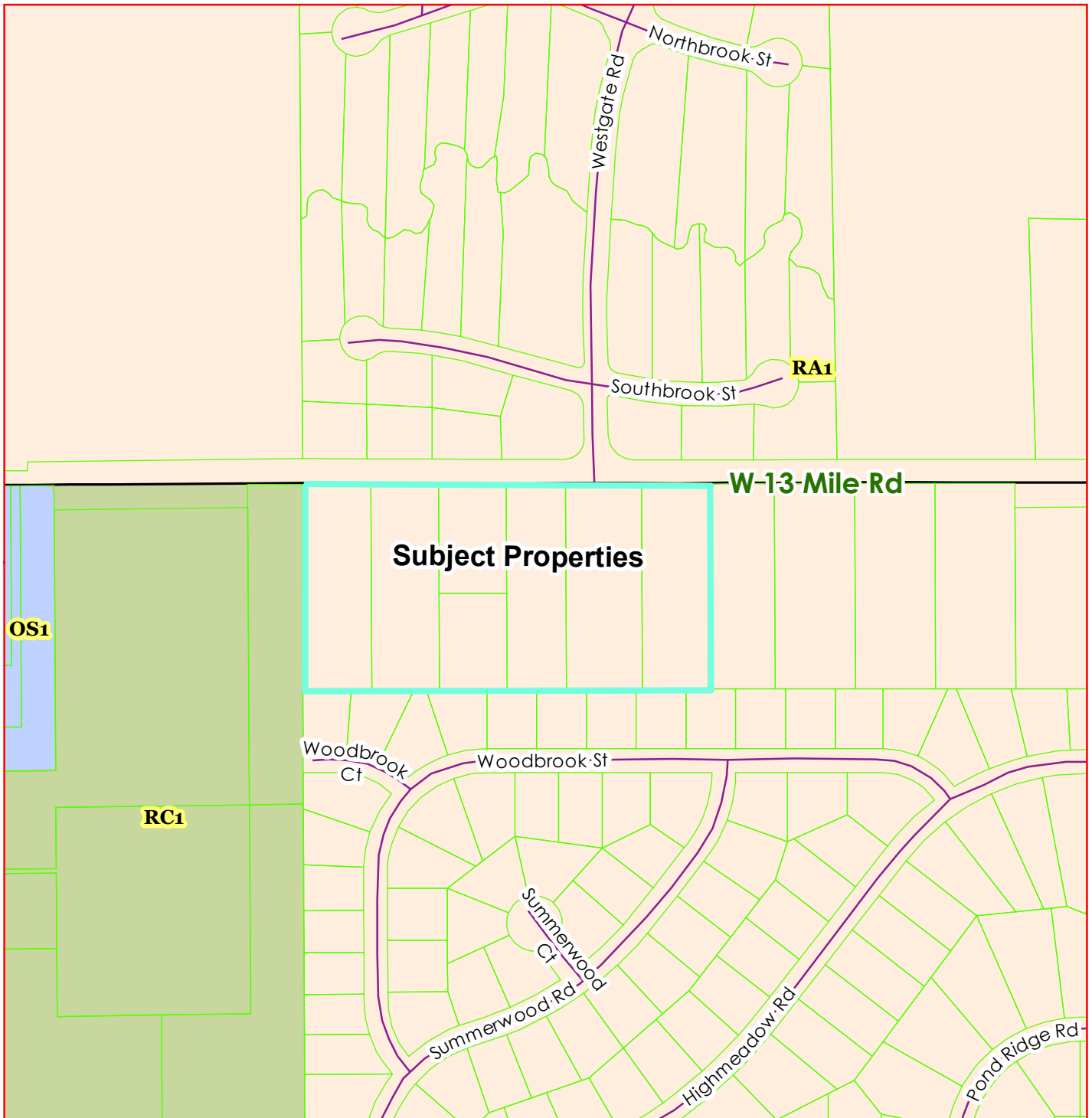
5 CUPOLA ELEVATION FROM ROOF  
1/4" = 1'-0"



6 CUPOLA ELEVATION FROM ROOF  
1/4" = 1'-0"



**PUD Q 1, 2024, S. side of 13 Mile Rd.,  
 approx 0.3 miles W. of Middlebelt Rd.  
 11-201-001, 002, 004, 005, 006, 020 & 021.  
 Construction of ranch and town-homes in RA-1**



Tax parcel	RA-1 One Family Residential District
Minor roads	RC-1 Multiple Family Residential
<b>Zoning Districts</b>	
<b>Zoning Districts</b>	
OS-1 Office Service District	

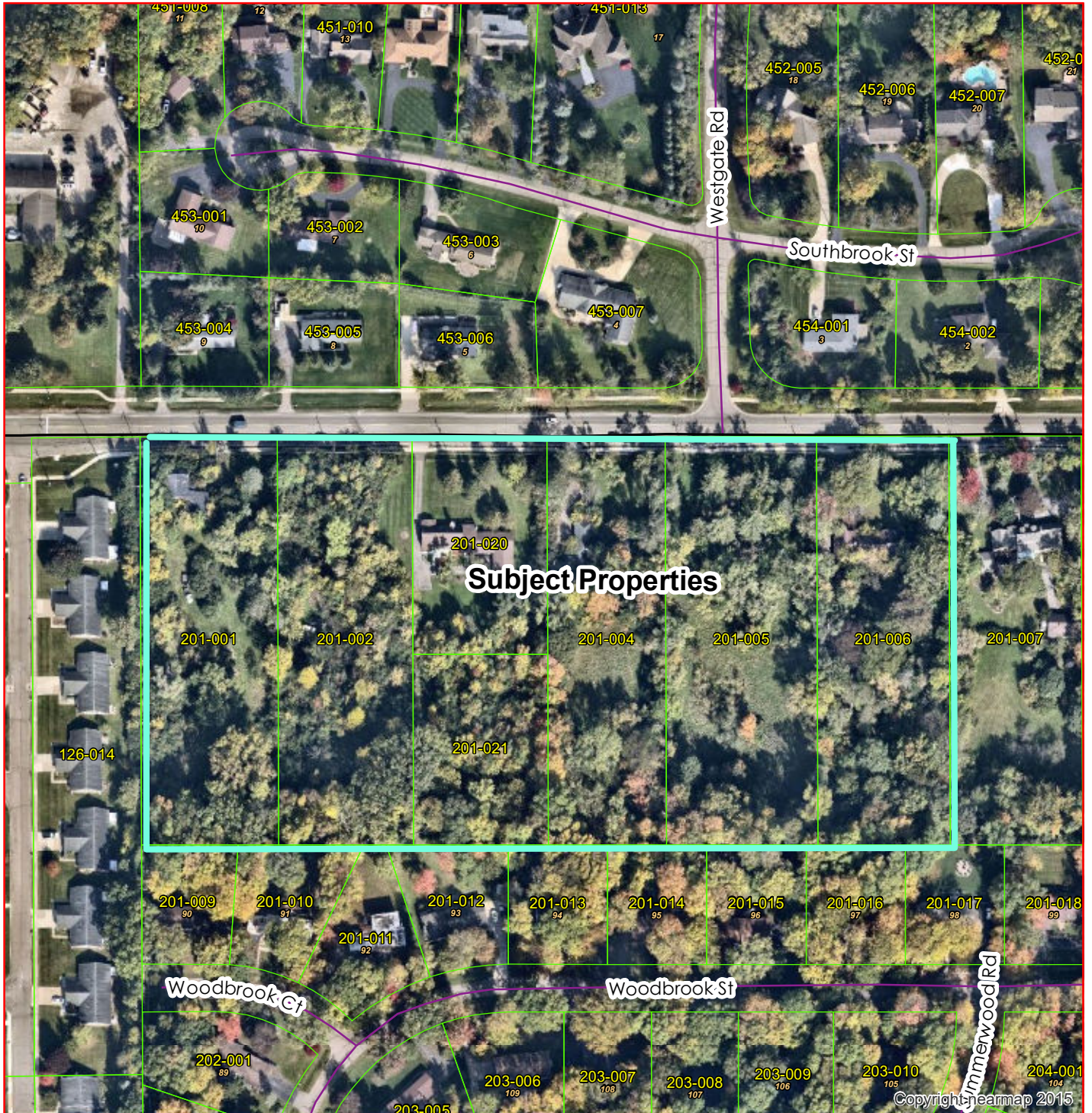


SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



**PUD Q 1, 2024, S. side of 13 Mile Rd.,  
 approx 0.3 miles W. of Middlebelt Rd.  
 11-201-001, 002, 004, 005, 006, 020 & 021.  
 Construct of ranch and townhomes in RA-1**



Tax parcel  
 Minor roads

**Planning Division**

SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.



April 11, 2024

Farmington Hills Planning Commission  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

# PUD Qualification Review

Case: PUD 1, 2024  
 Site: 29845, 29905, 29915, 30005, 30115 W 13 Mile  
 (Parcel ID 22-23-11-201-001, -002, -004, -005, -006, -020, -021)  
 Applicant: Schafer Development, LLC  
 Application Date: 3/19/2024  
 Zoning: RA-1 One Family Residential District (20,000 square feet)

We have completed a review of the application for PUD Qualification referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.





## SUMMARY OF FINDINGS

### Existing Conditions

1. **Zoning.** The site is currently zoned RA-1.
2. **Existing site.** The site is 12.04 acres and there are four houses present. The site has no wetlands or other notable natural features apart from trees, which are especially dense in the southern portion of the property. There are two development areas on the conceptual plan: the three easternmost properties are identified for a 2-story townhome development, and the four westernmost parcels are identified for age-restricted (55+) ranch homes.

3. **Adjacent Properties.**

Direction	Zoning	Land Use
North	RA-1	Single family homes
RA-1	RA-1	Single family homes
South	RA-1	Single family homes
West	RC-1	Baptist Manor

4. **Site configuration and access.** The site is proposed to be accessed from two driveways to 13 Mile Rd.

### Project Summary

The applicant's concept plan shows 40 units of attached, two-story townhouses in eight buildings, each including four to six units, and 36 units of attached, one-story, age-restricted ranch townhomes in nine buildings, each including three to five units. The age-restricted portion of the project is to be constructed in collaboration with Baptist Manor, which borders the site to the west.

Buildings are oriented toward a ring road with garages and driveways on the front façade. Structures are buffered from neighboring developments by a minimum 60-foot setback along the southern border, with a 35-foot greenbelt along 13 Mile Road.

### PUD Qualification

Under Section 34-3.20.2, the Planning Commission may make a determination that the site qualifies for a PUD based on the following criteria and procedures.

Criteria for qualifications. In order for a zoning lot to qualify for the Planned Unit Development option, the zoning lot shall either be located within an overlay district or other area designated in this chapter as qualifying for the PUD option, or it must be demonstrated that all of the following criteria will be met as to the zoning lot:

- A. The PUD option may be effectuated in any zoning district.
- B. The use of this option shall not be for the sole purpose of avoiding the applicable zoning requirements. Any permission given for any activity or building or use not normally permitted shall result in an improvement to the public health, safety and welfare in the area affected.  
*The proposed use—townhouses—is not permitted in the RA-1 district. However, this proposed use may be considered as a deviation from the ordinance as a part of the PUD. Density is*

*consistent with the RC-3 district.*

- C. The PUD shall not be utilized in situations where the same land use objectives can be accomplished by the application of conventional zoning provisions or standards. Problems or constraints presented by applicable zoning provisions shall be identified in the PUD application. Asserted financial problems shall be substantiated with appraisals of the property as currently regulated and as proposed to be regulated.

*The applicant is proposing density consistent with the RC-1 district. The Planning Commission should note that the site was carried forward from the 2009 Master Plan as a "special residential planning area." During the current planning process, it has been recognized that the thoroughfare frontage of the 13 Mile corridor, particularly between Orchard Lake and Middlebelt Roads, is less desirable for single-family residential lots. A flexible residential designation has been applied to the draft future land use map.*

- D. The Planned Unit Development option may be effectuated only when the proposed land use will not materially add service and facility loads beyond those contemplated in the Future Land Use Plan unless the proponent can demonstrate to the sole satisfaction of the city that such added loads will be accommodated or mitigated by the proponent as part of the Planned Unit Development.

*The number of attached units proposed on the site clearly exceeds the number of single-family units that could be built under RA-1 zoning (76 versus 26). The applicant should provide a traffic study to compare the likely traffic volume from this development to potential commercial development on the site. The complex would utilize two access points to 13 Mile Rd.*

- E. The Planned Unit Development must meet, as a minimum, one of the following objectives of the city. The applicant has provided responses to five of the PUD objectives.

- i. **To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.**

*The applicant notes that the attached concept plans include a substantial buffer to the neighboring subdivision. Rear yard buffers on the concept plan are generally 70 feet, with one ranch building at 60 feet.*

- ii. To permanently establish land use patterns which are compatible or which will protect existing or planned uses.

- iii. **To accept dedication or set aside open space areas in perpetuity.**

*The applicant proposes that the buffer area along the southern property line will be dedicated as an open space preservation area in perpetuity.*



- iv. To provide alternative uses for parcels which can provide transition buffers to residential areas.
- v. To guarantee the provision of a public improvement which could not otherwise be required that would further the public health, safety, or welfare, protect existing or future uses from the impact of a proposed use, or alleviate an existing or potential problem relating to public facilities.
- vi. **To promote the goals and objectives of the Master Plan for Land Use.**  
*The applicant provided responses citing the Master Plan. However, the goals and policies listed in the Applicant's response were specific to the West Side of Orchard Lake and South of Thirteen Mile Study Area, which does not contain the subject site.*
- vii. **To foster the aesthetic appearance of the city through quality building design and site development, the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.**  
*The applicant's response cites the southern perimeter setback for the provision of open space. In addition, the application notes the PUD will result in a unique townhouse development capable of producing an attractive for-sale community.*
- viii. **To bring about redevelopment of sites where an orderly change of use is determined to be desirable.**  
*The applicant's narrative also addresses this criterion.*

*Though only one objective must be met by the plan, the applicant's narrative addresses objectives i, iii, vi, vii, and viii.*

- F. The PUD shall not be allowed solely as a means of increasing density or as a substitute for a variance request; such objectives should be pursued through the normal zoning process by requesting a zoning change or variance.  
*An increase in density over current zoning is sought by the applicant. Given that the proposed use is not permitted in the underlying district, it appears that the request is not made solely to avoid a variance.*

### **Conceptual Site Plan & Use:**

1. **Summary of Proposed Use.** The applicant has submitted a conceptual site plan. The plan proposes 76 total units in 17 buildings; 40 two-story townhome units are proposed to be for-sale units, each including three bedrooms; a room count was not specified for the 36 ranch units. Access to the site would be from 13 Mile.
2. **Density.** The parcel is 524,462.4 square feet. Density is determined by the number of rooms. To determine the number of rooms, the following standard (Section 34-3.5.2.F.) is applied:

Two-bedroom unit: 3 rooms

Three-bedroom unit: 4 rooms

The applicant proposes 76 total units, including 40 three-bedroom units (160 rooms) and 36 ranch units, whose bedroom count is not given. The following densities are permitted under conventional zoning:

District	Lot Area/sq ft	Rooms permitted
RC-1	1,900	276 rooms
RC-2	1,400	374 rooms
RC-3	1,050	499 rooms

The proposed density is not possible to determine without bedroom counts for the ranch units, though it appears that the full project would be in line with maximum permitted density in the RC-1 district. Under RA-1 zoning, the maximum number of units available is 26.

3. **Master Plan.** The master plan’s Future Land Use map designates this site as Single Family, and it is part of a Residential Special Planning Area, titled 13 Mile Road Near Middlebelt (No. 1) in the 2009 Master Plan. This area covered several additional lots in that plan, and was identified as an area with the potential to be aggregated and redeveloped with a single access point off 13 Mile Rd. This planning area was identified for single family housing. The plan set the following goals for the area:

**Goals**

- Maintain the one-family residential use character of the road frontage on
- large lots
- Encourage assembly of parcels and development of one-family lots based on the concept plan
- Protect the natural features of the area; hillsides, trees

**Policies**

- Follow the concept plan under RA-1 zoning
  - Locate the primary residential street parallel to Thirteen Mile Road
  - Location of entrance roads from Thirteen Mile Road would be determined by timing of developments
  - Except for the west 300’, lots should back or side-lot to Thirteen Mile
- Road. Cul-de-sacs should be kept to about 600’ in length, Interconnect the streets over time
- Encourage names of developments that are similar in order to establish a unified identity for the area
- Allow flexibility in application of city standards
- Encourage flexibility in building setbacks
- Permit water retention in open space
- Consider the cluster option only when at least one side of the property in question borders on a use that is other than one-family detached land use
- Maintain the density as planned and zoned at 1.8 dwelling units per acre



4. **Dimensional Standards of the RA-1 district (34-3.1.4.E).** The applicant is seeking relief from the height limit of the district to permit a building height of 41 feet rather than the RA-1-permitted 30 feet.

Standard	RA-1 Requirement	Proposed (Concept)
Lot Size	20,000 sq ft	12.04 acres
Lot width	100 ft	Over 1,000 feet
Lot coverage	25%	Not specified on plans
Front setback	40 ft	50 ft
Rear setback	35 ft	60 ft
Side setback (east)	10 ft/25 total of two	35 ft
Side setback (west)	10 ft/25 total of two	35 ft
Building height	Max. 30 ft	Not given; two stories max

5. **Parking.** The applicant has proposed parking consistent with the requirements for 3-bedroom multi-family units.

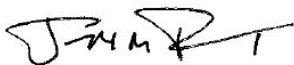
Standard	Required Parking	Proposed
Three BR Unit	2 spaces/unit	Each proposed townhouse unit includes a garage and driveway strip; Driveway strips will have to be long enough to accommodate vehicles.

6. **Circulation.** Concept plans do not show pedestrian circulation through the site; this, among other items, will be a point of discussion at final PUD if this plan is qualified.
7. **Landscaping (34-5.14) and Screening (34-5.14).** An area designated as recreation/open space should be provided as a part of the schematic landscape plan required at final PUD determination.
8. **Relief Sought from Ordinance Standards**
- Permit multi-family at RC-1 density.
  - Permit attached units.

Though we do not have detailed plans at this point, it is possible this plan could be achieved under RC-1 zoning.

We are available to answer questions.

Respectfully,  
**Giffels Webster**



Joe Tangari, AICP  
 Principal Planner



Current zoning





Master Plan designations for this area. See discussion above.

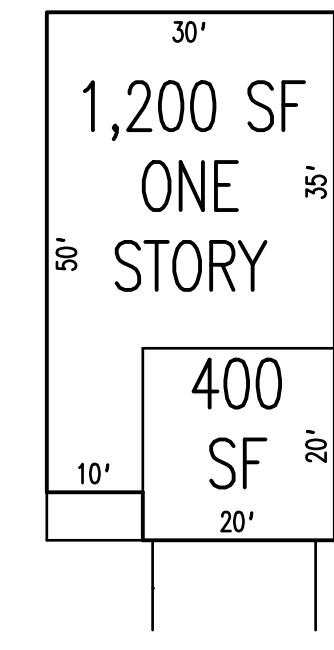
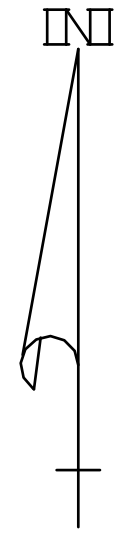




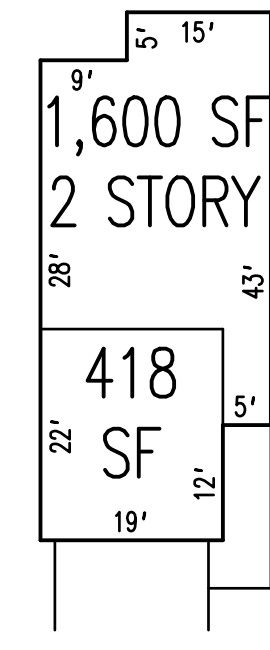
Wetland map



SCALE 1" = 40'



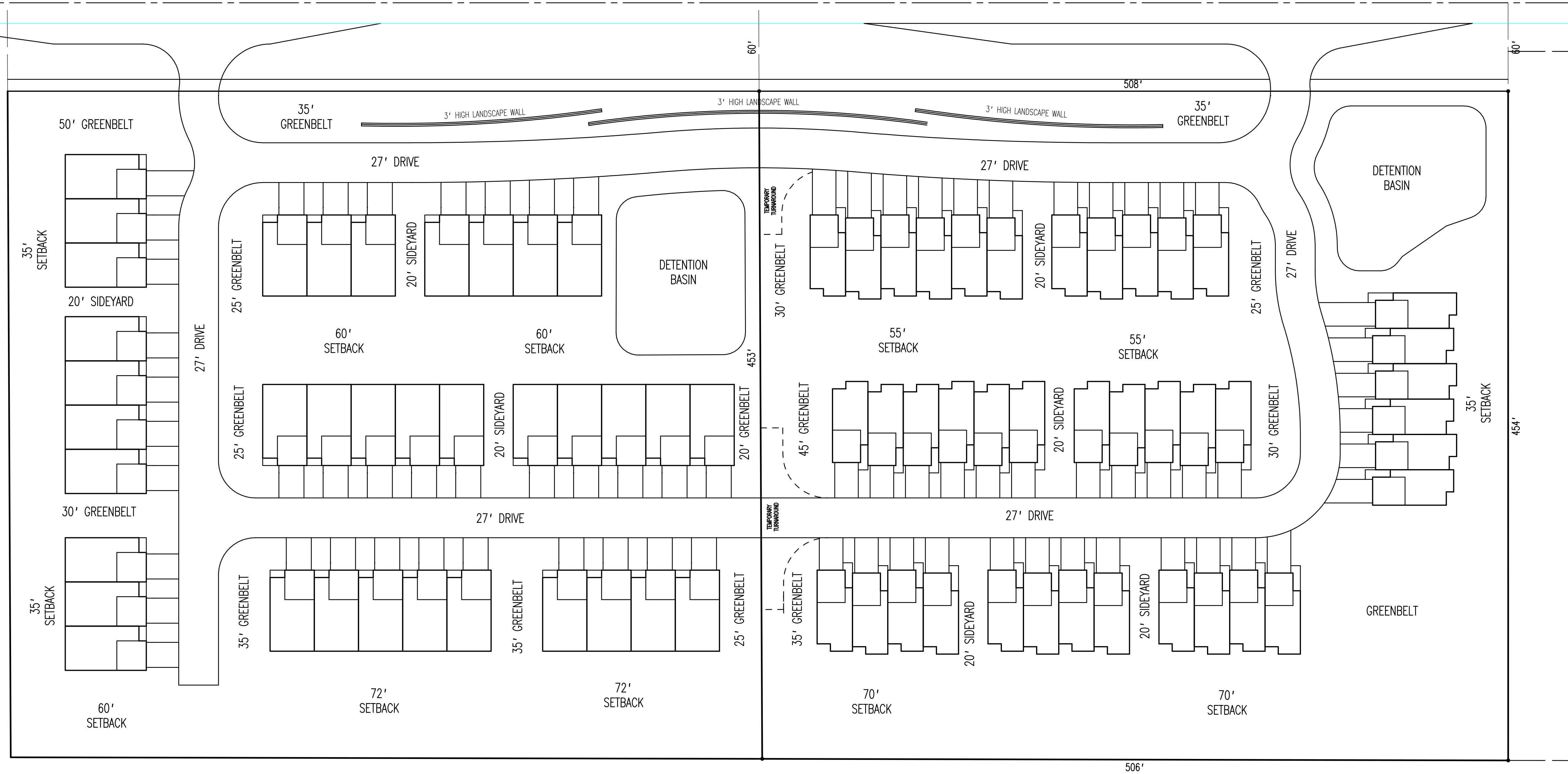
UNIT PLAN



UNIT PLAN

CONCEPT PLAN  
FOR  
PARCELS 13-11-201- 001, 002, 004,  
005, 006, 020 AND 021  
CITY OF FARMINGTON HILLS, MICHIGAN

W 13 MILE ROAD



36 UNITS

40 UNITS

Date: March 19, 2024

To: City of Farmington Hills, Planning Office

From: Schafer Development, LLC

CC: MOBI Investments, LLC + Detroit Baptist Manor – Qualification for PUD Option

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## Summary of Changes to Qualification for PUD Option Submittal

- On February 14, 2024, *Schafer Development, LLC* (“Schafer Development”) submitted a *Qualification for PUD Option* and a *Project Narrative* for the *MOBI Investments, LLC* (“MOBI Investments”) property:
  - **After meeting with the adjacent homeowners’ associations, Schafer Development has withdrawn its ORIGINAL February Submission in favor of the REVISED March Submission.**
  - The Original Submission consisted of:
    - **54 – 16’ Wide 3-Story Townhomes on the MOBI Investments property**
- Since the Original Submission, the Schafer Development team had the opportunity to meet with *Detroit Baptist Manor / Metropolitan Detroit Baptist* (“Baptist Manor”). Schafer Development + Baptist Manor are coordinating their efforts on a *Qualification for PUD Option* concurrently, to ensure both properties are being developed in a cohesive and complementary land use pattern.
  - The Revised (March) Submission consists of:
    - **36 – 30’ Wide 1-Story (55+ Age-Restricted) Ranch Homes on the Baptist Manor property**
    - **40 – 24’ Wide 2-Story Townhomes on the MOBI Investments property**
  - The **Ranches** and **Townhomes** will be developed in separate phases.

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## Qualification for PUD Option

Schafer Development is formally requesting that the City of Farmington Hills consider an application for a mixed-use, multi-generational Planned Unit Development (PUD). The PUD will consist of two distinct housing types: (i) **1-story Ranch 55+ age-restricted homes on the Baptist Manor property** and (ii) **2-story for-sale Townhomes on the MOBI Investments property**. Along with this narrative, Schafer Development is providing the required submittal materials prepared in accordance with the Qualification for PUD Option Application:

- Eight (8) 24” x 36” copies of Schematic Land Use Plan
- One (1) electronic version of the Land Use in PDF Format – emailed to the Planning Office
- Fifteen (15) 11” x 17” reduced copies of Land Use Plan
- **MOBI Investments Parcel: Proof of Ownership – Purchase Agreement and Title Commitment**
- **Baptist Manor Parcel: Proof of Ownership – BS&A Residential Profiles (included in revised submittal)**



**Location, Property Identification and Authorization:**

The *MOBI Investments* property measures **5.98 Acres** and the *Detroit Baptist Manor* property measures **6.06 Acres**. Collectively, the Subject Properties measures **12.04 Acres**. The Subject Properties are located on the south side of 13 Mile Road, west of Middlebelt Road and directly south of the *Westgate* / north of the *Holly Hill Farms* residential communities.

The property addresses and Tax ID numbers are listed below:



Parcel	Owner	Address	Parcel I.D.
1	MOBI Investments	29845 W. 13 Mile Road	22-23-11-201-006
2	MOBI Investments	29905 W. 13 Mile Road	22-23-11-201-005
3	MOBI Investments	29915 W. 13 Mile Road	22-23-11-201-004
4	Baptist Manor	30005 W. 13 Mile Road	22-23-11-201-020
5	Baptist Manor	W. 13 Mile Road	22-23-11-201-021
6	Baptist Manor	W. 13 Mile Road	22-23-11-201-002
7	Baptist Manor	30115 W. 13 Mile Road	22-23-11-201-001

The MOBI Investments property is under contract via Purchase Agreement between **Schafer Development** (the “Contract Purchaser”) and **MOBI Investments** (the “Owner”).

**Schafer Development** is coordinating with **Baptist Manor** to collectively secure our *Qualification for PUD Option* approval. The reason being is to assure the City of Farmington Hills and adjacent residential communities that the overall PUD community will be developed in a cohesive and complementary land use pattern.

**Homeowners’ Association Outreach – Westgate and Holly Hill Farms:**

Schafer Development met with the members of the **Westgate HOA** (on February 2, 2024) and **Holly Hill Farms HOA** (on February 6, 2024) to solicit feedback from the surrounding neighborhoods on our Concept Plan. In addition, Schafer Development met with **Westgate residents** (on March 3, 2024) at their annual HOA Meeting. The

Schafer Development team is working to schedule meetings with **Holly Hill Farms residents / HOA** after the Easter holiday to share the revised Concept Plan.

**We discussed five major items regarding the earlier / original Concept Plans for the MOBI Investments Property:**

**1) Density**

Project	Use	Acreage	Unit Count	Density
<b>Chaldean Community Foundation</b> (3-Story Apartments)	Rental Apartments	5.98 AC	100 DU	<b>16.72 DU/AC</b>
<b>Schafer Development</b> (2-Story Townhomes)	For-Sale Residential	5.98 AC	40 DU	<b>6.69 DU/AC</b> <i>(60 % Density Reduction)</i>

- The **Original (February) Submission** showcased 54 – 3-story townhomes and is **46% less dense** than the prior 100-unit plan submitted by MOBI Investments.
- The **Revised (March) Submission** showcases 40 – 2-story townhomes and is **60% less dense** than the prior 100-unit plan submitted by MOBI Investments.

**2) MHSDA Affordable Housing Component vs. For-Sale Townhomes**

- The Schafer Development plan consists of a for-sale townhouse community, positioned to the young / first-time homebuyer demographic. The MOBI Investments proposal included a subsidized apartment development for seniors.
- **MOBI Investments Property:** The townhomes will be marketed towards young families with school-age children, which will benefit the Farmington Hills School District by bringing additional students into the district.
- **Baptist Manor Property:** The ranch homes will be a 55+ age-restricted community.

**3) Setback to Holly Hill Farms Subdivision**

- The primary concern of the *Holly Hill Farms* HOA was the proposed setback to the 5x residences that border to the Subject Property. A large part of our conversation was regarding changes that could be implemented into our Concept Plan to produce the largest possible perimeter setback to these homes.
- **MOBI Investments Property:** A 70' foot rear-yard setback from the rear of the townhomes to the shared property line with *Holly Hill Farms*.
- **Baptist Manor Property:** Between a 60' – 72' setback from the ranches to the shared property line with *Holly Hill Farms*.

**4) Proposed Building Height**

- The Schafer Development team stated in its meetings with *Holly Hill Farms* that its objective is to create a larger setback along the shared southern property line, to permit a more substantial preservation of existing trees and natural features. If Applicant receives PUD Qualification approval, details regarding setbacks and possible natural features protection area will be formalized in a future site plan submittal.



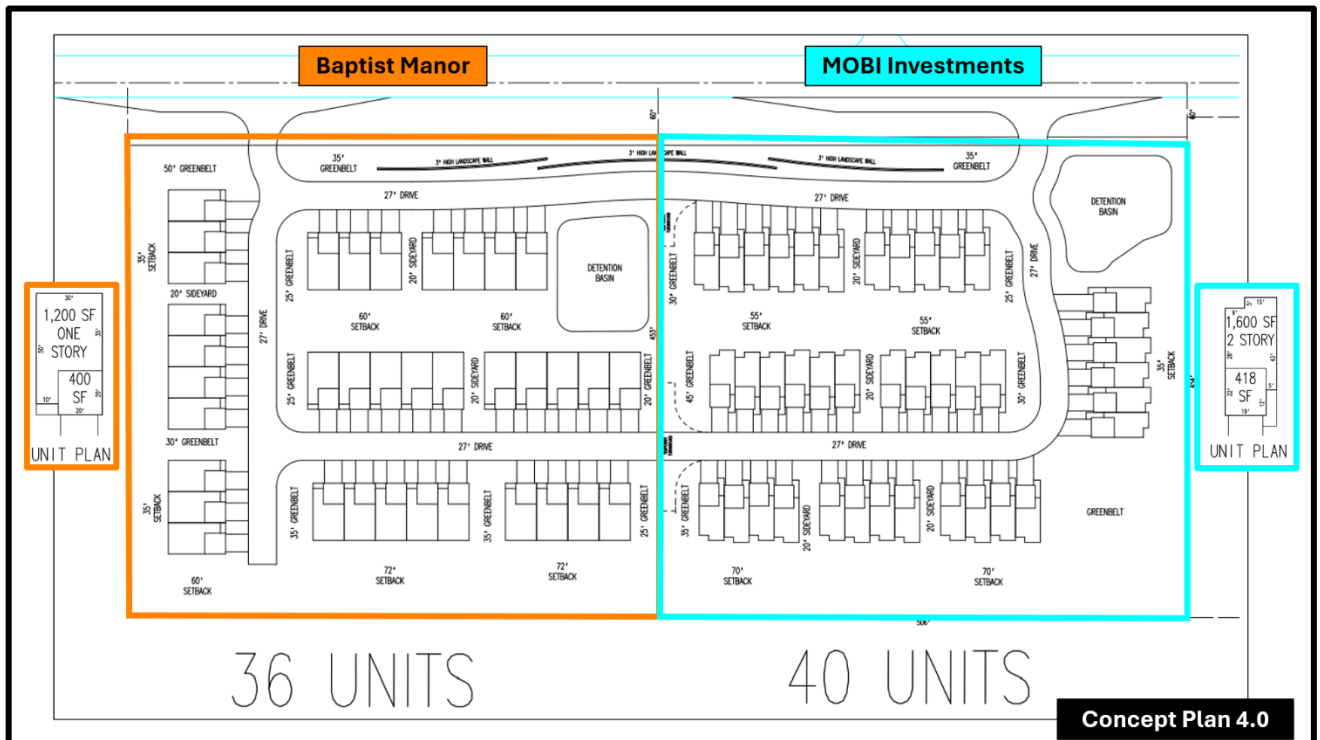
- MOBI Investments Property:** Further details are contained in the latter half of this narrative, but the building height to the midpoint of the roofline is 26' – 4". *Holly Hill Farms* HOA members voiced concerns over the prior plans, which featured 3-story townhome buildings. Therefore, we decided to retool the Concept Plan with a less intense 2-story townhome unit. The building height complies with the 30' maximum building height allowed under the RC Ordinance.
- Baptist Manor Property:** Ranch units to be shorter than the proposed townhomes on the MOBI Investments property. If PUD Qualification is granted, Baptist Manor will be submitting proposed ranch home plans as part of a formal submittal.

**5) Traffic Volume**

- A secondary concern brought to our attention by the *Westgate* HOA was traffic volumes from the proposed development. If PUD Qualifications are granted, the Applicant will perform a traffic study to ensure there are no adverse impacts to the adjacent residents.

**Concept Plan – For-Sale Residential Townhomes**

**Concept Plan 4.0:** The revised Concept Plan has been included in the submittal. Using the RC District guidelines, Concept Plan 4.0 is compliant with the rear yard setback requirements of Section 34-3.5.2.E of the Zoning Ordinance. If the Applicant is granted PUD Qualification, they will endeavor to create the most attractive townhome plan, while preserving substantial buffers to adjacent residences.



**MOBI Investments – Proposed Townhome Product**

The Concept Plan depicts a 40-unit townhome community. The proposed development yields a density of 6.69 units per gross acre. The product is a 2-story townhome. The midpoint to the roofline is 26' - 4" above the finished floor.

The townhome is designed with 3 bedrooms, with the primary target market being first-time homebuyers, including but not limited to, recent graduates, singles, young couples or families – looking to establish roots in the City of Farmington Hills. We envision that many young families with school-aged children will be attracted to the townhome community. This will be an attainable housing solution for this demographic, who has long been locked out of the new Single-Family housing market due to rising sales prices.

The proposed townhome is an already constructed product by **Pulte Homes**, who will be the builder of the townhome community. Over the past 20+ years, Schafer Development has developed dozens of communities with **Pulte Homes**. The featured product has been designed as a form of attainable housing for a younger buyer, offering a 24-foot-wide floorplan with a 2-car garage.



**Representative Front Elevation**



**Representative Rear Elevation**



**Interior Images**



### Baptist Manor – Proposed Ranch Product



### Criteria for Qualification – 34.220 Planned Unit Development

2.E. The Planned Unit Development must meet, as a minimum, one of the following objectives of the City:

**The Applicant has provided responses to five (5) of the PUD objectives:**

- i. To permanently preserve open space or natural features because of their exceptional characteristics or because they can provide a permanent transition or buffer between land uses.
  - **Response:** The Applicant has met with HOA representations from *Holly Hill Farms* subdivision, where it was determined the most important design feature of the Concept Plan was the proposed perimeter setback to their subdivision—particularly the 5x residences on the shared property line. The attached Concept Plans have provided a substantial buffer to the subdivision over and above the RC Ordinance requirements, which requires a minimum perimeter setback of 50-feet. Southern perimeter setbacks are proposed at 70-feet for the 2-story townhomes and between 60-72' for the 1-story ranches.
- iii. To accept dedication or set aside open space areas in perpetuity.
  - **Response:** During formal engineering design, the Applicant will create a buffer area along the southern property line that will be dedicated as an Open Space Preservation Area in perpetuity.
- vi. To promote the goals and objectives of the Master Plan for Land Use.
  - Goal #1: Encourage development that would enable consolidation of currently unrelated sites.
    - **MOBI Investments Property Response:** The proposed townhome community is situated on three unrelated and vacant single-family parcels.
    - **Baptist Manor Property Response:** A cohesive ranch community is being proposed on the four Baptist Manor parcels.
  - Goal #2: Where more intensive development results, improve the buffers to residential uses through substantial greenbelts.

- **Response:** Substantial rear yard / perimeter setbacks have been proposed to the existing subdivision to the south, to propose the least disturbance to existing homeowners.
- **Goal #3:** Require interconnecting easements (or stub streets) to implement access management.
  - **Response:** A system of interconnected streets has been proposed between the two Subject Properties.
- vii. To foster the aesthetic appearance of the city through quality building design and site development, the provision of trees and landscaping beyond minimum requirements; the preservation of unique and/or historic sites or structures; and the provision of open space or other desirable features of a site beyond minimum requirements.
  - **Response:** A desired feature based on feedback from the *Holly Hill Farms* HOA is a substantial southern rear yard / perimeter setback. The Applicant has designed multiple Concept Plans to craft a plan that proposes the greatest possible setback to *Holly Hill Farms*.
- viii. To bring about redevelopment of sites where an orderly change of use is determined to be desirable.
  - **Response:** The Applicant is aware that the Subject Properties and other parcels along the 13 Mile Road corridor – between Middlebelt Road and Orchard Lake Road – will receive updated future land use designations as part of the new Master Plan. The Applicant has endeavored to craft a plan that clusters the proposed development and proposes the least amount of disruption to adjacent neighbors.

### Existing Zoning and Use

The property is currently zoned **RA-1 One Family Residential District** and is master planned for **Single-Family Residential**. The adjacent property owner zoning districts are listed below:

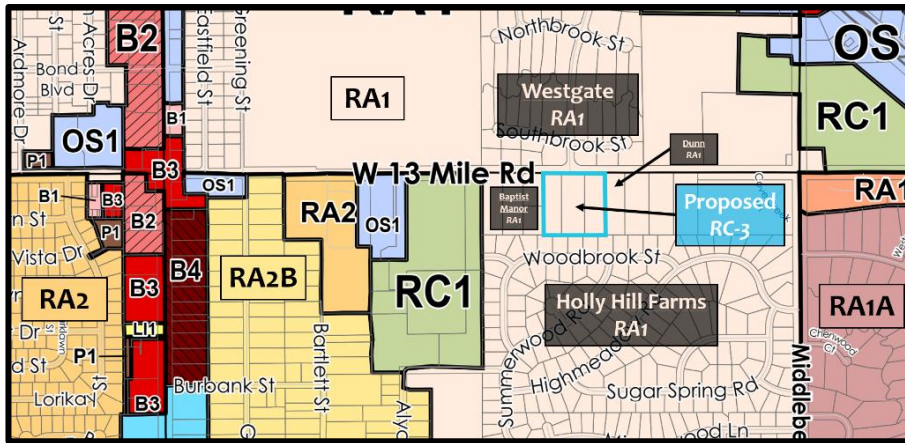
To the North, **Westgate** is a single-family residential community zoned **RA-1**.

To the East, **Detroit Baptist Manor** is a single-family rental use zoned **RA-1**.

To the South, **Holly Hill Farms** is a single-family residential community zoned **RA-1**.

To the West, the **Dunn Property** is a single-family home zoned **RA-1**.





City of Farmington Hills – Zoning Map (06.2023)

To our immediate west, there are more intense office, commercial and higher density residential developments. To our east, the *Cove Creek* condominium community was rezoned and approved as a PUD. We believe there is strong justification for a PUD at the Subject Properties, as it will result in a transitional housing type in between these more intense uses and the adjacent single-family communities. The proposed townhomes will bring a much-needed attainable form of housing to the young / first-time homebuyer demographic. The proposed ranches will provide additional empty-nester housing solutions for aging Farmington Hills residents, providing them options to age-in-place within the community.

Conclusion

We thank you in advance for your consideration of the Qualifications for PUD Option Application. Schafer Development has a longstanding history within the City, and we look forward to working on another development opportunity within the community!

Sincerely,

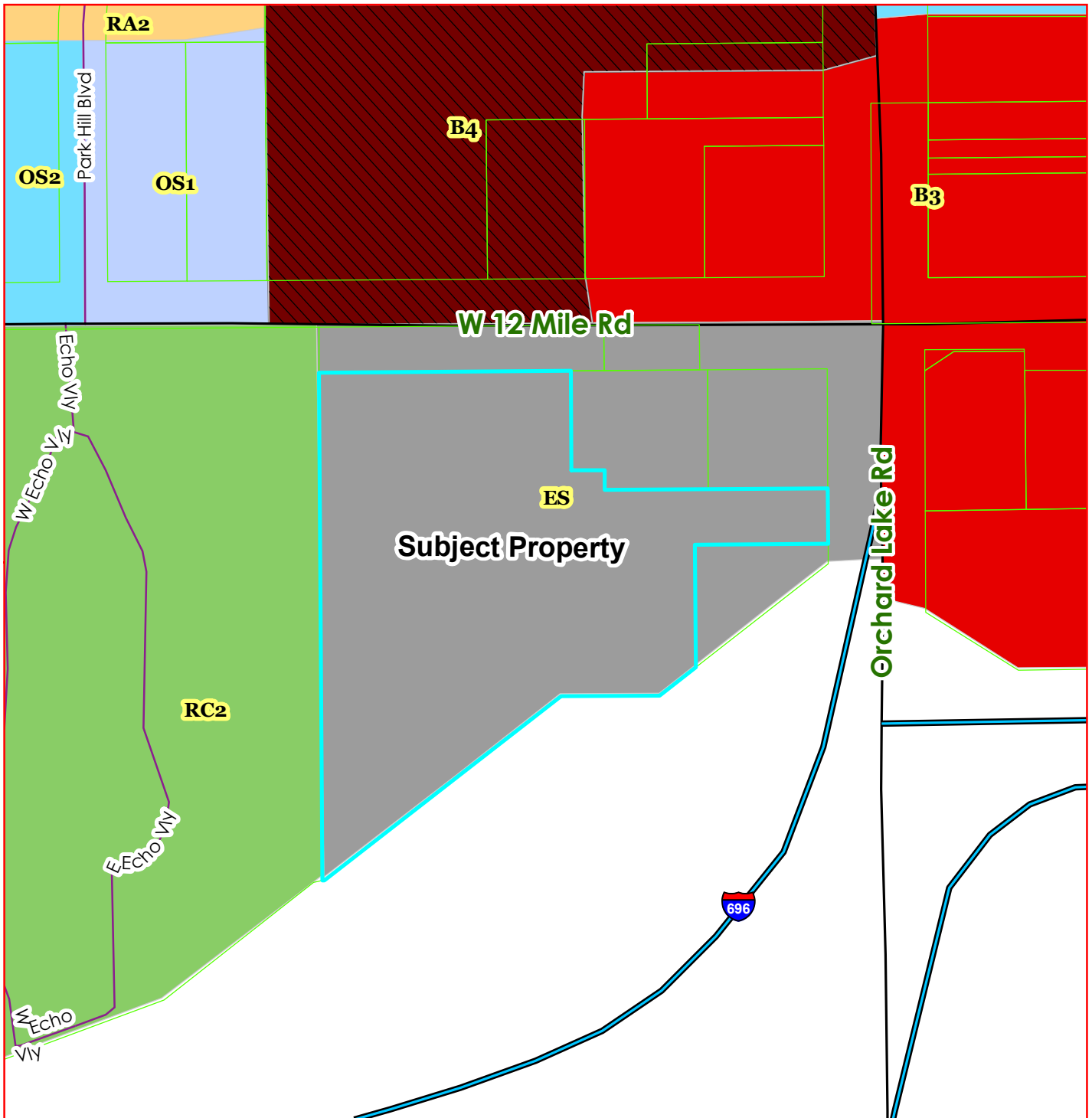
**The Schafer Development Team**

**Steven Schafer**  
 P: (248) 613-6262  
 E: [steve@schafer-dev.com](mailto:steve@schafer-dev.com)

**Spencer Schafer**  
 P: (248) 914-7499  
 E: [spencer@schafer-dev.com](mailto:spencer@schafer-dev.com)

**Aaron Schafer**  
 P: (248) 660-4454  
 E: [aaron@schafer-dev.com](mailto:aaron@schafer-dev.com)

**Amend PUD 1, 2021 Including revised SP 54-2-2021  
 31525 Twelve Mile Rd., 15-201-270 ES  
 Conversion of hotel building into independent living facility**



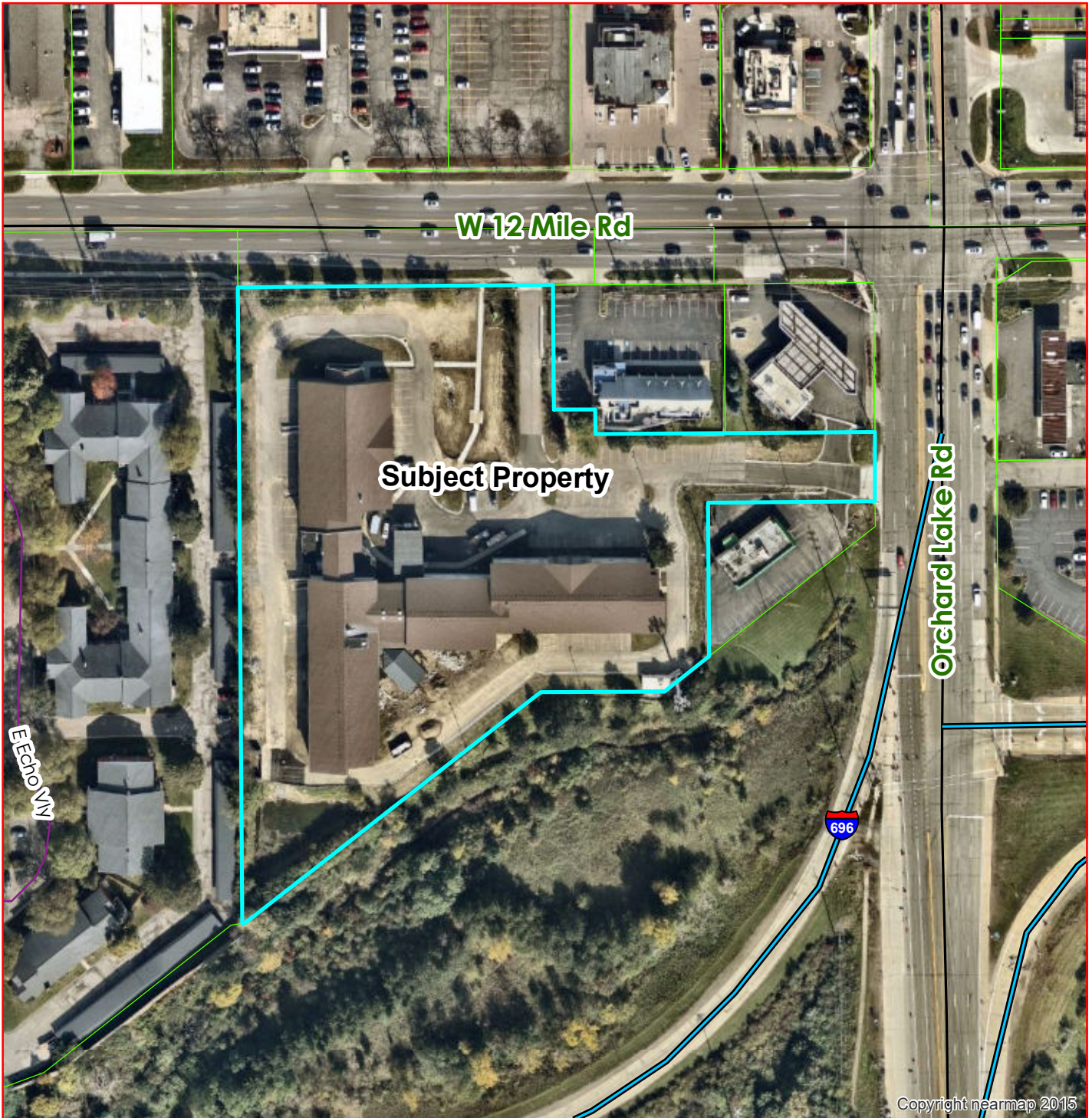
<ul style="list-style-type: none"> <li><span style="border: 1px solid green; display: inline-block; width: 15px; height: 10px; margin-right: 5px;"></span> Tax parcel</li> <li><span style="border-bottom: 1px solid purple; width: 20px; margin-right: 5px;"></span> Minor roads</li> </ul> <p><b>Zoning Districts</b></p> <ul style="list-style-type: none"> <li><span style="background-color: red; width: 15px; height: 10px; margin-right: 5px;"></span> B-3 General Business District</li> <li><span style="background-color: brown; width: 15px; height: 10px; margin-right: 5px;"></span> B-4 Planned General Business District</li> </ul>	<ul style="list-style-type: none"> <li><span style="background-color: grey; width: 15px; height: 10px; margin-right: 5px;"></span> ES Expressway Service District</li> <li><span style="background-color: lightblue; width: 15px; height: 10px; margin-right: 5px;"></span> OS-1 Office Service District</li> <li><span style="background-color: cyan; width: 15px; height: 10px; margin-right: 5px;"></span> OS-2 Planned Office Service District</li> <li><span style="background-color: orange; width: 15px; height: 10px; margin-right: 5px;"></span> RA-2 One Family Residential District</li> <li><span style="background-color: green; width: 15px; height: 10px; margin-right: 5px;"></span> RC-2 Multiple Family Residential</li> </ul>
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SOURCE: City of Farmington Hills, 2022  
 Oakland County GIS, 2022

DISCLAIMER: Although the information provided by this map is believed to be reliable, its accuracy is not warranted in any way. The City of Farmington Hills assumes no liability for any claims arising from the use of this map.

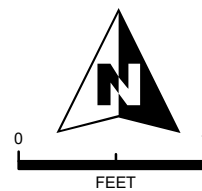


**Amend PUD 1, 2021 Including revised SP 54-2-2021  
31525 Twelve Mile Rd., 15-201-270 ES  
Conversion of hotel building into independent living facility**



**Planning Division**

- Tax parcel
- Minor roads



SOURCE: City of Farmington Hills, 2022  
Oakland County GIS, 2022

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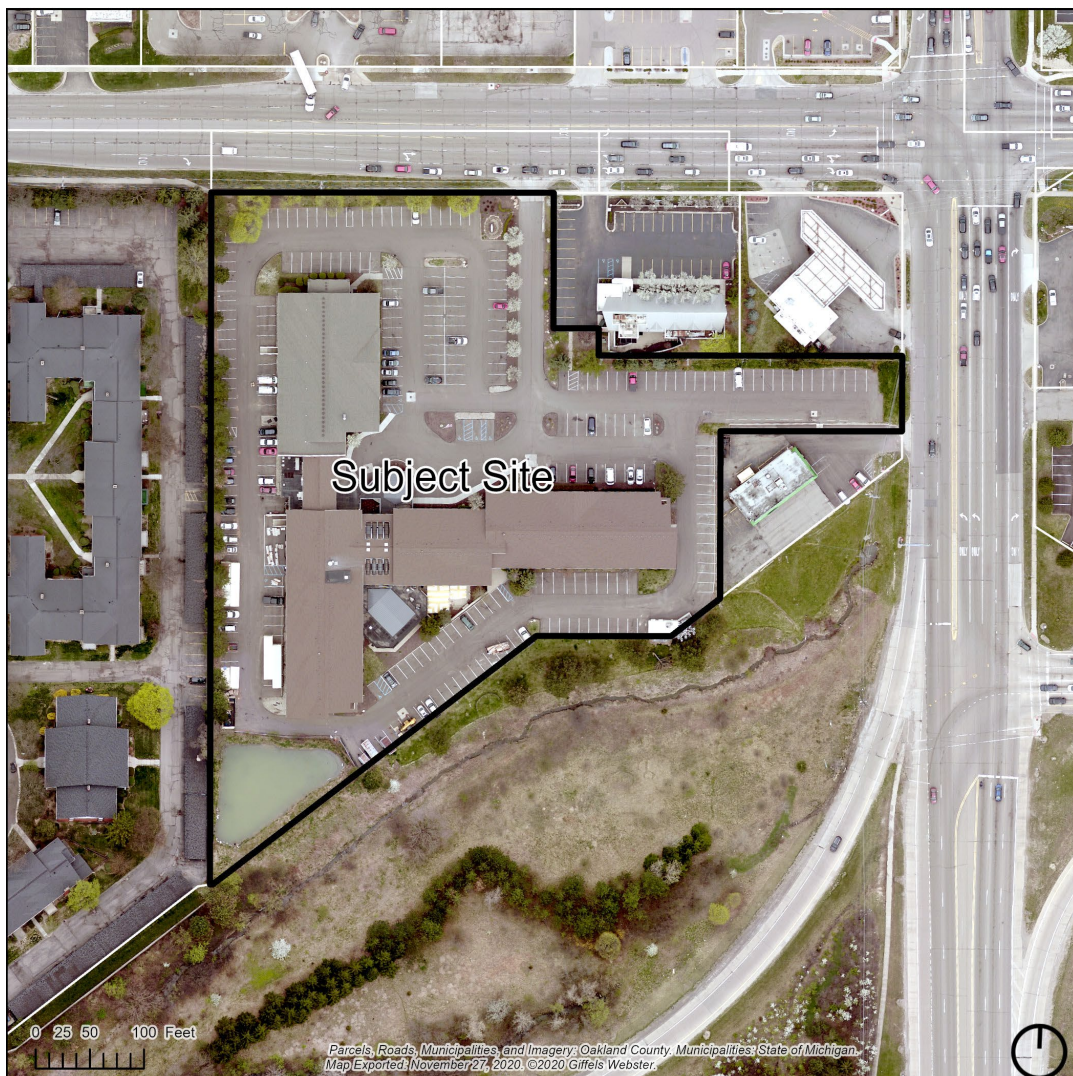
February 8, 2023

Farmington Hills Planning Commission  
31555 W 11 Mile Rd  
Farmington Hills, MI 48336

## PUD Amendment Qualification

Case: Amendment to PUD 1, 2021  
Site: 31525 12 Mile Rd (Parcel ID 22-23-15-201-270)  
Applicant: Comfort Care  
Application Date: 3/19/2024  
Zoning: ES Expressway Service w/ PUD

We have completed a review of the application for PUD qualification referenced above and a summary of our findings is below. Items in **bold** require specific action by the Applicant. Items in *italics* can be addressed administratively.



## SUMMARY OF FINDINGS

### Existing Conditions

1. **Zoning.** The site is currently zoned ES Expressway Service and is part of PUD 1, 2021.
2. **Existing site.** The site is 4.96 acres and is developed with a three-story hotel with access to 12 Mile Road via a single driveway.
3. **Adjacent Properties.**

Direction	Zoning	Land Use
North	B-4	Commercial
East	ES	Restaurants, gas station
South	I-696	Highway interchange
West	RC-2	Multi-family development

4. **Site configuration and access.** The site is accessible from 12 Mile Road via one driveway, with an approved, under-construction connection to Orchard Lake Road.

### PUD Amendment:

The applicant proposes to amend the PUD to make all 131 units independent living, whereas the approved PUD contains a mix of 21 studio memory care units, 51 assisted living units, and 56 independent living units (11 studios, 41 one-bedroom units, and 4 two-bedroom units).

Per Section 34-3.20.5.G, “Proposed amendments or changes to an approved PUD plan shall be submitted to the planning commission. The planning commission shall determine whether the proposed modification is of such minor nature as not to violate the area and density requirements or to affect the overall character of the plan, and in such event may approve or deny the proposed amendment. If the planning commission determines the proposed amendment is material in nature, the amendment shall be reviewed by the planning commission and city council in accordance with the provisions and procedures of this section as they relate to final approval of the Planned Unit Development.”

As the planning commission considers whether the amendment constitutes a minor or major amendment to the PUD, it should consider that the precise nature of the use has changed, and that the degree of relief from parking requirements has changed with it (with the previous unit mix, the required number of spaces was 83, and 95 were provided; the applicant now proposes 85 spaces where more than that are required; the applicant claims 140, though this can’t be verified without bedroom counts).

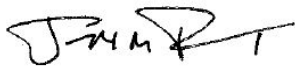
**If the PC makes a determination that this is a major amendment to the PUD, the PC will set a public hearing on the amendment and make a recommendation to Council.**

Site plan approval would follow amendment of the PUD agreement, or may also be approved concurrently. Site plans included with this submission, dated 7/16/22, are not updated to reflect the new unit mix sought.

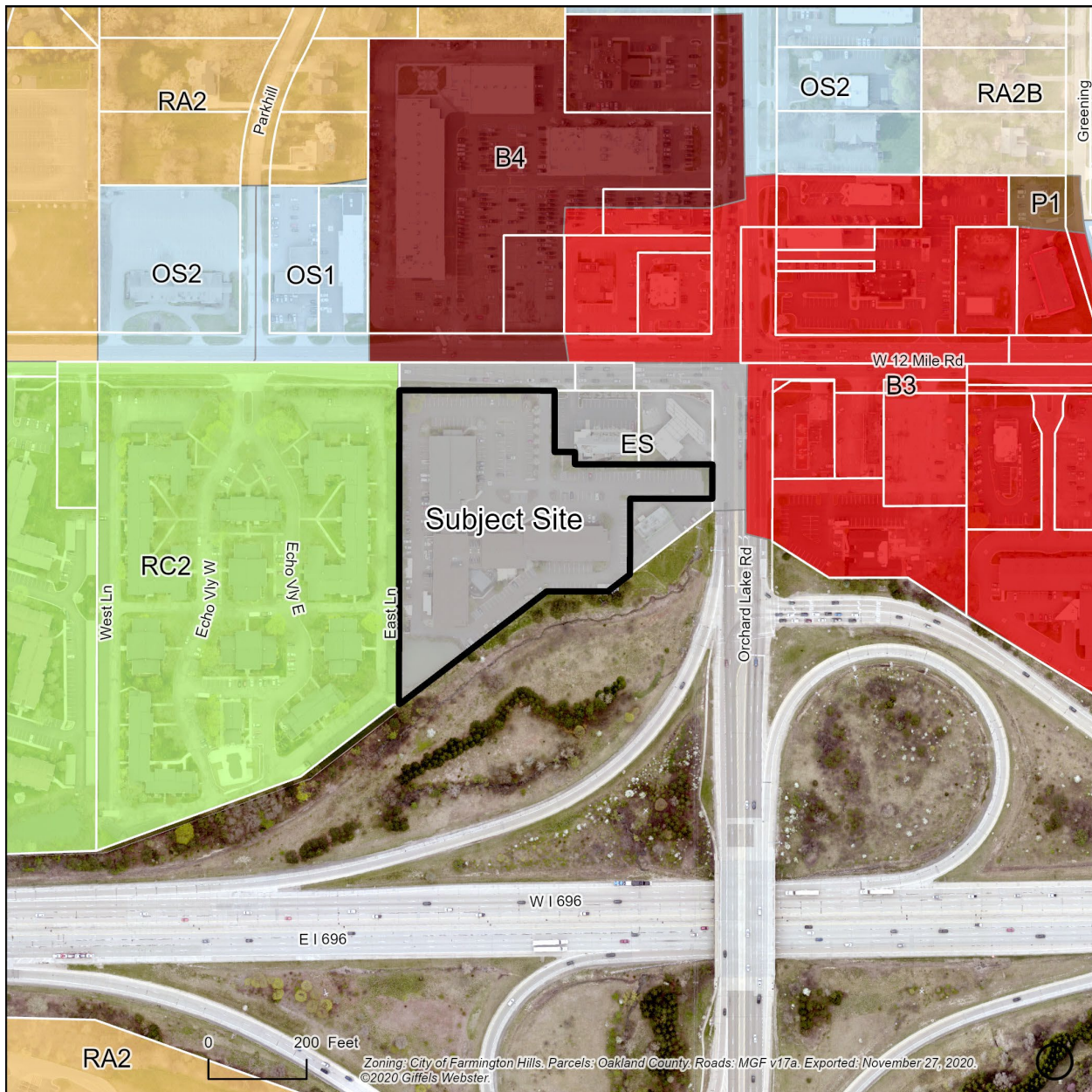
We are available to answer questions.



Respectfully,  
Giffels Webster

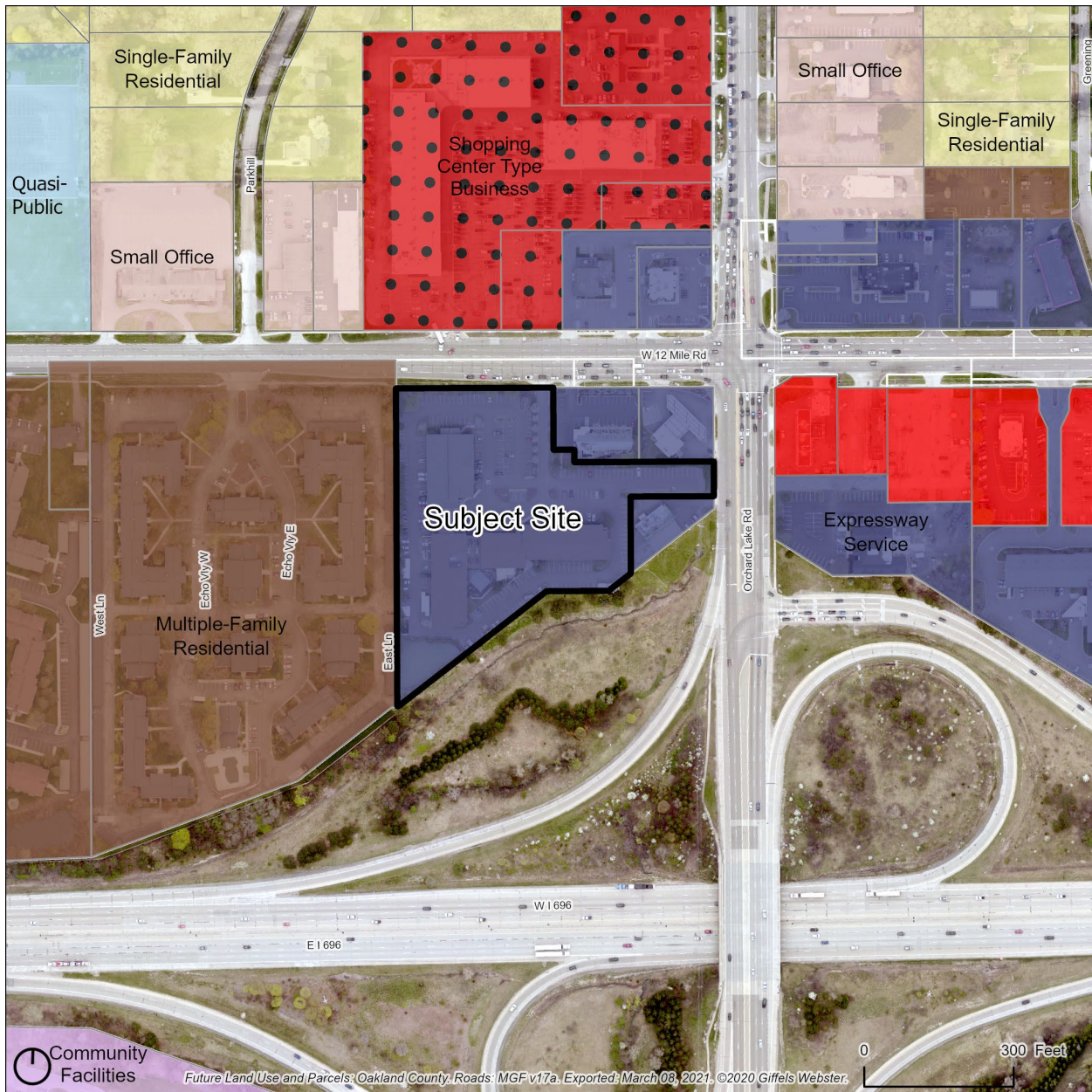


Joe Tangari, AICP  
Principal Planner



Current zoning





Future Land Use





DEPARTMENT OF PUBLIC SERVICES  
JACOB RUSHLOW P.E., DIRECTOR

INTEROFFICE CORRESPONDENCE

**DATE:** April 8, 2024  
**TO:** Planning Commission  
**FROM:** James Cubera, City Engineer  
**SUBJECT:** Comfort Care Senior Living  
Revised PUD 1, 2021  
PJ #: 15-21-51 SP#: 54-2-2021  
31525 12 Mile Road  
22-23-15-201-270

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This office has performed a preliminary review of the above referenced plan submitted to the Planning Department on March 25, 2024. We have met with the Planning Department and note that there are no proposed site changes from the approved plan. Therefore, we have no additional comments at this time.

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# FIRE

## FARMINGTON HILLS



### INTEROFFICE CORRESPONDENCE

**DATE:** April 4, 2024  
**TO:** Planning Commission  
**FROM:** Jason Baloga, Fire Marshal  
**SUBJECT:** PUD Qualification 1-2021 (31525 Twelve Mile)  
Comfort Care Senior Living

The Fire Department has no objection to the qualification of this proposed project; however, the Planning Department should consider the impact of senior living facilities as they relate to Fire Department operations. A recent study of senior care facilities in Farmington Hills has found an average of one (1) medical incident per year, per bed; therefore, by using this average, this project will increase the Fire Department's run volume by the number of beds proposed in this facility.

1. Sites shall be designed to accommodate fire apparatus with a 50' turning radius.
2. The current plans do not clearly show existing hydrant coverage to be verified. The Fire Department prefers adding a hydrant on the north side of the new access drive off Orchard Lake Road near the lot line between the Mobile and restaurant.
3. Ensure that Item #3 Item I and J referencing elevators and generators are adhered to in the PUD agreement. **Proponent has not discussed this with the Fire department.**
  - i. "An onsite generator or other form of fire department approved long-term emergency power shall be provided to the building."
  - j. "At least one accessible elevator large enough to accommodate a cot in the supine position and sufficient emergency personnel and equipment to ensure proper care can be provided to critical patients when transporting patients from the building."
4. A written description of services provided to residents shall be provided to the Fire Department to help determine State/Local jurisdiction requirements. **This has not been satisfied since originally requested in 2021.**
5. EV Chargers shall be installed according to all applicable codes and NFPA Standards. EV Chargers shall have disconnected signage approved by the Fire Department and electrical inspector.
6. Any interior modifications shall be subject to applicable permits through the City's Building Department.

7. An entire re-review will be required of the sprinkler system, fire alarm system, and proposed Kitchen Suppression Systems in their entirety, based on the change of use and interior alterations made which may affect the systems.
8. Re-acceptance tests shall be required for kitchen, fire alarm and suppression systems.
9. An Emergency Responder Radio Coverage system shall be required if it is determined that signal strength is not adequate.
10. The minimum clearance between the finished roadway surface and any overhead obstruction shall be 13' 6".
11. The Fire Department Connection (FDC) shall be a 5" Storz with a 30° downturn. The location of the FDC shall be approved by the Fire Department.
12. If a fire pump is required, a diesel pump or on-site generator shall be provided; DTE is not considered a reliable power source.
13. In multiple story building, provide floor control valves with water flow and tamper switches for each floor.
14. No parking fire lane signs shall be posted and strictly enforced.
15. The building shall be properly maintained and in accordance with Fire Prevention Code requirements.



Jason Baloga, Fire Marshal



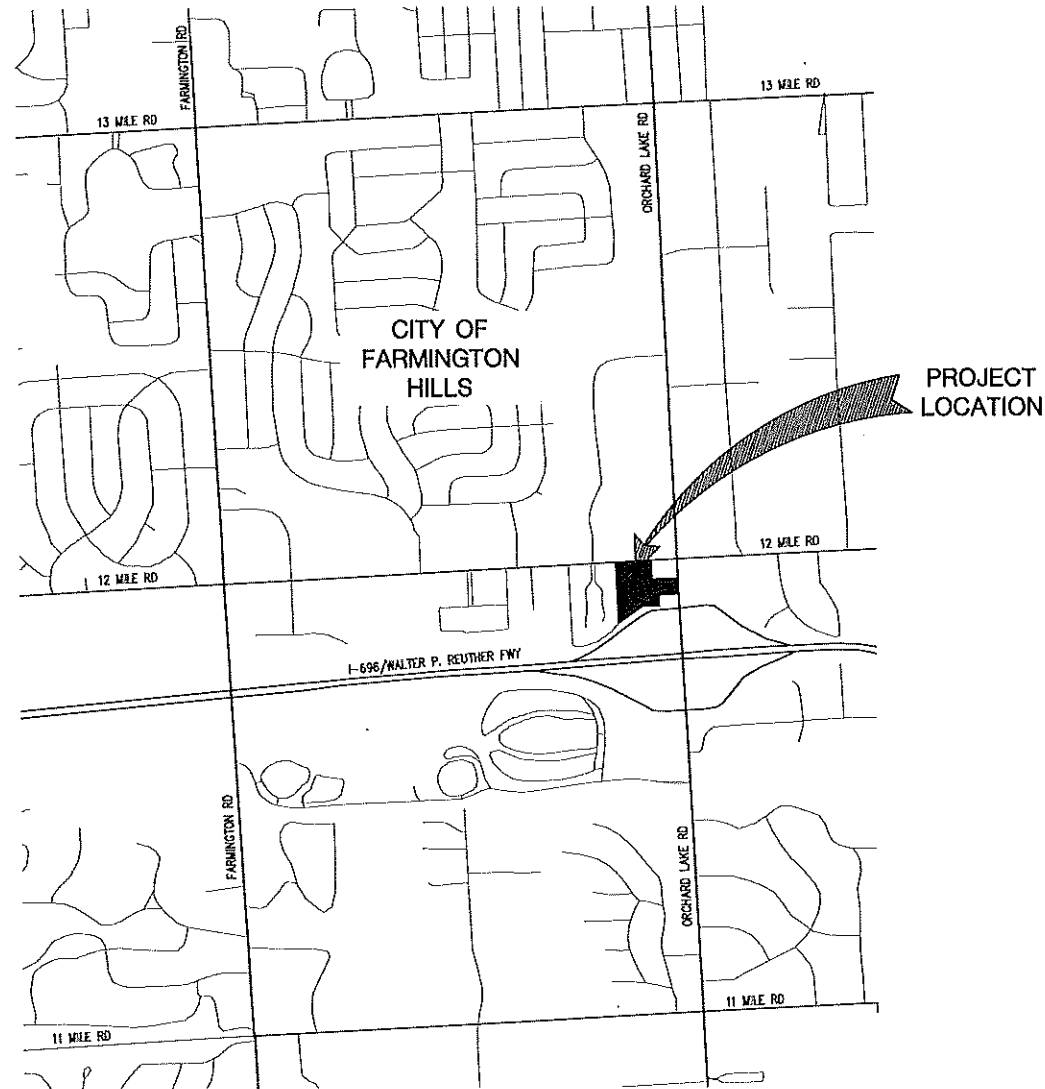
# CONSTRUCTION PLANS FOR COMFORT CARE SENIOR LIVING P.U.D. T.1N. - R.9E. SECTION 15 CITY OF FARMINGTON HILLS OAKLAND COUNTY, MICHIGAN



### UTILITY CONTACT LIST

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE AS OBTAINED FROM THEIR OWNERS. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

AGENCY	UTILITY
1. OAKLAND COUNTY DRAIN COMMISSION ONE PUBLIC WORKS DR WATERFORD, MI 48328 CONTACT: CHRIS GIANAKOS TELEPHONE: (248)-858-1116 E-MAIL: GIANAKOS@OAKGOV.COM	SANITARY WATER MAIN STORM
2. OAKLAND COUNTY ROAD COMMISSION 1200 N TELEGRAPH WEST 49 PONTIAC, MI 48341 CONTACT: AHMAD JAWAD TELEPHONE: (248)-858-7250 E-MAIL: AJAWAD@OAKGOV.COM	ROADS
3. MICHIGAN DEPARTMENT OF TRANSPORTATION 800 VANGUARD DRIVE PONTIAC, MI 48341 CONTACT: LORI SWANSON TELEPHONE: (248)-451-0001 E-MAIL: SWANSONL@MICHIGAN.GOV	ROADS
4. CONSUMERS ENERGY COMPANY 530 W WILLOW ST LANSING, MI 48906 CONTACT: KURT GOLDING TELEPHONE: (517)-374-2002 E-MAIL: MISSDIGDESIGNTICKETS@COMSENERGY.COM	GAS
5. DTE ENERGY COMPANY ONE ENERGY PLAZA, 518 SB DETROIT, MI 48226 CONTACT: TELEPHONE: 313-235-5632 E-MAIL: DESIGN_MISSDIG@DTEENERGY.COM	ELECTRIC
6. AT&T 54 N MILL ST, 4TH FLOOR PONTIAC, MI 48342 CONTACT: LINDA DENNISUK TELEPHONE: (248)-456-8256 E-MAIL: LD2154@ATT.COM	TELEPHONE CABLE
7. COMCAST 25626 TELEGRAPH RD SOUTHFIELD, MI 48034 CONTACT: CRAIG PUDAS PHONE: (248)-809-2715 E-MAIL: CRAIG_PUDAS@CABLE.COMCAST.COM	TELEPHONE CABLE
8. TURNKEY NETWORK SOLUTIONS (US-SIGNAL) CONTACT: ERICA BENNETT PHONE: (616) 455-9840 E-MAIL: LOCATEMAPS@TKNS.NET	FIBER



LOCATION MAP  
NOT TO SCALE



### SITE DEVELOPER INFORMATION

MANOR SENIOR LIVING LLC  
4180 HITTABAWASE ROAD  
SAGINAW, MI 48604  
DOUGLAS BOEHM  
248-930-7875

### PROJECT DESCRIPTION

REDEVELOPMENT OF THE EXISTING HOTEL LOCATED AT THE SOUTHWEST CORNER OF WEST 12 MILE ROAD AND ORCHARD LAKE ROAD. THE REDEVELOPMENT INCLUDES PAVEMENT REMOVAL, A NEW ACCESS DRIVE, A NEW CANOPY, SIDEWALKS, LANDSCAPING, AND MINOR DRAINAGE IMPROVEMENTS

### SHEET INDEX

- C1.0 COVER SHEET
- C1.1 LEGEND SHEET
- C1.2 NOTE SHEET
- C1.3 MISCELLANEOUS DETAIL SHEET
- C1.4-C1.6 STANDARD CITY DETAIL SHEETS
- C1.7-C1.12 STANDARD WRC DETAIL SHEETS
- C1.13 AQUA-SWRL DETAIL SHEET
- C2.0 EXISTING CONDITIONS SHEET
- C2.1 DEMOLITION PLAN SHEET
- C3.0 SITE PLAN SHEET
- C3.1 OVERALL GRADING SHEET
- C3.2-C3.6 GRADING DETAIL SHEETS
- C4.0 OVERALL UTILITY SHEET
- C4.1 PROPOSED STORM SEWER PROFILE SHEET
- C5.0 LANDSCAPE PLANTING PLAN SHEET
- C6.0 PROPOSED CONDITIONS SESC PLAN SHEET
- C6.1 WRC SESC DETAIL SHEET

### NPDES NOTE

FOR ALL CONSTRUCTION ACTIVITY THAT DISTURBS 5 ACRES OR MORE OF LAND THE OWNER OF THE PROPERTY SHALL OBTAIN AN NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM EGLE (ENVIRONMENT, GREAT LAKES & ENERGY) AS REQUIRED UNDER P.A. 245. THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 4.95 ACRES. A NPDES PERMIT IS NOT REQUIRED FOR THIS PROJECT.

PLAN DATE: JULY 2022	PTO	REH	SCALE: NO SCALE
PROJECT MGR:			
REVIEWER:			

**ROWE PROFESSIONAL SERVICES COMPANY**

C: (248) 675-1096  
F: (800) 974-1704  
www.rowepsc.com

27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
COVER SHEET



PLAN SUBMITTALS AND CHANGES	
DATE	DESCRIPTION
7-16-22	ISSUED FOR BIDS
	ISSUED FOR CONSTRUCTION

REV:	
SHT#	C1.0
JOB No:	20F0071

MATERIALS AND WORKMANSHIP FOR SIDEWALK CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF FARMINGTON HILLS STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS, MOST CURRENT EDITION.

MATERIALS AND WORKMANSHIP FOR WATER MAIN AND STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS, MOST CURRENT EDITION.

MATERIALS AND WORKMANSHIP FOR ROAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH OAKLAND COUNTY ROAD COMMISSION STANDARD CONSTRUCTION SPECIFICATIONS AND DETAILS, MOST CURRENT EDITION.

DATE: 07/22/22 2:58 PM

**STRUCTURE SYMBOLS**

- ◻ EXISTING CATCH BASIN IN CURB LINE
- ◻ PROPOSED CATCH BASIN IN CURB LINE
- ◉ EXISTING CATCH BASIN IN GREEN SPACE
- PROPOSED CATCH BASIN IN GREEN SPACE
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- ▷ PROPOSED CULVERT END SECTION
- ) EXISTING HEADWALL
- ) PROPOSED HEADWALL
- EXISTING GATE VALVE AND BOX
- EXISTING WATER SHUT OFF (CURB BOX)
- PROPOSED GATE VALVE AND BOX
- EXISTING GATE VALVE AND WELL
- PROPOSED GATE VALVE AND WELL
- ✕ EXISTING SPRINKLER HEAD
- EXISTING WATER WELL
- ✕ EXISTING FIRE HYDRANT
- ✕ PROPOSED FIRE HYDRANT
- ✕ PROPOSED WATER MAIN FITTINGS
- EXISTING CLEAN OUT
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- ◻ EXISTING MONITORING WELL

**EXISTING TOPOGRAPHICAL SYMBOLS**

- † SIGN
- † STREET SIGN
- END OF PIPE
- △ SWAMP OR WETLAND
- DECIDUOUS TREE
- ☀ CONIFEROUS TREE
- ♦ TREE STUMP
- MAIL BOX
- ⊠ SOIL BORING
- ROCK
- METAL POST
- BUMPER BLOCK

**UTILITY SYMBOLS**

- UTILITY POLE
- ▷ GUY ANCHOR CABLE
- \* LIGHT POLE / ORNAMENTAL LIGHT
- ✕ POWER LIGHT POLE
- TELEPHONE MANHOLE
- ✕ UNDERGROUND GAS LINE MARKER
- GAS RISER
- GAS VENT
- GAS VALVE
- ⊕ RAILROAD SIGNAL
- \* METAL LIGHT POLE
- OUTLET
- CIRCUIT BREAKER PANEL
- ⊠ ELECTRICAL TRANSFORMER PAD
- ⊠ ELECTRICAL TRANSFORMER RISER
- ◻ ELECTRIC METER
- TELEPHONE PEDESTAL / RISER
- ⊠ TRAFFIC SIGNAL ON POLE
- PHONE BOOTH / PAY PHONE

**SURVEY SYMBOLS**

- MONUMENT
- ▲ BENCHMARK
- △ TRAVERSE POINT
- ⊕ SECTION CORNER
- FOUND SURVEY MONUMENTATION

**MISCELLANEOUS SYMBOLS**

- EX 1812 EXISTING STORM SEWER STRUCTURE NUMBER
- EX 5236 EXISTING SANITARY SEWER STRUCTURE NUMBER
- 1 PROPOSED STORM SEWER STRUCTURE NUMBER
- A PROPOSED SANITARY SEWER STRUCTURE NUMBER
- ~ FLOW DIRECTION
- ⊠ EXISTING RIP-RAP
- ⊠ PROPOSED RIP-RAP

**CAUTION SYMBOLS**

- CAUTION HAZARDOUS FLAMMABLE MATERIAL UNDERGROUND USED WITH UNDERGROUND GAS & ELECTRICAL LINES
- CAUTION FIBER OPTIC USED WITH FIBER OPTICS LINES

**PLAN VIEW LINE TYPES**

- 12" SW --- EXISTING STORM SEWER
- 12" CWC --- EXISTING CULVERT
- PROPOSED STORM SEWER LESS THAN 24"
- PROPOSED STORM SEWER 24" AND GREATER
- 12" SAN --- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- 12" WM --- EXISTING WATER MAIN
- PROPOSED WATER MAIN
- SECTION LINE
- 60' ROW --- EXISTING RIGHT OF WAY
- 60' ROW --- PROPOSED RIGHT OF WAY
- PROPOSED EASEMENT
- EXISTING CENTER LINE DITCH
- PROPOSED DITCH CENTERLINE
- EXISTING CENTER LINE ROADWAY
- PARCEL LINE / LOT LINE
- 0/11 --- EXISTING OVERHEAD UTILITIES
- U/G ELEC --- UNDERGROUND ELECTRICAL LINE
- 6" S-MP GAS --- GAS LINE OR PETROLEUM PIPELINE
- U/G TEL --- UNDERGROUND TELEPHONE LINE
- U/G CATV --- UNDERGROUND CABLE TV LINE
- U/G FIBER OPTIC --- UNDERGROUND FIBER OPTIC
- 11+00 --- PROJECT CONTROL LINE
- ~ TREE LINE
- ~ BRUSH LINE
- X --- X --- EXISTING FENCE
- X --- X --- PROPOSED FENCE
- EXISTING GUARD RAIL
- PROPOSED SLOPE STAKE LINE
- PROPOSED SILT FENCE

**TOPOGRAPHY**

- 510 --- EXISTING CONTOURS MAJOR
- 530 --- EXISTING CONTOURS MINOR
- 560 --- PROPOSED CONTOUR MAJOR
- 590 --- PROPOSED CONTOURS MINOR

**PARCEL INFORMATION**

401-069 PARCEL/TAX IDENTIFICATION NUMBER  
#5324 ADDRESS/BUSINESS NAME

**PAVEMENT IDENTIFICATION**

- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER

**HATCHING LEGEND**

- [Dotted] PROPOSED HMA PAVING
- [Stippled] PROPOSED CONCRETE
- [Cross-hatched] REMOVE PAVEMENT
- X --- X --- REMOVE CURB AND GUTTER

**PROPOSED CALLOUTS**

- | TOPO CALLOUTS | PLAN VIEW |                               |
|---------------|-----------|-------------------------------|
| [ADJ]         | (ADJ)     | ADJUST STRUCTURE              |
| [ADJ-X]       | (ADJ-X)   | ADJUST STRUCTURE W/ NEW COVER |
| [ADJ-B/O]     | (ADJ-B/O) | ADJUST STRUCTURE BY OTHERS    |
| [REC]         | (REC)     | RECONSTRUCT STRUCTURE         |
| [REL]         | (REL)     | RELOCATE                      |
| [REL-B/O]     | (REL-B/O) | RELOCATE BY OTHERS            |
| [R]           | (R)       | REMOVE                        |
| [R&R]         | (R&R)     | REMOVE AND REPLACE            |
| [SALV]        | (SALV)    | SALVAGE                       |
| [SAVE]        | (S)       | SAVE                          |
| [ABN]         | (A)       | ABANDON                       |
|               | (C)       | CLEARING                      |
|               | (B)       | BULKHEAD                      |
|               | (SR-F)    | SIDEWALK RAMP TYPE            |
|               | (SO-2)    | SOIL EROSION CONTROL MEASURE  |



Know what's below.  
Call before you dig.

PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV: \_\_\_\_\_  
SHT# C1.1  
JOB No: 20F0071



PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: NO SCALE

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PREPARED FOR  
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**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
LEGEND SHEET

**GENERAL CONSTRUCTION NOTES**

**EMERGENCY CONTACTS**

BEFORE BEGINNING WORK ON THE PROJECT, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE NAMES AND TELEPHONE NUMBERS OF EMERGENCY CONTACTS. AT LEAST ONE PERSON REPRESENTING THE CONTRACTOR SHALL BE AVAILABLE TO RESPOND TO EMERGENCIES THROUGHOUT THE LIFE OF THE PROJECT, 24 HOURS A DAY, 7 DAYS A WEEK.

**UNDERGROUND UTILITY IDENTIFICATION AND LOCATION**

THE CONTRACTOR SHALL CALL MISS DIG (1-800-482-7171 OR 811) A MINIMUM OF THREE WORK DAYS IN ADVANCE OF BEGINNING EXCAVATION. THE CONTRACTOR IS RESPONSIBLE TO IDENTIFY AND NOTIFY UTILITY AGENCIES WITHIN THE PROJECT AREA WHICH DO NOT PARTICIPATE IN THE MISS DIG NOTIFICATION PROGRAM.

**PUBLIC UTILITIES**

EXISTING UTILITIES ARE SHOWN BASED UPON RECORDS AND LOCATIONS PROVIDED BY UTILITY AGENCIES. THE INFORMATION SHOWN IS CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. UNLESS THE PLANS SPECIFICALLY SHOW THAT EXISTING UTILITIES ARE TO BE MOVED, THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN EXISTING UTILITIES.

**VERIFICATION OF UNDERGROUND UTILITIES**

THE CONTRACTOR SHALL EXCAVATE AND LOCATE ALL EXISTING UTILITIES IN THE PROJECT AREA IN ADVANCE OF CONSTRUCTION TO VERIFY THEIR ACTUAL LOCATION. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE OWNER. THE CONTRACTOR SHALL MAKE SUCH CHANGES TO GRADE AND ALIGNMENT OF PROPOSED WORK AS DIRECTED BY THE OWNER TO AVOID CONFLICTS, AT NO INCREASE IN COST TO THE OWNER.

**UTILITY SERVICE**

UNLESS SPECIFICALLY PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS, ALL EXISTING UTILITIES ARE TO REMAIN IN SERVICE DURING THE PROJECT.

**PRIVATE IRRIGATION SYSTEMS**

THE CONTRACTOR SHALL SAVE AND PROTECT THE EXISTING IRRIGATION SYSTEM DURING CONSTRUCTION. ANY DAMAGES WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**MAINTAINING TRAFFIC**

LOCAL AND EMERGENCY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES WITHIN THE PROJECT AREA.

WHEN EXCAVATION, FRESH CONCRETE, OR OTHER CONSTRUCTION WORK WILL RESULT IN THE CLOSURE OF A STREET OR DRIVEWAY FOR A PERIOD OF TIME, THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL AFFECTED RESIDENTS AND BUSINESSES 72 HOURS IN ADVANCE.

THE CONTRACTOR SHALL NOTIFY EMERGENCY RESPONSE AGENCIES 72 HOURS IN ADVANCE OF ROAD CLOSURES OR THE ESTABLISHMENT OF DETOURS.

**TRAFFIC SIGNS**

TRAFFIC SIGNS WHICH INTERFERE WITH CONSTRUCTION SHALL BE REMOVED AND REPLACED BY THE AGENCY HAVING JURISDICTION OVER THE STREETS OR ROADS IN THE PROJECT AREA. THE CONTRACTOR IS RESPONSIBLE TO CONTACT THE AGENCY TO ARRANGE FOR REMOVAL OF THE SIGN AND IS RESPONSIBLE TO PAY ANY FEES ASSOCIATED WITH THE REMOVAL AND REPLACEMENT OF THE SIGNS.

**SCHEDULE**

THE CONTRACTOR SHALL COMPLETE ALL WORK IN AN EXPEDITIOUS MANNER AND SHALL NOT STOP WORK ON THE PROJECT ONCE BEGUN.

**ALIGNMENT & GRADING**

ALIGNMENT AND GRADES FOR CURB AND GUTTER (INCLUDING THROUGH RAMPS AND DRIVEWAY OPENINGS) SHOWN ON THE PLANS ARE FOR THE TOP, BACK OF CURB, UNLESS SPECIFICALLY SHOWN OTHERWISE ON THE PLANS.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES LOCATED IN THE CURB LINE IS TO THE CENTER OF THE CASTING.

THE HORIZONTAL ALIGNMENT SHOWN ON THE DRAWINGS FOR DRAINAGE STRUCTURES WHICH ARE NOT IN THE CURB LINE AND FOR MANHOLES IS TO THE CENTER OF THE STRUCTURE.

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR MANHOLE CASTINGS, THE ELEVATION PROVIDED IS FOR THE TOP OF THE CASTING.

WHERE RIM ELEVATIONS ARE PROVIDED FOR INLET TYPE CASTINGS, THE ELEVATIONS ARE PROVIDED AS FOLLOWS:

- \* CURB INLETS - THE ELEVATION OF THE TOP OF CURB
- \* ALL OTHER INLETS - THE ELEVATION OF THE FLOW LINE

WHERE RIM ELEVATIONS ARE PROVIDED ON THE PLANS FOR INLETS OR MANHOLE CASTINGS, THE ELEVATIONS PROVIDED ARE CONSIDERED PRELIMINARY. THE CONTRACTOR SHALL MAKE THE FINAL ADJUSTMENT FOLLOWING THE ESTABLISHMENT OF ACTUAL GRADING AND PAVEMENT ELEVATIONS.

**CONSTRUCTION STAKING**

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE OWNER, THE CONTRACTOR SHALL REQUEST STAKING AT LEAST THREE WORKING DAYS IN ADVANCE.

WHEN CONSTRUCTION STAKING IS TO BE PROVIDED BY THE OWNER, STAKING WILL BE PROVIDED ONE TIME. THE CONTRACTOR SHALL PROTECT AND PRESERVE SURVEY CONTROL AND STAKING. RE-STAKING WILL BE AT THE CONTRACTOR'S EXPENSE.

**SURVEY CORNERS, BENCHMARKS, AND CONTROL POINTS**

THE CONTRACTOR SHALL PRESERVE ALL GOVERNMENT CORNERS, PROPERTY CORNERS, BENCHMARKS, SURVEY CONTROL POINTS AND OTHER SURVEY POINTS WITHIN THE PROJECT AREA. WHERE CORNERS, BENCHMARKS, OR SURVEY POINTS ARE ENCOUNTERED WHICH WILL BE DISTURBED BY THE CONTRACTOR'S ACTIVITIES, A LICENSED SURVEYOR SHALL WITNESS THE POINT BEFORE DISTURBANCE AND SHALL RE-SET THE POINT FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PAY THE SURVEYOR TO WITNESS AND TO RE-SET THE POINTS.

**PROTECTION OF TREES, SHRUBS, AND LANDSCAPING**

ALL TREES, SHRUBS, AND LANDSCAPING WITHIN THE CONSTRUCTION AREA WHICH ARE NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. DAMAGED TREES, SHRUBS, AND LANDSCAPING SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**CONSTRUCTION SIGNING AND BARRICADING**

THE CONTRACTOR SHALL PROTECT HAZARDOUS AREAS WITH BARRICADES. BARRICADES LEFT IN PLACE AFTER SUNSET SHALL BE LIGHTED.

THE CONTRACTOR SHALL PROVIDE SUITABLE SANDBAGS OR OTHER SUITABLE MEASURES FOR ANCHORING OF TEMPORARY SIGNS AND BARRICADES, TO PREVENT THEIR TIPPING OR DISPLACEMENT BY WIND OR AIR FLOW FROM VEHICLES.

THE CONTRACTOR SHALL PROVIDE SIGNING, BARRICADES, TRAFFIC REGULATORS, CONES, AND OTHER TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCY HAVING JURISDICTION OVER STREETS OR ROADS IN THE PROJECT AREA, THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE PLANS AND SPECIFICATIONS.

THE CONTRACTOR SHALL COVER OR REMOVE TEMPORARY SIGNS DURING PERIODS WHEN THEY ARE NOT APPROPRIATE.

**TURF ESTABLISHMENT**

ALL DISTURBED AREAS WHICH ARE NOT TO BE SURFACED WITH PAVEMENT, AGGREGATE OR OTHER APPROVED SURFACES SHALL BE ESTABLISHED WITH TURF.

TURF AREAS SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE.

DISTURBED AREAS SHALL BE SURFACED WITH THREE INCHES OF SCREENED TOPSOIL.

THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH TURF WHICH IS SUBSTANTIALLY FREE OF BARE SPOTS AND FREE OF WEEDS. THE GROUND SURFACE IN TURF AREAS SHALL BE SMOOTH AND PROVIDE A NATURAL TRANSITION TO ADJACENT, UNDISTURBED AREAS.

THE CONTRACTOR IS RESPONSIBLE TO PROVIDE WATERING, WEEDING, RESEEDING, AND REWORKING AS NECESSARY TO ESTABLISH TURF AREAS TO THE REQUIRED STANDARD.

**ADA COMPLIANCE**

ALL PROPOSED CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND APPLICABLE GUIDELINES OR STANDARDS. WHERE EXISTING CONDITIONS AND/OR THE REQUIREMENTS OF THE PLANS WILL RESULT IN FINISHED CONDITIONS THAT DO NOT MEET THE ADA REQUIREMENTS, GUIDELINES, OR STANDARDS, THE CONTRACTOR SHALL NOTIFY THE OWNER BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REPLACE WORK DETERMINED TO BE NOT IN ACCORDANCE WITH APPLICABLE REQUIREMENTS, GUIDELINES, OR STANDARDS.

**EARTHWORK**

THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF THE EARTHWORK QUANTITIES, AND BASE HIS BID ON HIS DETERMINATION OF THE QUANTITIES OF WORK REQUIRED.

IF ADDITIONAL FILL MATERIAL MUST BE PROVIDED TO ATTAIN THE FINISH GRADES SHOWN ON THE PLANS, THE CONTRACTOR SHALL PROVIDE THE REQUIRED FILL MATERIAL, UNLESS A SPECIFIC BORROW AREA IS IDENTIFIED ON THE PLANS.

EXCESS SOILS RESULTING FROM EXCAVATION AND EARTHWORK SHALL BECOME THE CONTRACTOR'S PROPERTY AND DISPOSED OF PROPERLY, UNLESS AN AREA(S) HAS BEEN DESIGNATED FOR STOCKPILING OR "BLENDING IN" THE EXCESS MATERIAL WITHIN THE PROJECT LIMITS.

**BACKFILL AND EMBANKMENT**

BACKFILL OF AN EXCAVATION UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE, SHALL BE SAND, MEETING THE REQUIREMENTS OF GRANULAR MATERIAL CLASS II AS DESCRIBED IN THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE SAND BACKFILL SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

BACKFILL OF AN EXCAVATION WHICH IS NOT UNDER OR WITHIN THE ONE ON ONE INFLUENCE OF AN EXISTING OR PROPOSED ROAD, SIDEWALK, DRIVEWAY, PAVEMENT, OR AGGREGATE SURFACE MAY BE SUITABLE EXCAVATED MATERIAL OR OTHER SOIL, WHICH IS FREE OF ORGANIC MATTER, STONES AND ROCKS, ROOTS, BROKEN CONCRETE, FROZEN MATERIAL, OR DEBRIS. THE BACKFILL SHALL BE COMPACTED TO AT LEAST 90% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL INDICATE THE SOURCE OF SAND USED FOR BACKFILL TO THE OWNER, AND PROVIDE THE OWNER WITH THE RESULTS OF A GRADATION TEST PERFORMED ON A SAMPLE OF THE SAND. THE CONTRACTOR SHALL NOTIFY THE OWNER 72 HOURS IN ADVANCE OF USING SAND FROM OTHER SOURCES.

EMBANKMENT USED TO BUILD THE SUBGRADE TO REQUIRED ELEVATION SHALL BE SUITABLE SOIL EXCAVATED FROM THE PROJECT SITE, OR FURNISHED BY THE CONTRACTOR FROM OTHER SOURCES. SUITABLE SOIL IS FREE FROM ORGANIC MATTER, ROCKS AND STONES, FROZEN MATERIAL, BROKEN CONCRETE, AND DEBRIS.

EMBANKMENT CONSTRUCTED OF GRANULAR SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

EMBANKMENT CONSTRUCTED OF COHESIVE SOILS SHALL BE COMPACTED IN LIFTS NOT EXCEEDING 10 INCHES TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

**DENSITY TESTING**

THE MAXIMUM UNIT WEIGHT OF SAND AND OTHER GRANULAR SOILS WILL BE DETERMINED BY THE ONE POINT CONE TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

THE MAXIMUM UNIT WEIGHT OF COHESIVE SOILS WILL BE DETERMINED BY THE ONE POINT PROCTOR TEST, AS DESCRIBED IN THE MICHIGAN DEPARTMENT OF TRANSPORTATION'S DENSITY TESTING AND INSPECTION MANUAL, EXCEPT WHEN ANOTHER TEST METHOD IS SPECIFIED.

**WORK HOURS**

UNLESS PROVIDED OTHERWISE IN THE CONTRACT DOCUMENTS OR LIMITED BY LOCAL ORDINANCE, THE CONTRACTOR SHALL WORK WITHIN OF THE FOLLOWING TIMES, UNLESS OTHERWISE APPROVED BY THE OWNER:  
 MONDAY THROUGH FRIDAY 7 A.M. TO 7 P.M.  
 SATURDAY 7 A.M. TO 7 P.M.

THE CONTRACTOR SHALL NOT WORK ON SUNDAYS OR HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

**DRAINAGE**

THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE EXISTING DRAINAGE FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.

WHERE CONSTRUCTION HAS DISTURBED EXISTING DITCHES, SWALES, OR OTHER DRAINAGE FACILITIES, THE CONTRACTOR SHALL RESTORE THEM TO THEIR GRADES AND DIMENSIONS WHICH EXISTED PRIOR TO THE BEGINNING OF CONSTRUCTION, UNLESS DIRECTED OTHERWISE.

DRAINAGE SHALL NOT BE REROUTED ONTO ADJACENT PROPERTIES NOR ALLOWED TO DRAIN ONTO ADJACENT PROPERTIES AT AN INCREASED RATE, AS A RESULT OF THE CONTRACTOR'S WORK.

**SITE PROJECTS**

**ADJUSTING STRUCTURES**

WHERE CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, AND MONUMENT BOXES ARE TO BE ADJUSTED TO MEET A NEW PAVEMENT SURFACE ELEVATION, THE FINAL ADJUSTMENT SHALL NOT BE COMPLETED UNTIL ALL PAVEMENT COURSES HAVE BEEN PLACED EXCEPT THE FINAL COURSE. THE FINAL ADJUSTMENT SHALL BE COMPLETED JUST PRIOR TO PLACEMENT OF THE FINAL COURSE OF PAVEMENT.

THE MATERIALS AND PROCEDURES FOR ADJUSTING STRUCTURES SHALL MEET THE REQUIREMENTS OF THE CITY OF FARMINGTON HILLS.

**SUBGRADE PREPARATION**

TOPSOIL, PEAT, AND ORGANIC MATERIAL SHALL BE EXCAVATED AND REMOVED.

SOFT AND YIELDING SOILS SHALL BE REMOVED OR DRIED IF THE RESULT OF EXCESSIVE MOISTURE CONTENT.

PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENT ON A SUBGRADE, THE SUBGRADE SHALL BE PROOF-ROLLED TO DETERMINE THE SUITABILITY OF THE SUBGRADE. THE CONTRACTOR SHALL DRIVE A HEAVY PIECE OF WHEELED CONSTRUCTION EQUIPMENT OVER THE SUBGRADE WHILE THE OWNER IS OBSERVING. THE CONSTRUCTION OF FILLS, SUBBASE, OR PAVEMENTS SHALL NOT PROCEED UNTIL THE SUBGRADE HAS BEEN DEMONSTRATED TO BE FREE OF SOFT AREAS.

THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN THE MOISTURE CONTENT OF SUBGRADE SOILS WITHIN A SUITABLE RANGE TO ALLOW FOR COMPACTION TO THE REQUIRED DENSITY. WHEN THE SOIL IS TOO DRY, THE CONTRACTOR SHALL ADD WATER. WHEN THE SOIL IS TOO WET, THE CONTRACTOR SHALL PROVIDE DRAINAGE OR AERATE THE SOIL.

THE SURFACE OF THE SUBGRADE SHALL BE COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT, PRIOR TO CONSTRUCTING FILLS, SUBBASE, OR PAVEMENTS.

**CURB AND GUTTERS**

THE CONTRACTOR SHALL DETERMINE THE LOCATION AND DIMENSIONS OF CURB OPENINGS FOR DRIVEWAYS, RAMPS, AND DRAINAGE STRUCTURES.

**HOT MIX ASPHALT (HMA) PAVING**

PAVEMENTS WHICH ARE TO BE OVERLAD WITH A NEW PAVEMENT COURSE SHALL BE SWEEPED TO REMOVE ALL DIRT AND DEBRIS.

A BITUMINOUS BOND COAT SHALL BE APPLIED TO PAVEMENTS WHICH ARE TO BE OVERLAD WITH A NEW PAVEMENT COURSE AND ALLOWED TO CURE PRIOR TO CONSTRUCTING THE NEW PAVEMENT COURSE.

HMA PAVEMENT SHALL NOT BE PLACED WHEN THE SURFACE BEING OVERLAD IS WET, OR WHEN RAIN IS FORECAST OR THREATENING.

**DRIVEWAY CONSTRUCTION**

DRIVEWAY SLOPES SHALL NOT EXCEED 10%, EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE ON THE PLANS OR DIRECTED BY THE OWNER.

THE CONTRACTOR SHALL PROVIDE PROPERTY OWNERS WITH 72-HOUR NOTICE BEFORE REMOVING AND REPLACING AN EXISTING DRIVEWAY.

**SIDEWALK CONSTRUCTION**

SIDEWALKS SHALL BE CONSTRUCTED TO PROVIDE POSITIVE DRAINAGE OF THE SIDEWALK AND ADJACENT SURFACES.

EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SURFACES, SIDEWALK SHALL BE CONSTRUCTED WITH A CROSS SLOPE SLOPED TOWARD THE STREET.

SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2%.

IN TURF AREAS, THE SURFACE OF THE SIDEWALK SHALL BE ABOUT 1/4 INCH HIGHER THAN THE ADJACENT GROUND SURFACES, EXCEPT WHERE NECESSARY TO PROVIDE POSITIVE DRAINAGE OR MEET EXISTING SIDEWALKS, CURBS, OR PAVEMENTS.

SIDEWALK SHALL BE CONSTRUCTED ON A SAND BASE, COMPACTED TO AT LEAST 95% OF ITS MAXIMUM UNIT WEIGHT.

THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN SIDEWALK FORMS HAVE BEEN SET AND THE SAND BASE PREPARED. CONCRETE SHALL NOT BE PLACED UNTIL THE OWNER HAS OBSERVED THE FORMS. CONCRETE DELIVERY SHALL BE SCHEDULED TO ALLOW SUFFICIENT TIME FOR ADJUSTMENT OF THE FORMS, IN THE EVENT THAT ADJUSTMENT IS NECESSARY.

THE CONTRACTOR SHALL PROTECT FRESH CONCRETE FROM DAMAGE BY THE WEATHER, TRAFFIC, OR VANDALISM. DAMAGED CONCRETE SHALL BE REPLACED BY THE CONTRACTOR'S EXPENSE.

**WATER MAIN CONSTRUCTION NOTES**

SEE DETAIL SHEETS C1.6-C1.10 FOR OAKLAND COUNTY WATER RESOURCE COMMISSIONER WATER MAIN DETAILS AND NOTES.

**STORM SEWER CONSTRUCTION NOTES**

SEE DETAIL SHEET C1.11 FOR OAKLAND COUNTY WATER RESOURCE COMMISSIONER STORM DETAILS AND NOTES.



PLAN DATE: JULY 2022  
 PROJECT NGR: PTO  
 REVIEWER: REH  
 SCALE: NO SCALE

**ROWE PROFESSIONAL SERVICES COMPANY**  
 O: (248) 675-1096  
 F: (800) 974-1704  
 www.rowepsc.com  
 27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

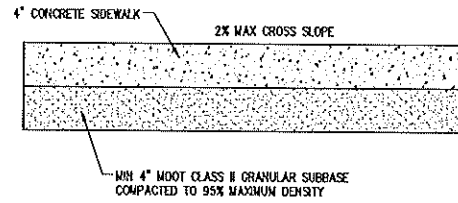
PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.L.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 NOTE SHEET



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

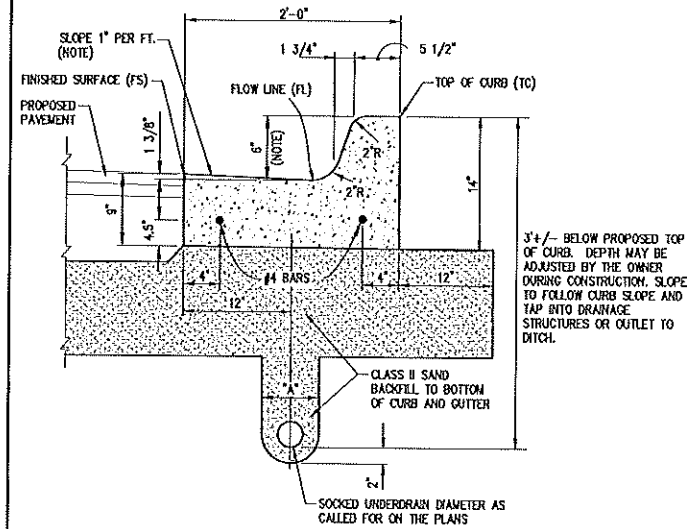
REV: \_\_\_\_\_  
 SHT# **C1.2**  
 JOB No: 20F0071





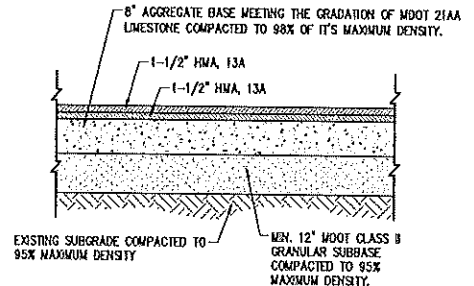
- NOTES:
- CONTRACTOR SHALL PLACE 6" NON-REINFORCED CONCRETE SIDEWALK THROUGH OR ADJACENT TO COMMERCIAL DRIVEWAYS
  - SEAL ALL EXPANSION JOINTS, BUILDING TO SIDEWALK JOINTS, SIDEWALK TO BRICK JOINTS, AND CURB TO BRICK JOINTS WITH SELF-LEVELING POLYURETHANE JOINT SEALANT (GRAY) OR EQUAL

**SIDEWALK DETAIL**  
NOT TO SCALE



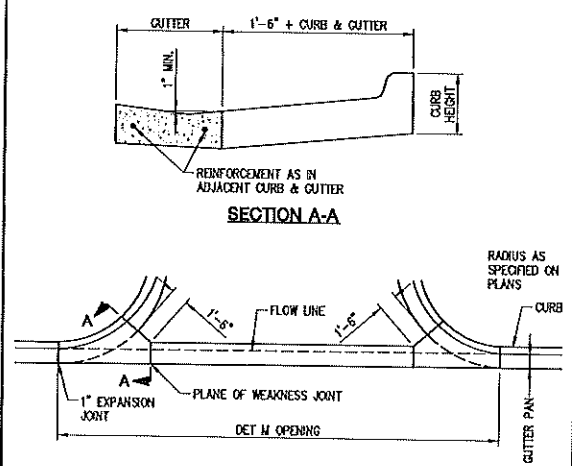
- NOTES:
- REDUCE HEIGHT TO 1/2' FOR LOW BACK CURB (RD OR DD)
  - REDUCE SLOPE TO 1:20 FOR LOW BACK SLOPE.
  - CURB AND GUTTER TO BE PLACED ON A MIN OF 12" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

**CURB AND GUTTER DETAIL**  
NOT TO SCALE

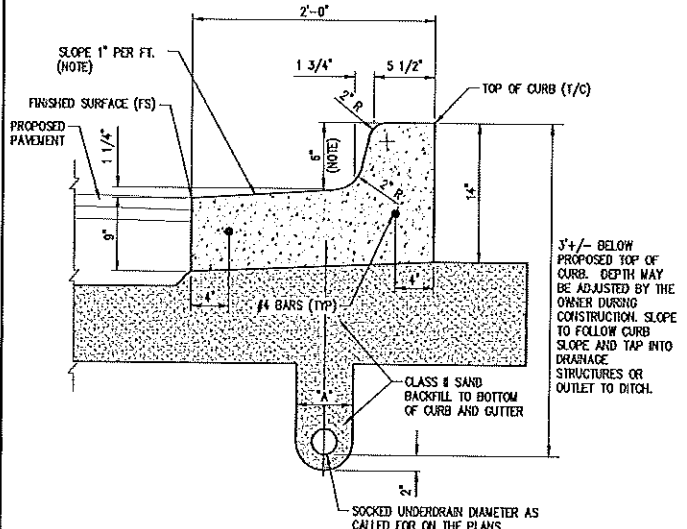


HMA APPLICATION CHART				
IDENT NO	ITEM/HMA PAVEMENT	RATE OF APPLICATION	PERFORMANCE GRADE	COMMENTS
13A-T	HMA, 13A	1.5"	58-28	TOP COURSE (AW-220 MINIMUM)
13A-L	HMA, 13A	1.5"	58-28	LEVELING COURSE
HP	HMA, 13A	VARIABLE	58-28	HAND PATCHING FOR ROADWAY REPLACEMENT. MATCH EX ROADWAY THICKNESS (MAX LIFT 2 INCHES)
-	HMA BOND COAT	0.05-0.15 GAL	-	FOR INFORMATION ONLY

**HMA PAVEMENT CROSS SECTION**  
NOT TO SCALE



**DETAIL M OPENING**  
NOT TO SCALE

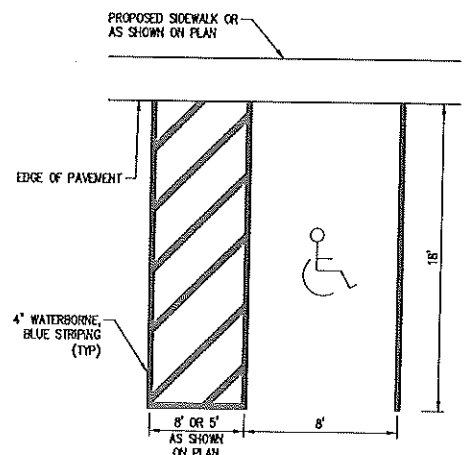


- NOTES:
- REDUCE HEIGHT TO 1/2' FOR LOW BACK CURB (RD OR DD)
  - REDUCE SLOPE TO 1:20 FOR LOW BACK SLOPE.
  - CURB AND GUTTER TO BE PLACED ON A MIN OF 12" MDOT CLASS II GRANULAR SUBBASE COMPACTED TO 95% MAXIMUM DENSITY

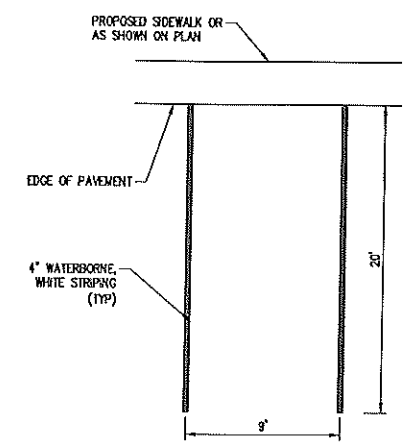
**SPILL CURB DETAIL**  
NOT TO SCALE



- NOTE:
- ALL SIGNS SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  - ALL BARRIER FREE PARKING SIGNS SHALL BE MOUNTED ON 3 LB STEEL POST WITH 6" CLEARANCE TO GROUND SURFACE.



**BARRIER FREE PARKING SIGNAGE AND PAVEMENT MARKINGS**  
NOT TO SCALE



**STANDARD PARKING SPACE LAYOUT (FOR REFERENCE ONLY)**  
NOT TO SCALE



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

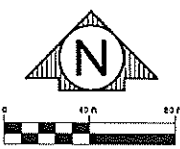
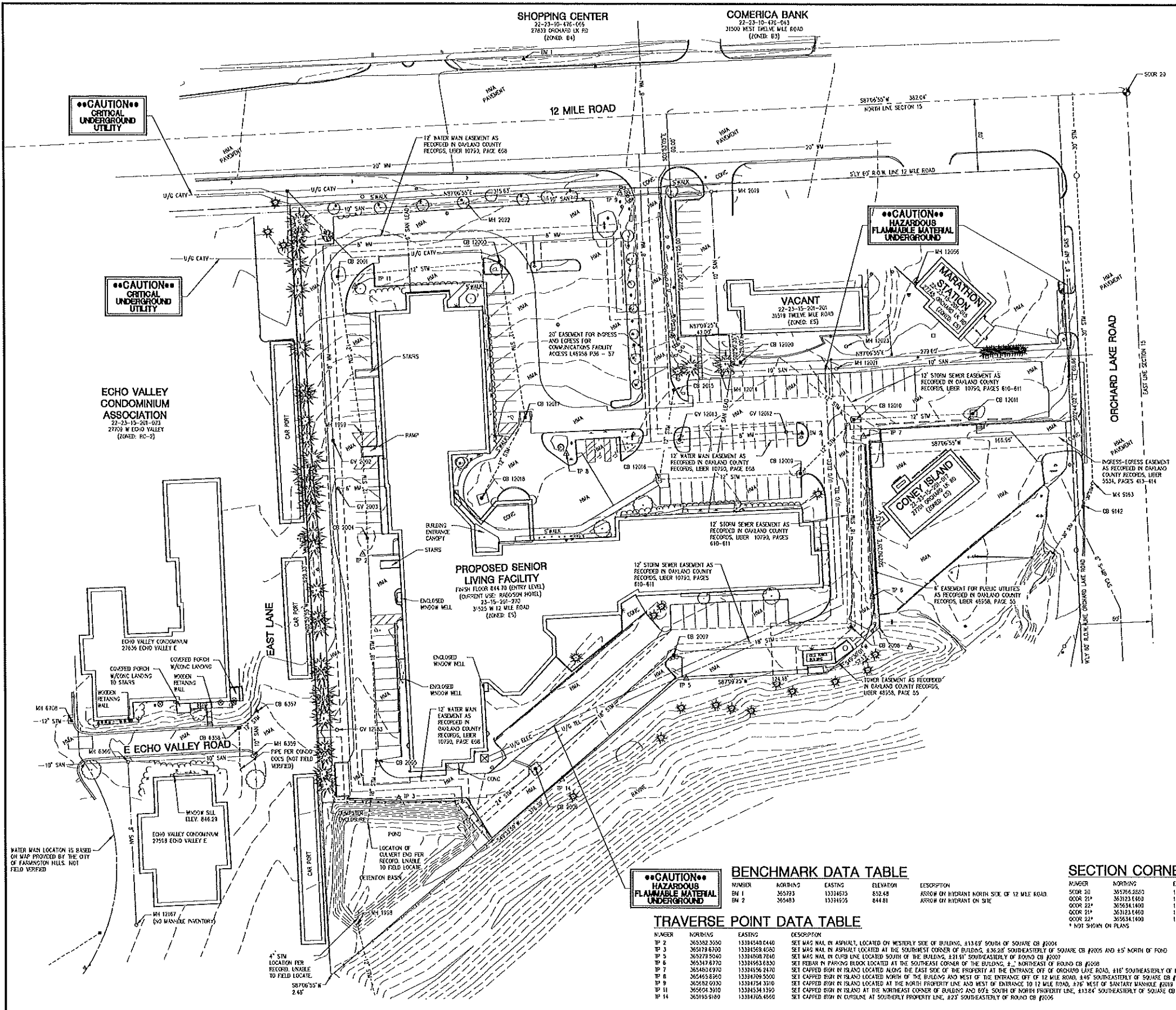


PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
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SCALE: NO SCALE

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PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
MISCELLANEOUS DETAIL SHEET

REVISIONS:  
SHT# **C1.3**  
JOB No: 20F0071



**STORM MANHOLE INVENTORY**

MH 12023 RN= 845.51 10' CONC W INV=838.11 UD INV=842.01	CB 12004 RN= 841.61 12' CONC W INV=836.61 10' CONC S INV=832.21	CB 12009 RN= 841.68 12' CONC NE INV=837.08 10' CONC W INV=837.48	CB 12018 RN= 842.50 12' CONC NE INV=839.50 10' W INV=840.50
MH 1922 RN= 838.56 12' CONC S INV=829.21	CB 12010 RN= 841.70 10' CONC S INV=833.07	CB 12020 RN= 841.29 12' CONC N INV=838.44	CB 12020 RN= 841.29 12' CONC N INV=838.44
MH 1929 RN= 845.17 12' CONC N INV=836.32 12' CONC S INV=835.32	CB 12025 RN= 842.58 10' CONC N INV=834.53 10' CONC S INV=830.68	CB 12035 RN= 841.69 12' CONC SW INV=841.24	CB 12035 RN= 841.69 12' CONC SW INV=841.24
CB 12003 RN= 849.57 12' CONC S INV=838.92 12' CONC W INV=838.67 UD WLY INV=847.30 UD SLY INV=847.30	CB 12006 RN= 841.82 12' CONC SW INV=831.52 UD NW INV=843.32	CB 12011 RN= 838.65 12' CONC W INV=837.26	CB 12011 RN= 838.65 12' CONC W INV=837.26
CB 2001 RN= 849.65 12' CONC E INV=838.50 12' CONC S INV=835.25 UD S W INV=847.15	CB 2007 RN= 842.12 10' CONC E INV=832.02 10' CONC SW INV=831.62	CB 12016 RN= 842.59 10' CONC W INV=838.59	CB 12016 RN= 842.59 10' CONC W INV=838.59
CB 2008 RN= 840.92 UD SW INV=847.15	CB 12017 RN= 843.73 12' CONC N INV=839.13	CB 12017 RN= 843.73 12' CONC N INV=839.13	CB 12017 RN= 843.73 12' CONC N INV=839.13

**SANITARY MANHOLE INVENTORY**

SAN MH 12014 RN= 846.31 10' CONC N INV=831.51 10' CONC E INV=831.41	SAN MH 2022 RN= 851.57 10' CONC E INV=833.27 10' CONC W INV=833.32
SAN MH 2018 RN= 848.84 10' CONC S INV=832.54 10' CONC W INV=832.54	SAN MH 6359 RN= 843.07 10' CONC W INV= 835.67 10' CONC N INV= 835.57
SAN MH 12021 RN= 843.76 10' CONC E INV=830.73 10' CONC S INV=830.82 FLOWS EAST	SAN MH 6360 RN= 843.12 10' CONC W INV= 836.32 8' CONC S INV= 836.42 10' CONC E INV= 835.22

**WATER MANHOLE INVENTORY**

GATE VALVE 2022 RN= 845.30	GATE VALVE 2033 RN= 844.74
GATE VALVE 12012 RN= 842.09	GATE VALVE 12013 RN= 844.52
GATE VALVE 12018 RN= 843.79	

**LEGAL DESCRIPTION**

3155 W 12 MILE ROAD  
PN 23-15-201-270

LEGAL DESCRIPTION  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 15, T14N, R3E, FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15; THENCE S87°05'55" W 352.04 FEET ALONG THE NORTH LINE OF SAID SECTION 15; THENCE S02°23'05" E 60.00 FEET FOR A POINT OF BEGINNING; THENCE S02°50'55" E 125.00 FEET; THENCE N10°09'20" E 42.00 FEET; THENCE S02°50'55" E 25.00 FEET; THENCE N87°05'55" W 278.60 FEET TO THE WEST POINT OF WAY LINE OF ORCHARD LAKE ROAD; THENCE S02°24'02" E 68.65 FEET ALONG SAID POINT OF WAY; THENCE S87°05'55" W 169.56 FEET; THENCE S02°50'55" E 154.13 FEET TO THE NORTHERLY POINT OF WAY LINE OF I-696; THENCE ALONG SAID POINT OF WAY THE FOLLOWING FOUR COURSES: S49°30'00" W 52.13 FEET, S 87°05'55" W 124.18 FEET, S 87°05'55" W 124.18 FEET AND S87°05'55" W 2.48 FEET; THENCE N02°32'55" W 69.33 FEET TO THE SOUTH POINT OF WAY OF 12 MILE ROAD; THENCE N10°09'20" E 315.63 FEET ALONG SAID POINT OF WAY TO THE POINT OF BEGINNING, CONTAINING 4.51 ACRES.

**PROJECT CONTACTS**

ENGINEER/DESIGNER/PLANNER: ROWE PROFESSIONAL SERVICES COMPANY  
 ATTN: PAUL O'MEARA, P.E.  
 27280 HAGGERTY ROAD, SUITE C-2  
 FARMINGTON HILLS, MI 48331  
 P: 248-675-1096

ARCHITECT: SEWELL ARCHITECTS  
 114 N. COURT AVE., STE. 201  
 POST OFFICE BOX 2189  
 GAYLORD, MICHIGAN 49734  
 P: 989-731-0372

**BENCHMARK DATA TABLE**

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BM 1	365793	13334675	852.48	ARROW ON HYDRANT NORTH SIDE OF 12 MILE ROAD
BM 2	365483	13334675	844.81	ARROW ON HYDRANT ON SITE

**TRAVERSE POINT DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 2	365582.5550	13334540.0440	SET MAG NAIL IN ASPHALT LOCATED ON WESTERN SIDE OF BUILDING, 113.67' SOUTH OF SQUARE CB #2004
TP 3	365179.6700	13334569.4280	SET MAG NAIL IN ASPHALT LOCATED AT THE SOUTHWEST CORNER OF BUILDING, 336.26' SOUTHEASTLY OF SQUARE CB #2005 AND 45' NORTH OF POND
TP 5	365278.9540	13334508.7640	SET MAG NAIL IN CURB LINE LOCATED SOUTH OF THE BUILDING, 421.61' SOUTHEASTLY OF ROUND CB #2007
TP 6	365317.6770	13334563.6830	SET REBAR IN PARKING BLOCK LOCATED AT THE SOUTHEAST CORNER OF THE BUILDING, 4.1' NORTHEAST OF ROUND CB #2008
TP 7	365483.6970	13334536.2470	SET CAPPED IRON IN ISLAND LOCATED ALONG THE EAST SIDE OF THE PROPERTY AT THE ENTRANCE OFF OF ORCHARD LAKE ROAD, 416' SOUTHEASTLY OF ROUND CB #2010
TP 8	365445.6290	13334705.5500	SET CAPPED IRON IN ISLAND LOCATED NORTH OF THE BUILDING AND WEST OF THE ENTRANCE OFF OF 12 MILE ROAD, 445' SOUTHEASTLY OF SQUARE CB #2017
TP 9	365682.6930	13334754.3510	SET CAPPED IRON IN ISLAND LOCATED AT THE NORTH PROPERTY LINE AND WEST OF ENTRANCE TO 12 MILE ROAD, 476' WEST OF SANITARY MANHOLE #2019
TP 11	365604.3910	13334534.1350	SET CAPPED IRON IN ISLAND AT THE NORTHEAST CORNER OF BUILDING AND 876' SOUTH OF NORTH PROPERTY LINE, 413.84' SOUTHEASTLY OF SQUARE CB #2011
TP 14	365195.9189	13334705.4650	SET CAPPED IRON IN CURBLINE AT SOUTHERLY PROPERTY LINE, 223' SOUTHEASTLY OF ROUND CB #2006

**SECTION CORNER DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
SCOR 20	365796.2680	13335813.0550	SECTION CORNER
OCOR 21*	365323.6160	13335309.2150	1/4 CORNER
OCOR 22*	365634.1600	1332552.4220	1/4 CORNER
OCOR 21*	365323.6160	13335309.2150	1/4 CORNER
OCOR 22*	365634.1600	1332552.4220	1/4 CORNER

\* NOT SHOWN ON PLANS

**SURVEY NOTES**

BASIS OF BEARING: MICHIGAN STATE PLANE COORDINATE SYSTEM  
 SOUTH ZONE NAD83 2011 INTERNATIONAL FEET VSS NETWORK SOLUTION

PLANS OF ELEVATION: NORTH AMERICAN VERTICAL DATUM OF 1988, GEOID 128, MICHIGAN SPATIAL REFERENCE NETWORK, VSS NETWORK SOLUTION ORIGINAL SITE

**PLAN SUBMITTALS AND CHANGES**

CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=40'

ROWE PROFESSIONAL SERVICES COMPANY  
 C: (248) 675-1096  
 F: (800) 974-1704  
 www.rowepsc.com



PREPARED FOR:  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 EXISTING CONDITIONS SHEET

REV:  
 SHT# **C2.0**  
 JOB No: 20F0071



CAUTION CRITICAL UNDERGROUND UTILITY

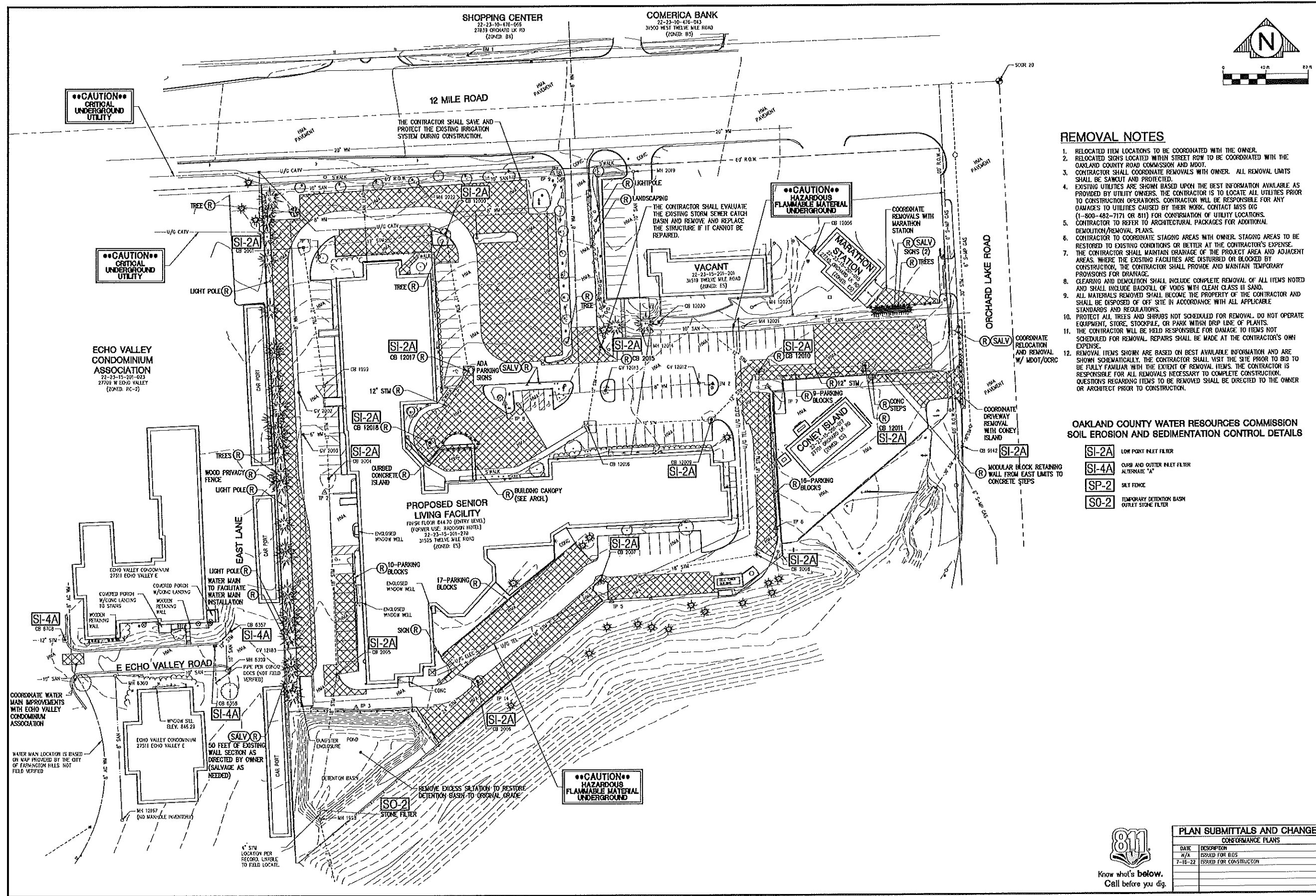
CAUTION HAZARDOUS FLAMMABLE MATERIAL UNDERGROUND

CAUTION CRITICAL UNDERGROUND UTILITY

ECHO VALLEY CONDOMINIUM ASSOCIATION  
 22-23-15-201-073  
 2702 W ECHO VALLEY (ZONED: RC-2)

WATER MAIN LOCATION IS BASED ON MAP PROVIDED BY THE CITY OF FARMINGTON HILLS. NOT FIELD VERIFIED

4" STN LOCATION PER RECORD. UNABLE TO FIELD LOCATE  
 S87°05'55" W 2.45'



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=40'

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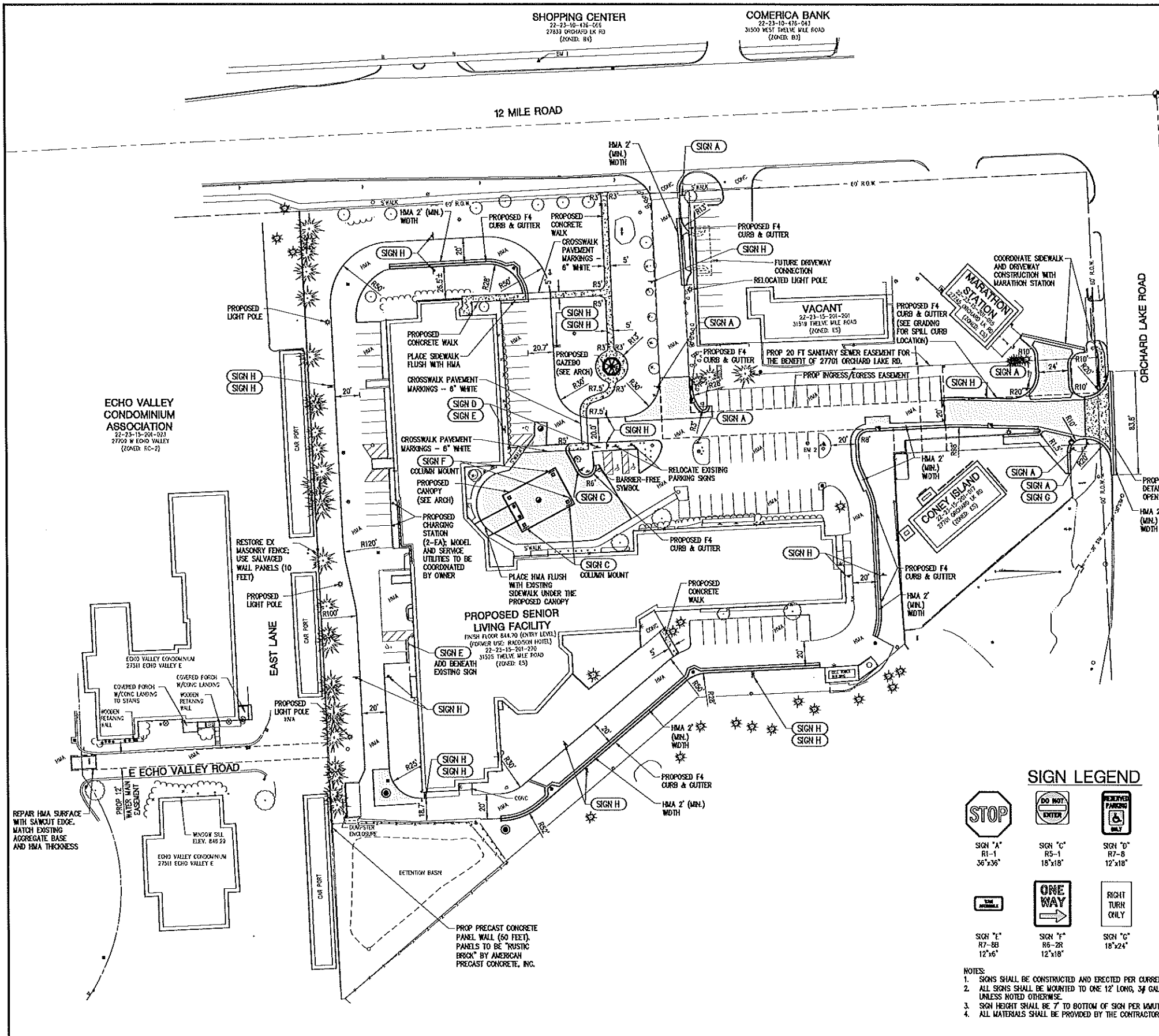
PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 DEMOLITION PLAN SHEET

27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

JOB No: 20F0071







**SITE INFORMATION**

PROPERTY ADDRESS: 31525 TWELVE MILE ROAD FARMINGTON HILLS, MI 48334

APPLICANT: MANOR SENIOR LIVING LLC  
ATTN: DOUGLAS BOEHM  
4180 TITABAWASEE ROAD  
SAGINAW, MI 48604  
P: 248-930-7875

PROPOSED UNITS: MEMORY CARE: 21  
ASSISTED LIVING (STUDIO): 11  
ASSISTED LIVING (1-BEDROOM): 40  
INDEPENDENT LIVING (STUDIO): 11  
INDEPENDENT LIVING (1 BEDROOM): 41  
INDEPENDENT LIVING (2 BEDROOM): 4

TOTAL SITE AREA: 4.95 ACRE

PARKING SUMMARY: EXISTING PARKING SPACES - 290 SPACES (INCLUDING 7 B.F. SPACES)  
REQUIRED PARKING SPACES - 81 SPACES (INCLUDING 4 B.F. SPACES)  
PROPOSED PARKING SPACES - 85 SPACES (INCLUDING 5 B.F. SPACES)

PARKING SPACE SIZE - 9 FEET WIDE, 20 FEET LONG  
MINIMUM AISLE WIDTH = 20 FEET

**PROJECT CONTACTS**

ENGINEER/DESIGNER/PLANNER: ROWE PROFESSIONAL SERVICES COMPANY  
ATTN: PAUL O'NEARA, P.E.  
27280 HAGGERTY ROAD, SUITE C-2  
FARMINGTON HILLS, MI 48331  
P: 248-675-1099

ARCHITECT: SEIDELL ARCHITECTS  
114 N. COURT AVE., STE. 201  
POST OFFICE BOX 2189  
GAYLORD, MICHIGAN 49734  
P: 989-731-0372

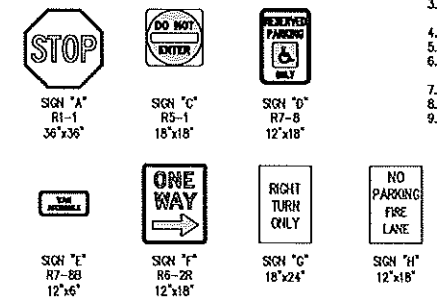
**SITE PLAN NOTES**

1. RELOCATED SIGNS LOCATED WITHIN ORCHARD LAKE ROAD RIGHT OF WAY TO BE COORDINATED WITH THE GARLAND COUNTY ROAD COMMISSION AND MDOT.
2. PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE OF PLANTS.
3. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR DAMAGE TO ITEMS NOT SCHEDULED FOR REMOVAL. REPAIRS SHALL BE MADE AT THE CONTRACTOR'S OWN EXPENSE.
4. PROTECT ALL STORM SEWER NOT DESIGNATED FOR REMOVAL. CONTRACTOR WILL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND REPAIR ALL DAMAGE AT NO COST TO OWNER.
5. ALL DISTURBED AREAS SHALL BE RESTORED WITH TURF PER MRS STANDARDS.
6. CONTRACTOR TO REFER TO ARCHITECTURAL PACKAGES FOR ADDITIONAL SITE PLANS.
7. CONTRACTOR TO COORDINATE STAGING AREAS WITH OWNER. STAGING AREAS TO BE RESTORED TO EXISTING QUALITY OR BETTER AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL MAINTAIN DRAINAGE OF THE PROJECT AREA AND ADJACENT AREAS. WHERE THE EXISTING FACILITIES ARE DISTURBED OR BLOCKED BY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY PROVISIONS FOR DRAINAGE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING SIDEWALKS, PAVEMENTS AND CURB & GUTTER. ANY DAMAGE TO THESE ITEMS SHALL BE REPLACED AT NO COST TO THE OWNER.
10. EXISTING CASTINGS FOR MANHOLES, CATCH BASINS, INLETS, VALVE BOXES, MONUMENT BOXES, ETC WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE ADJUSTED TO MEET THE PROPOSED SURFACE.

**RCOC NOTES:**

1. CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN R.O.W.
2. FULL DEPTH SAWCUT AND/OR WALL A BUTT JOINT, WITH A LOCATION/WIDTH AS DIRECTED BY RCOC INSPECTOR.
3. 9" DEEP STRENGTH HMA SHALL CONSIST OF 2" MDOT 5E, OVER 3" MDOT 4E, OVER 4" MDOT 3E, OVER A SUITABLE BASE. HMA SHALL BE PLACED IN 3 LIFTS.
4. MATCH AND THE PROPOSED CURB TO EXISTING CURB EPOXY COATED #4 BAR REQUIRED.
5. MIN. DEPTH UNDER ROADBED IS FOUR FEET.
6. WITHIN THE INFLUENCE OF THE ROADBED & SIDEWALK MDOT CLASS II, SAND, COMPACTED TO 95% MAX. UNIT DENSITY IS REQUIRED.
7. RAMPS & SIDEWALKS MUST MEET ADA SPECIFICATIONS.
8. KEEP ROADS CLEAN OF DIRT AND DEBRIS.
9. HAND DIG AROUND ALL UTILITIES.

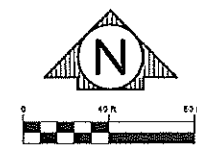
**SIGN LEGEND**



- NOTES:
1. SIGNS SHALL BE CONSTRUCTED AND ERECTED PER CURRENT EDITION OF MANUTCO.
  2. ALL SIGNS SHALL BE MOUNTED TO ONE 12' LONG, 3/4 GALV STEEL SIGN POST UNLESS NOTED OTHERWISE.
  3. SIGN HEIGHT SHALL BE 7' TO BOTTOM OF SIGN PER MANUTCO.
  4. ALL MATERIALS SHALL BE PROVIDED BY THE CONTRACTOR.



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=40'

**ROWE PROFESSIONAL SERVICES COMPANY**

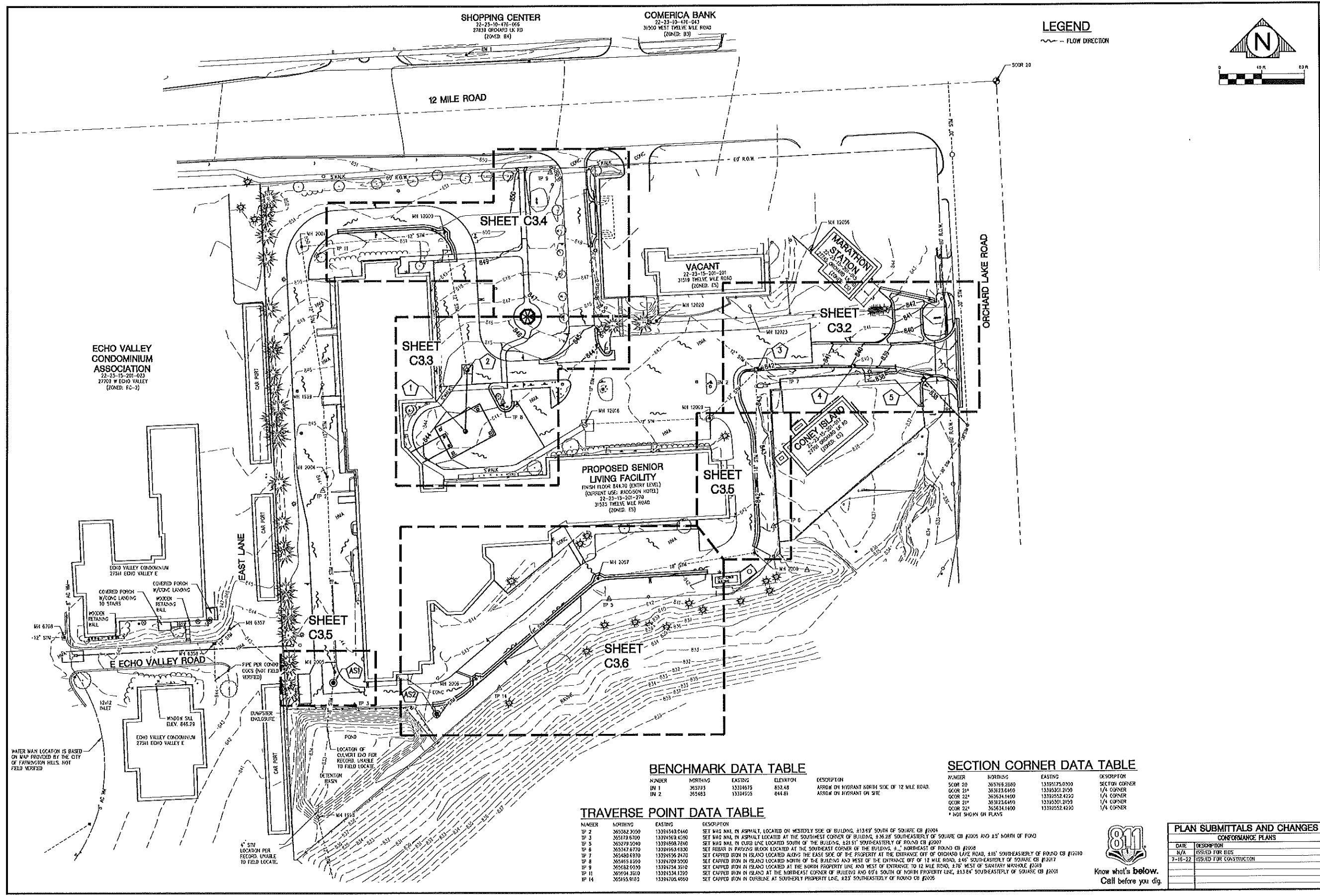
O: (248) 675-1099  
F: (800) 974-1704  
www.rowepsc.com

27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN

SITE PLAN SHEET

REV: \_\_\_\_\_  
SHT# **C3.0**  
JOB No: 20F0071



SHOPPING CENTER  
22-23-10-176-055  
27818 ORCHARD LK RD  
(ZONED: B4)

COMERICA BANK  
22-23-10-176-043  
31500 WEST TWELVE MILE ROAD  
(ZONED: B3)

**LEGEND**  
~ ~ ~ FLOW DIRECTION



PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=40'

**ROWE PROFESSIONAL SERVICES COMPANY**  
O: (248) 875-1086  
F: (800) 974-1704  
www.rowepsc.com

27280 Haggerty Road, Suite C-2  
Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
CITY OF FARMINGTON HILLS  
OVERALL GRADING SHEET

REV: \_\_\_\_\_  
SHT# **C3.1**  
JOB No: 20F0071

**BENCHMARK DATA TABLE**

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
BN 1	363733	13334675	852.48	IRON ON HYDRANT NORTH SIDE OF 12 MILE ROAD.
BN 2	365483	13334525	844.81	IRON ON HYDRANT ON SITE

**SECTION CORNER DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
QCOR 20	365769.2889	1335175.0393	SECTION CORNER
QCOR 21*	363123.6460	1338361.3150	1/4 CORNER
QCOR 22*	365634.1400	1339252.4292	1/4 CORNER
QCOR 21*	363123.6460	1338361.3150	1/4 CORNER
QCOR 22*	365634.1400	1339252.4292	1/4 CORNER

\* NOT SHOWN ON PLANS

**TRAVERSE POINT DATA TABLE**

NUMBER	NORTHING	EASTING	DESCRIPTION
TP 2	365382.3050	1339450.0440	SET MAG NAIL IN ASPHALT, LOCATED ON WESTERLY SIDE OF BUILDING, 113.69' SOUTH OF SQUARE CB #2004
TP 3	365179.6700	1339450.4580	SET MAG NAIL IN ASPHALT LOCATED AT THE SOUTHWEST CORNER OF BUILDING, 436.28' SOUTHEASTERLY OF SQUARE CB #2005 AND 215' NORTH OF ROAD
TP 5	365279.3290	1339450.7840	SET MAG NAIL IN CURB LINE LOCATED SOUTH OF THE BUILDING, 221.51' SOUTHEASTERLY OF ROAD CB #2007
TP 6	365347.8770	1339456.6330	SET REBAR IN PAVING BLOCK LOCATED AT THE SOUTHWEST CORNER OF THE BUILDING, 1.1' NORTHEAST OF ROAD CB #2008
TP 7	365480.6970	1339456.2470	SET CAPPED IRON IN ISLAND LOCATED ALONG THE EAST SIDE OF THE PROPERTY AT THE ENTRANCE OFF OF ORCHARD LAKE ROAD, 116' SOUTHEASTERLY OF ROAD CB #2008
TP 8	365485.8290	13394709.3050	SET CAPPED IRON IN ISLAND LOCATED NORTH OF THE BUILDING AND WEST OF THE ENTRANCE OFF OF 12 MILE ROAD, 146' SOUTHEASTERLY OF SQUARE CB #2007
TP 9	365682.0590	1339456.3010	SET CAPPED IRON IN ISLAND LOCATED AT THE NORTH PROPERTY LINE AND WEST OF ENTRANCE TO 12 MILE ROAD, 170' WEST OF SANITARY MANHOLE #2009
TP 11	365628.3510	13394534.1390	SET CAPPED IRON IN ISLAND AT THE NORTHEAST CORNER OF BUILDING AND 67' SOUTH OF NORTH PROPERTY LINE, 113.84' SOUTHEASTERLY OF SQUARE CB #2007
TP 14	365153.9183	13394705.4660	SET CAPPED IRON IN CURBLINE AT SOUTHWEST PROPERTY LINE, 223' SOUTHEASTERLY OF ROAD CB #2005



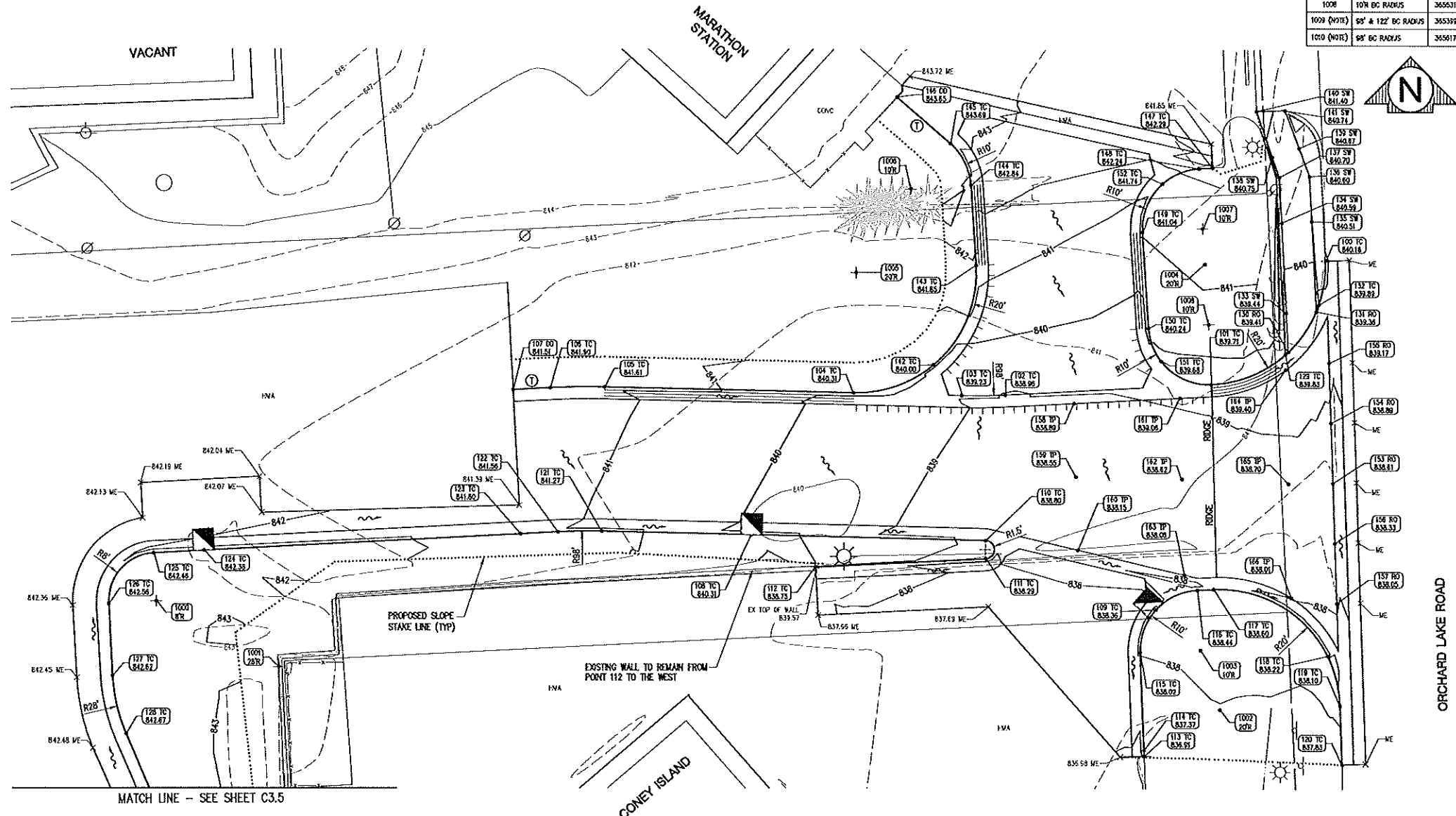
**PLAN SUBMITTALS AND CHANGES**

CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

WATER MAIN LOCATION IS BASED ON MAP PROVIDED BY THE CITY OF FARMINGTON HILLS. NOT FIELD VERIFIED

4" STN LOCATION PER RECORD, UNABLE TO FIELD LOCATE.

LOCATION OF CURB AND PER RECORD, UNABLE TO FIELD LOCATE.



RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
100	8' BC RADIUS	365485.50	1339490.25
101	28' BC RADIUS	365474.59	1339496.85
102	20' BC RADIUS	365467.66	1339517.32
103	10' BC RADIUS	365477.50	1339511.11
104	20' BC RADIUS	365541.63	1339511.64
105	20' BC RADIUS	365540.17	1339506.82
106	10' BC RADIUS	365554.10	1339506.93
107	10R BC RADIUS	365547.54	1339511.48
108	10R BC RADIUS	365531.65	1339515.46
109 (PVT)	95' & 122' BC RADIUS	365539.12	1339501.37
100 (PVT)	98' BC RADIUS	365617.75	13395076.50

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
100	TD=840.18	ME	365542.30	1339493.43
101	TD=839.71	PC, SPILL	365521.65	1339513.68
102	TD=838.06	PC, SPILL, TD	365518.56	1339508.68
103	TD=839.23	PC, SPILL, TD	365518.77	1339507.40
104	TD=840.31	PC, SPILL	365520.17	1339506.58
105	TD=841.81	PC	365521.69	1339505.60
106	TD=841.90	PC	365520.90	1339506.04
107	TD=841.51	TC, ME, 6" TAPER	365520.83	1339499.76
108	TD=840.31	CB	365496.54	13395078.40
109	TD=838.36	CB	365494.25	1339506.73
110	TD=838.80	PC	365495.66	13395078.33
111	TD=838.28	PC	365492.87	13395078.38
112	TD=838.75	ME	365491.20	1339506.02
113	TD=836.91	ME, CO	365490.83	1339504.78
114	TD=837.37		365490.93	1339504.75
115	TD=838.02	PC	365477.11	1339504.12
116	TD=838.44	PC	365487.49	1339513.60
117	TD=838.60	PC	365487.63	13395116.28
118	TD=838.22		365478.58	13395135.21
119	TD=838.10	PC	365468.32	13395137.31
120	TD=837.83	ME	365458.56	13395137.81
121	TD=841.27	PC	365497.10	1339501.55
122	TD=841.56	PC	365496.99	1339500.28
123	TD=841.80	PC	365496.66	1339500.01
124	TD=842.38	CB	365493.83	1339498.34
125	TD=843.48	PC	365493.49	1339498.84
126	TD=842.58	PC	365485.55	1339492.37
127	TD=842.62	PC	365473.13	1339492.88
128	TD=842.67	PC	365483.51	1339493.13
129	TD=838.83		365526.66	13395128.11
130	RD=838.41	TC, SW	365527.10	13395128.58
131	RD=838.38	TC, SW	365533.83	13395133.28
132	TD=838.86		365534.97	13395133.70
133	SW=839.44		365533.58	13395128.27
134	SW=840.58		365548.56	13395127.52
135	SW=840.51		365548.81	13395132.51
136	SW=840.60		365558.27	13395132.14
137	SW=840.70		365556.12	13395127.14
138	SW=840.75		365558.45	13395128.02
139	SW=840.67		365562.95	13395130.40
140	SW=841.40	ME	365567.65	13395123.38
141	SW=840.74	ME	365567.19	13395128.09
142	TD=840.00	SPILL	365524.88	13395048.71
143	TD=841.85	PC, SPILL	365541.40	13395078.78
144	TD=842.84	PC	365554.72	13395075.96
145	TD=843.69	PC	365561.65	13395072.53
146	TD=843.85	TC, ME, 11" TAPER	365559.31	13395063.70
147	TD=842.29	ME	365557.66	13395118.12
148	TD=842.24	PC	365557.52	13395113.86
149	TD=841.04	PC	365548.92	13395104.50
150	TD=842.24	PC, SPILL	365531.63	13395105.48
151	TD=838.68	SPILL	365525.51	13395107.56
152	TD=841.71		365555.01	13395107.83
153	RD=838.61	TC	365556.31	13395138.07
154	RD=838.89	TC	365555.30	13395135.74
155	RD=838.17	TC	365525.30	13395135.40
156	RD=838.33	TC	365495.32	13395136.40
157	RD=838.05	TC	365485.32	13395136.74
158	TD=838.89		365518.47	13395093.14
159	TD=838.55		365508.29	13395093.45
160	TD=838.15		365494.10	13395083.78
161	TD=838.00		365518.38	13395110.71
162	TD=838.82		365505.92	13395111.00
163	TD=838.06		365488.94	13395111.48
164	TD=838.40		365524.13	13395128.18
165	TD=838.70		365505.17	13395128.68
166	TD=838.01		365486.20	13395128.15

**CURB NOTE**

- THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:
 

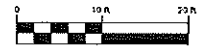
CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
F4 (SPILL)	0.60 FT
- TO CONVERT TOP OF RAMP OPENING (RO) ELEVATION TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:
 

CURB TYPE	HEIGHT
F4 (FLOW)	0.46 FT
- TO CONVERT TOP OF DUB DOWN (DO) CURB ELEVATION TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:
 

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- ME - WATCH EXISTING
- CB - CATCH BASIN
- PC - POINT OF CURVATURE
- RO - RAMP OPENING
- DO - DUB DOWN
- SPILL - SPILL CURB
- ~ - FLOW DIRECTION
- ⊙ - CURB TAPER
- - FLOW CURB
- - SPILL CURB
- - TRANSITION FROM SPILL CURB TO FLOW CURB



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=10'

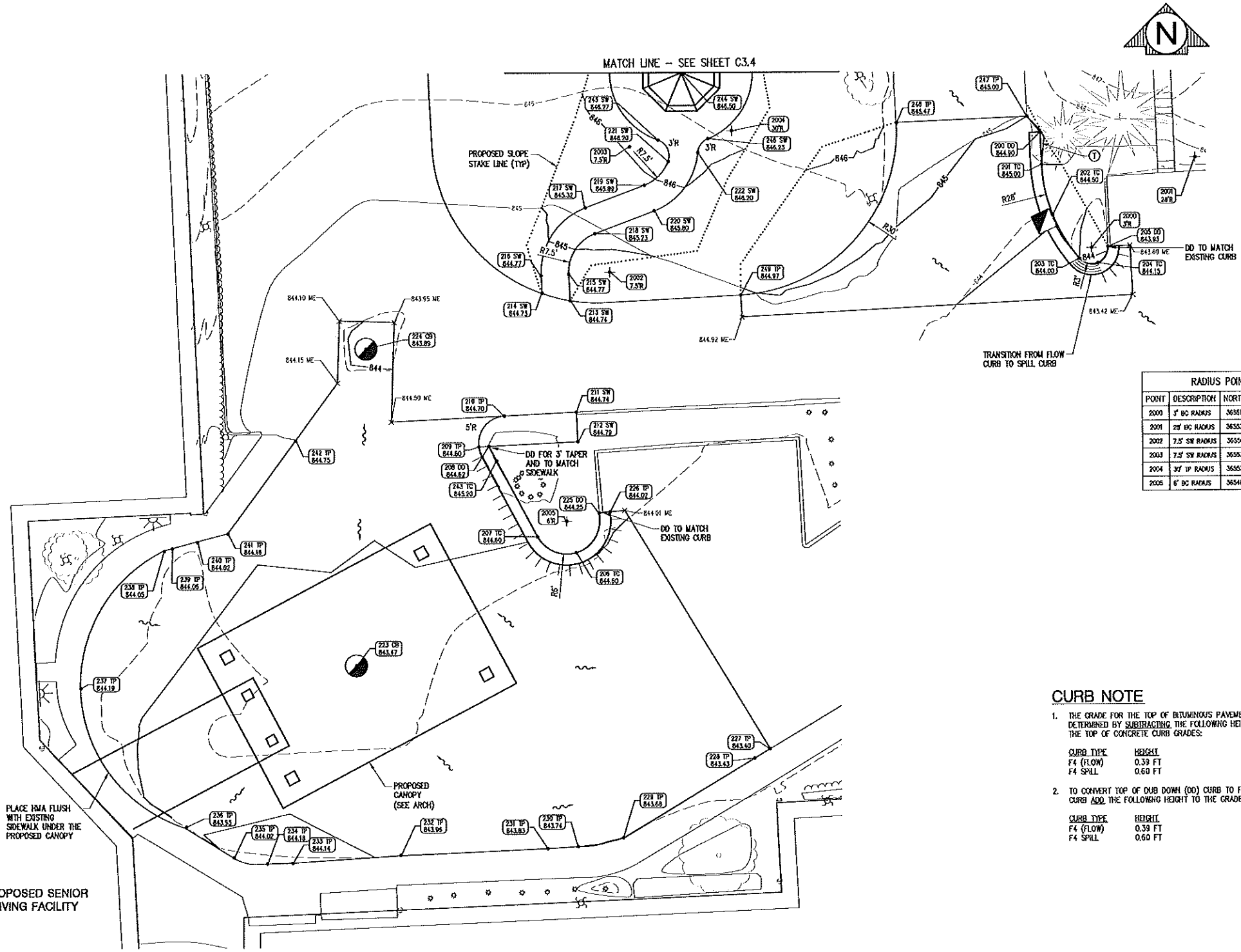
**ROWE PROFESSIONAL SERVICES COMPANY**  
 O: (248) 875-1096  
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PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

REV: \_\_\_\_\_  
 SHT# **C3.2**  
 JOB No: 20F0071





POINT	DESCRIPTION	NORTHING	EASTING
2000	1' BC RADIUS	365613.65	13394007.48
2001	2' BC RADIUS	365630.02	13394026.37
2002	7.5' SW RADIUS	365506.81	13394719.78
2003	7.5' SW RADIUS	365532.39	13394723.42
2004	3/2' TP RADIUS	365535.29	13394742.06
2005	8' BC RADIUS	365464.23	13394711.64

POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
200	844.90	BC	365534.73	13394798.14
201	844.90	PC	365528.80	13394798.40
202	844.50	CB	365518.67	13394800.38
203	844.00	PC, BEGN TRANS	365511.66	13394805.21
204	844.15	SPILL	365510.87	13394808.69
205	843.93	TC, ME, PC, SPILL	365511.80	13394810.47
206	844.60	SPILL	365458.48	13394715.55
207	844.60	PC, SPILL	365461.41	13394706.54
208	844.62	TC, SW	365477.91	13394697.74
209	844.60	SW, PC	365477.81	13394695.89
210	844.70	SW, ME, PC	365483.46	13394700.58
211	844.74	ME	365484.13	13394713.59
212	844.78	PC	365478.75	13394713.87
213	844.74	ME	365504.42	13394712.54
214	844.73	ME	365506.80	13394707.46
215	844.77	PC	365509.22	13394712.28
216	844.77	PC	365508.96	13394707.30
217	845.32	PC	365521.29	13394715.34
218	845.23	PC	365516.62	13394717.11
219	845.80	PC	365525.38	13394726.08
220	845.80	PC	365520.71	13394727.86
221	844.20	PC	365528.69	13394730.42
222	844.20	PC	365531.31	13394735.87
223	843.47	PC	365438.00	13394673.70
224	843.89	PC	365495.71	13394725.50
225	844.25	TC, ME, SPILL	365468.75	13394717.75
226	844.02	ME	365465.93	13394719.72
227	843.40	ME	365422.69	13394748.70
228	843.43	PC	365420.98	13394745.88
229	843.68	PC	365408.55	13394721.93
230	843.74	PC	365404.68	13394713.78
231	843.83	PC	365404.65	13394708.29
232	843.96	PC	365403.54	13394681.70
233	844.11	PC	365402.10	13394682.05
234	844.18	PC	365402.01	13394687.43
235	844.02	PC	365403.14	13394681.33
236	843.50	PC	365408.73	13394642.71
237	844.18	PC	365434.00	13394623.76
238	844.05	PC	365436.91	13394636.77
239	844.06	PC	365436.36	13394640.29
240	844.02	PC	365460.56	13394644.76
241	844.16	PC	365462.07	13394650.27
242	844.75	PC	365478.05	13394662.83
243	845.20	SPILL	365475.28	13394689.15
244	846.50	PC	365445.89	13394732.87
245	846.57	PC	365533.61	13394728.89
246	848.25	PC	365533.63	13394737.74
247	845.00	ME	365537.83	13394795.77
248	845.47	ME	365536.59	13394772.04
249	844.97	ME	365505.33	13394745.82

**CURB NOTE**

- THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:  

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
F4 SPILL	0.60 FT
- TO CONVERT TOP OF CURB DOWN (DO) CURB TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:  

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
F4 SPILL	0.60 FT

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- ME - MATCH EXISTING
- CB - CATCH BASIN
- PC - POINT OF CURVATURE
- RO - RAMP OPENING
- DO - CURB DOWN
- SPILL - SPILL CURB
- ~ - FLOW DIRECTION
- ⊙ - CURB TAPER
- - FLOW CURB
- - SPILL CURB
- - TRANSITION FROM SPILL CURB TO FLOW CURB



CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV:

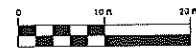
SHT# C3.3  
JOB No: 20F0071



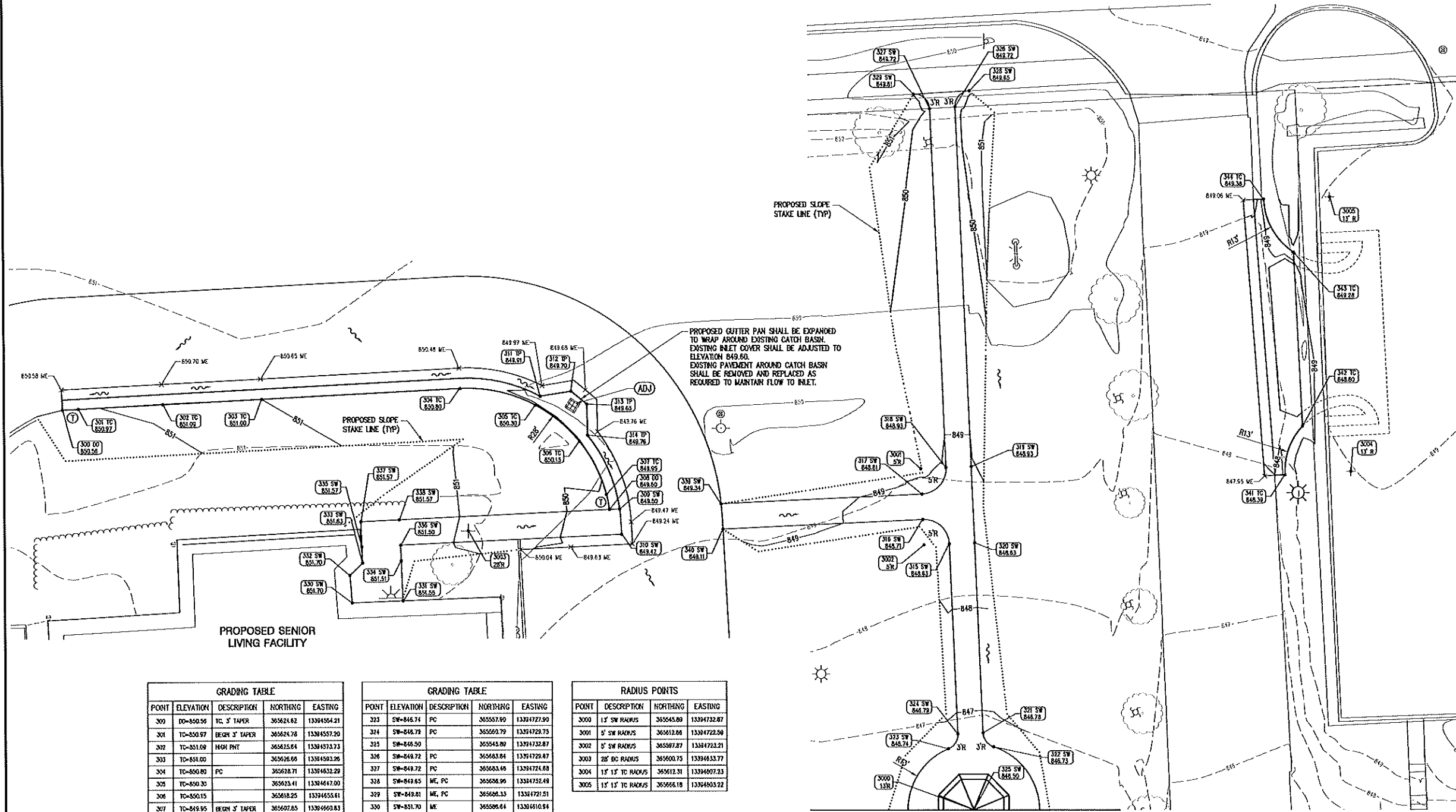
PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=10'

**ROWE PROFESSIONAL SERVICES COMPANY**  
 O: (248) 676-1096  
 F: (800) 974-1704  
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PREPARED FOR  
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**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET



12 MILE ROAD



PROPOSED SENIOR LIVING FACILITY

PROPOSED GUTTER PAN SHALL BE EXPANDED TO WRAP AROUND EXISTING CATCH BASIN. EXISTING INLET COVER SHALL BE ADJUSTED TO ELEVATION 849.60. EXISTING PAVEMENT AROUND CATCH BASIN SHALL BE REMOVED AND REPLACED AS REQUIRED TO MAINTAIN FLOW TO INLET.

MATCH LINE -- SEE SHEET C3.3

POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
300	850.56	TC, 5' TAPER	365624.62	13394554.21
301	850.97	BEGRN 5' TAPER	365624.78	13394557.20
302	851.09	HIGH PNT	365615.64	13394571.73
303	851.00		365628.66	13394583.26
304	850.80	PC	365628.71	13394632.29
305	850.30		365633.41	13394647.00
306	850.15		365618.25	13394655.61
307	849.95	BEGRN 5' TAPER	365607.65	13394660.83
308	849.89	TC, SW, 5' TAPER	365604.92	13394661.48
309	849.50		365605.01	13394663.46
310	849.42		365603.03	13394663.64
311	849.91		365607.17	13394667.96
312	849.70		365628.16	13394633.88
313	849.65		365625.00	13394657.06
314	849.78		365619.50	13394657.18
315	848.63	PC	365606.06	13394728.21
316	848.71	PC	365602.87	13394722.87
317	848.81	PC	365607.87	13394722.83
318	848.93	PC	365613.07	13394727.59
319	848.83		365613.28	13394732.58
320	848.63		365613.29	13394731.20
321	848.78	PC	365611.00	13394734.74
322	848.73	PC	365558.27	13394738.83

POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
323	848.74	PC	365557.90	13394727.90
324	848.78	PC	365560.79	13394729.75
325	848.50		365545.89	13394732.87
326	848.72	PC	365563.84	13394729.87
327	849.72	PC	365663.46	13394724.88
328	849.65	ME, PC	365608.96	13394752.48
329	849.81	ME, PC	365606.33	13394721.51
330	851.70	ME	365596.64	13394610.94
331	851.55	ME	365597.02	13394620.93
332	851.70	ME	365592.04	13394610.52
333	851.63		365594.45	13394613.01
334	851.51		365594.87	13394620.63
335	851.57		365597.65	13394612.88
336	851.50		365597.84	13394620.51
337	851.57		365602.57	13394612.89
338	851.57		365602.84	13394620.27
339	849.34	ME	365605.58	13394663.49
340	848.11	ME	365600.99	13394683.82
341	848.39	PC	365611.64	13394724.24
342	848.60	PC	365621.22	13394727.78
343	849.29	PC	365655.32	13394726.87
344	849.38	PC	365663.70	13394720.23

POINT	DESCRIPTION	NORTHING	EASTING
3000	15' SW RADIUS	365645.89	13394732.87
3001	5' SW RADIUS	365612.88	13394722.59
3002	5' SW RADIUS	365597.87	13394723.21
3003	28' BC RADIUS	365600.75	13394633.77
3004	15' 15' TC RADIUS	365612.31	13394607.23
3005	15' 15' TC RADIUS	365656.18	13394603.22

**CURB NOTE**

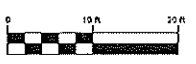
- THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:
 

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT
- TO CONVERT TOP OF DIRT DOWN (DD) CURB TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:
 

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- CB - CATCH BASIN
- ME - MATCH EXISTING
- DD - CURB DOWN
- PC - POINT OF CURVATURE
- ⊙ - CURB TAPER
- ~ - FLOW DIRECTION



PLAN SUBMITTALS AND CHANGES	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-15-22	ISSUED FOR CONSTRUCTION

REV: \_\_\_\_\_  
 SHT# **C3.4**  
 JOB No: 20F0071

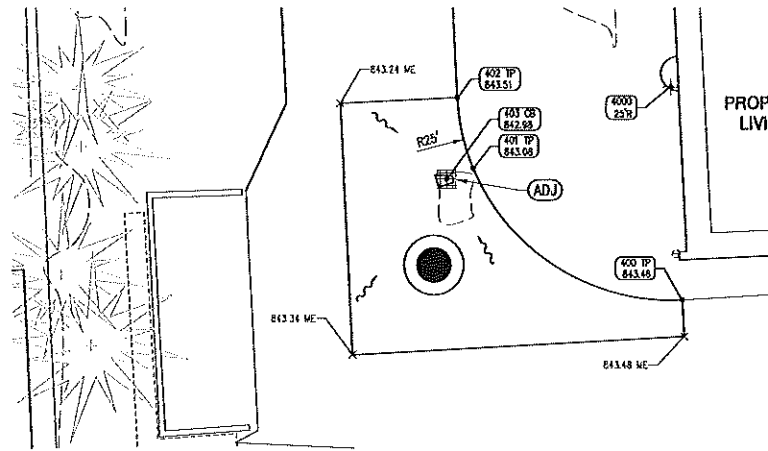


PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: 1"=10'

**ROWE PROFESSIONAL SERVICES COMPANY**  
 O: (248) 675-1096  
 F: (800) 974-1704  
 www.rowepsc.com  
 27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

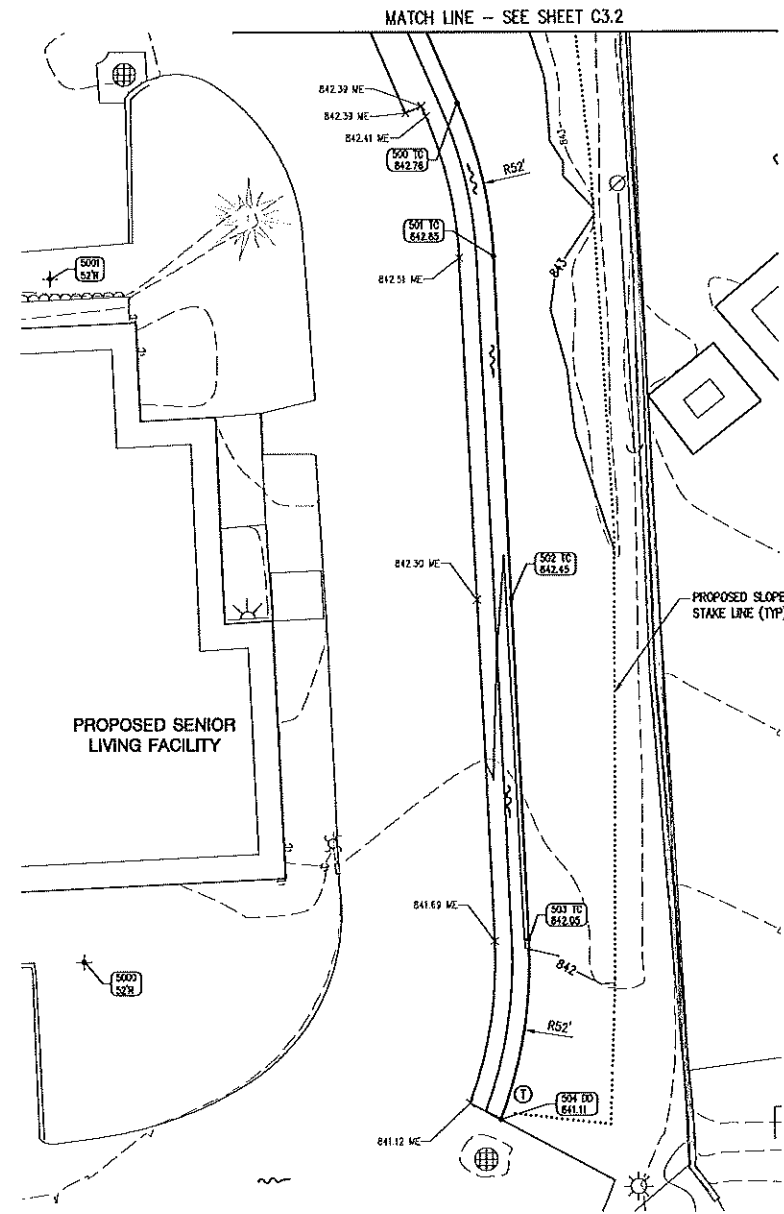
PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

8: V:\proj\20F0071\Draw\Commission\Draw\Grading\Grading-C3.4.dwg



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
400	TP-843.16	PC, ME	365196.91	13394578.82
401	TP-843.06		365112.34	13394554.31
402	TP-843.51	PC, ME	365220.65	13394552.46
403	CB-842.98		365211.08	13394551.25

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
4000	25' TP RADUS	365221.87	13394577.43



GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
500	TC-842.76	PC	365446.18	13394942.59
501	TC-842.85	PC	365428.20	13394946.77
502	TC-842.65		365368.14	13394948.75
503	TC-842.05	PC	365348.07	13394950.74
504	DO-841.11	TC, ME, PC	365327.00	13394949.41

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
5000	52' BC RADUS	365543.48	13394888.81
5001	52' BC RADUS	365425.82	13394954.83

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- CB - CATCH BASIN
- ME - MATCH EXISTING
- DO - DUB DOWN
- PC - POINT OF CURVATURE
- ⊙ - CURB TAPER
- - FLOW DIRECTION

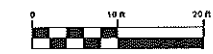
**CURB NOTE**

1. THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:

CURB TYPE	HEIGHT
F4 (FLOW)	0.39 FT

2. TO CONVERT TOP OF DUB DOWN (DO) CURB OR RAMP OPENING (RO) ELEVATION TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:

CURB TYPE	HEIGHT
F4 (FLOW)	0.46 FT



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
8/4	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



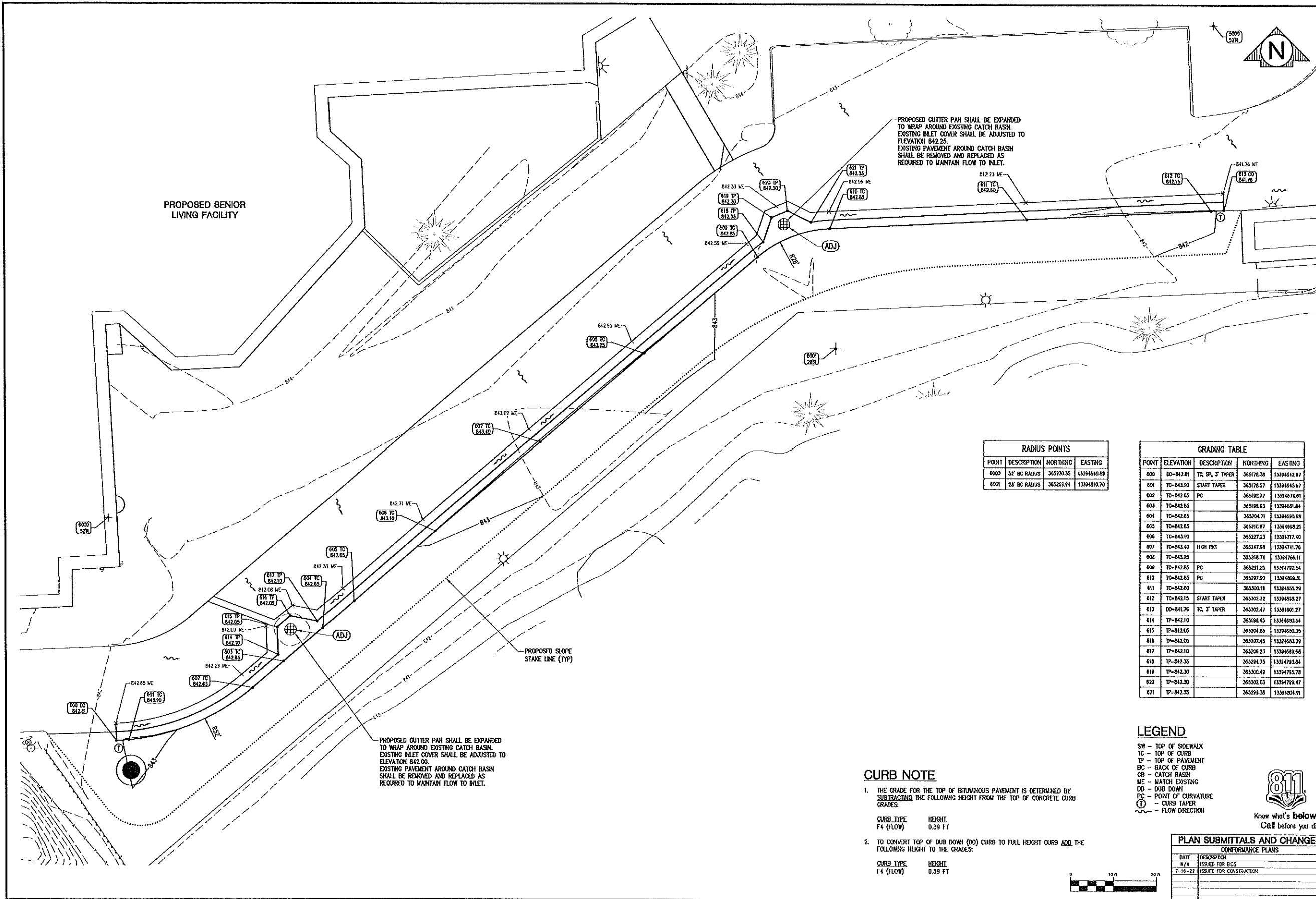
PLAN DATE: JULY 2022  
 PROJECT MOR: PTD  
 REVIEWER: REH  
 SCALE: 1"=10'

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 Farmington Hills, MI 48331

PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 GRADING DETAIL SHEET

REV: \_\_\_\_\_  
 SHT# **C3.5**  
 JOB No: 20F0071





PROPOSED SENIOR LIVING FACILITY

PROPOSED GUTTER PAN SHALL BE EXPANDED TO WRAP AROUND EXISTING CATCH BASIN. EXISTING INLET COVER SHALL BE ADJUSTED TO ELEVATION 842.25. EXISTING PAVEMENT AROUND CATCH BASIN SHALL BE REMOVED AND REPLACED AS REQUIRED TO MAINTAIN FLOW TO INLET.

PROPOSED GUTTER PAN SHALL BE EXPANDED TO WRAP AROUND EXISTING CATCH BASIN. EXISTING INLET COVER SHALL BE ADJUSTED TO ELEVATION 842.00. EXISTING PAVEMENT AROUND CATCH BASIN SHALL BE REMOVED AND REPLACED AS REQUIRED TO MAINTAIN FLOW TO INLET.

RADIUS POINTS			
POINT	DESCRIPTION	NORTHING	EASTING
6000	52' BC RADIUS	365230.35	13394640.88
6001	28' BC RADIUS	365268.94	13394810.70

GRADING TABLE				
POINT	ELEVATION	DESCRIPTION	NORTHING	EASTING
600	842.81	TC, SP, 3' TAPER	365178.38	13394642.67
601	843.20	START TAPER	365178.57	13394645.67
602	842.85	PC	365192.77	13394674.61
603	842.65		365198.93	13394681.84
604	842.65		365204.71	13394693.98
605	842.65		365210.87	13394698.21
606	843.10		365227.23	13394717.60
607	843.40	HIGH PNT	365247.68	13394741.78
608	843.25		365268.74	13394766.11
609	842.85	PC	365281.25	13394792.54
610	842.85	PC	365297.99	13394808.35
611	842.60		365300.18	13394855.29
612	842.15	START TAPER	365302.32	13394863.27
613	841.76	TC, 3' TAPER	365302.47	13394901.27
614	842.10		365308.45	13394930.54
615	842.05		365304.85	13394930.35
616	842.05		365207.45	13394843.39
617	842.10		365206.23	13394868.68
618	842.35		365204.75	13394793.64
619	842.30		365300.19	13394793.78
620	842.30		365302.03	13394792.47
621	842.35		365299.38	13394804.91

**CURB NOTE**

- THE GRADE FOR THE TOP OF BITUMINOUS PAVEMENT IS DETERMINED BY SUBTRACTING THE FOLLOWING HEIGHT FROM THE TOP OF CONCRETE CURB GRADES:
- | CURB TYPE | HEIGHT  |
|-----------|---------|
| F4 (FLOW) | 0.39 FT |
- TO CONVERT TOP OF DUB DOWN (DD) CURB TO FULL HEIGHT CURB ADD THE FOLLOWING HEIGHT TO THE GRADES:
- | CURB TYPE | HEIGHT  |
|-----------|---------|
| F4 (FLOW) | 0.39 FT |

**LEGEND**

- SW - TOP OF SIDEWALK
- TC - TOP OF CURB
- TP - TOP OF PAVEMENT
- BC - BACK OF CURB
- CB - CATCH BASIN
- ME - MATCH EXISTING
- DD - DUB DOWN
- PC - POINT OF CURVATURE
- ① - CURB TAPER
- - FLOW DIRECTION

Know what's below.  
Call before you dig.

**PLAN SUBMITTALS AND CHANGES**

CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION



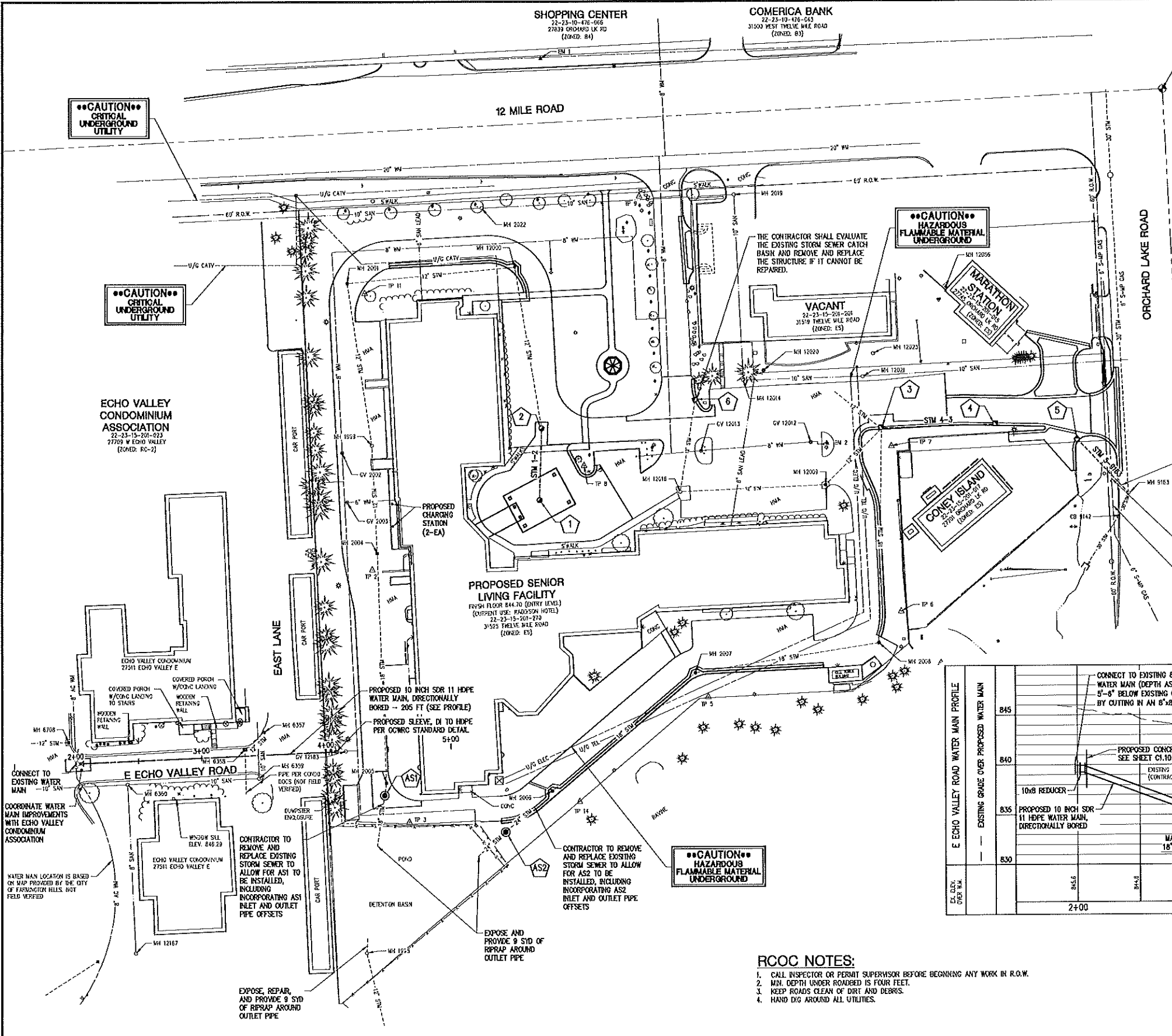
PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=10'

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PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
GRADING DETAIL SHEET

REV:  
SHT# **C3.6**  
JOB No: 20F0071



**PROPOSED STORM SEWER STRUCTURE TABLE**

STRUCT NO.	DI.	COVER TYPE	RM ELEVATION	INVERT	NORTHING	EASTING
EX 9163	N/A	N/A	RM=837.02	4" 833.32 NW (PR) 30" 831.47 N (EX) 30" 831.47 SW (EX)	365441.87	13395148.34
EX 12016	78"	M1	RM=842.90	12" 838.60 N (EX) 12" 838.30 E (EX)	365444.38	13394786.74
EX 1999	N/A	M1	RM=845.17	12" 838.32 N (EX) 12" 838.32 S (EX)	365482.28	13394539.69
AS2	84"	TRAFFIC LOADING	RM=835.93	24" 831.01 NE (EX) 24" 831.01 SW (EX)	365171.42	13394648.14
AS1	78"	TRAFFIC LOADING	RM=843.23	18" 830.79 N (EX) 18" 830.79 S (EX)	365201.00	13394549.78
1	48"	EJ 1040 M1	RM=843.47	12" 839.17 N (PR)	365438.00	13394673.70
2	48"	EJ 1040 M1	RM=843.89	12" 838.88 S (PR) 12" 839.13 SW (EX) 12" 838.88 N (EX)	365495.71	13394675.50
3	48"	EJ 7045 M1	T/C=842.38	12" 833.07 E (PR) 12" 836.80 NW (EX) 12" 836.80 SW (EX) 18" 833.07 S (EX)	365494.93	13394948.28
4	48"	EJ 7045 M1	T/C=840.31	12" 833.53 W (PR)	365497.54	13395039.42
5	24"	EJ 7045 M1	T/C=838.36	4" 834.50 SE (PR)	365484.92	13395105.99
6	48"	EJ 7045 M1	T/C=844.27	12" 841.24 S (EX)	365518.73	13394799.45

NOTE: AS1 AND AS2 ARE AQUA-SMRL XC-8 COW UNITS TO BE CONSTRUCTED IN EXISTING STORM SEWER DISCHARGE(S) TO DETENTION BASIN.

STM 5-9163 TO BE 4 INCH SDR 21 PVC STORM SEWER, DIRECTIONALLY BORED, WORK TO BE COMPLETED ON A SATURDAY WITH RIGHT LANE CLOSURE. NO PAVEMENT REMOVAL IN STREET ALLOWED, IN ACCORDANCE WITH ROC PERMIT REQUIREMENTS, CONTRACTOR TO VERIFY EXISTING STORM INVERTS AND GAS MAIN INVERT AND PROPOSE 4 INCH STORM INVERT TO OWNER BEFORE COMPLETING WORK.

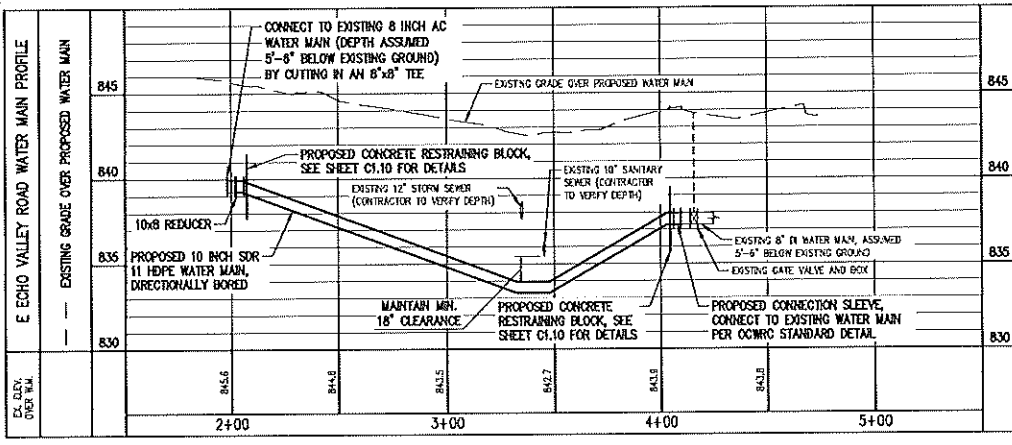
CONTRACTOR TO EXPOSE GAS MAIN PRIOR PLACEMENT OF STM 5-9163

**PROPOSED STORM SEWER PIPE TABLE**

PIPE NUMBER	DIAMETER	TOTAL LENGTH	SLOPE
STM 1-2	12"	58'	0.50%
STM 4-3	12"	91'	0.50%
STM 5-9163	4"	59'	2.00%

**WATER MAIN FITTINGS TABLE**

STATION	OFFSET	FITTING
2+00.00	0	8x8 TEE
2+04.48	0	8x10 REDUCER
4+08.17	0	SLEEVE



- ROC NOTES:**
1. CALL INSPECTOR OR PERMIT SUPERVISOR BEFORE BEGINNING ANY WORK IN R.O.W.
  2. MIN. DEPTH UNDER ROADBED IS FOUR FEET.
  3. KEEP ROADS CLEAN OF DIRT AND DEBRIS.
  4. HAND DIG AROUND ALL UTILITIES.



**PLAN SUBMITTALS AND CHANGES**

DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-15-22	ISSUED FOR CONSTRUCTION



PLAN DATE: JULY 2022  
 PROJECT MGR: PTO  
 REVIEWER: REH  
 SCALE: H: 1"=40' V: 1"=5'

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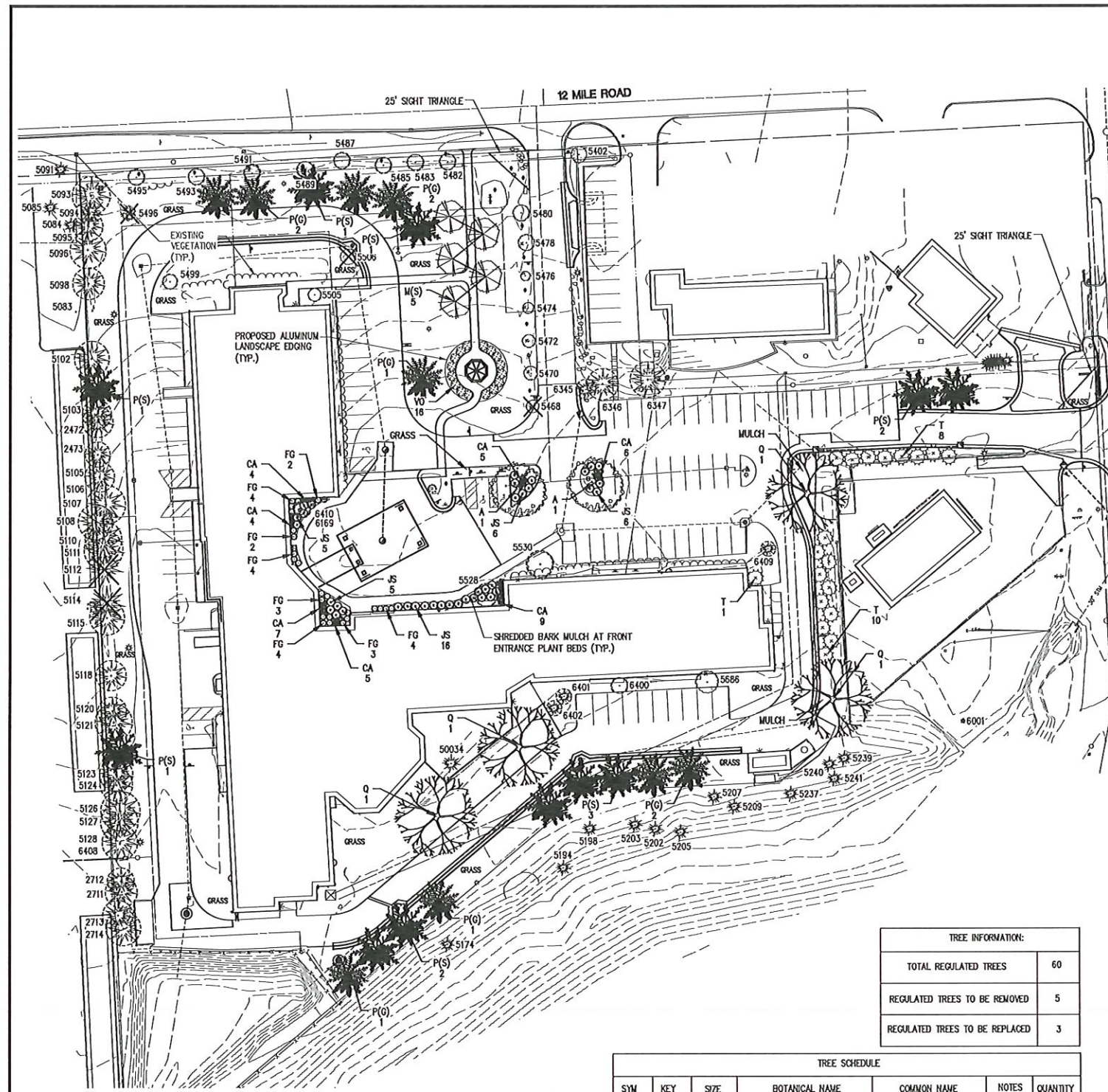


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PREPARED FOR  
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**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 OVERALL UTILITY SHEET

REV: \_\_\_\_\_  
 SHT# **C4.0**  
 JOB No: 20F0071





TREE INFORMATION:	
TOTAL REGULATED TREES	60
REGULATED TREES TO BE REMOVED	5
REGULATED TREES TO BE REPLACED	3

PLANT SCHEDULE					
SYM	KEY	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
CA	CA	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	KARL FOERSTER REED GRASS	NO. 3 CONT. 2' HT.	40 @ 2' SPACING
FG	FG	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	NO. 3 CONT.; 3' HT.	26 @ 3' SPACING
JS	JS	JUNIPERUS SABINA	BUFFALO JUNIPER	NO. 5 CONT.; 18" HT.	38 @ 4' SPACING
VO	VO	VIORNIUM OPULUS 'COMPACTUM'	COMPACT EUROPEAN VIORNIUM	B & B; 4' HT.	16 @ 4' SPACING

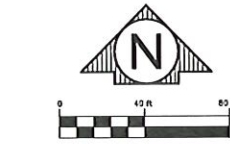
TREE SCHEDULE						
SYM	KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	QUANTITY
⊗	A	2 1/2" CAL.	ACER RUBRUM	RED MAPLE	B & B	2
⊗	N	2" CAL.	MALUS 'BOB WHITE'	BOB WHITE CRABAPPLE	B & B	5
⊗	P(G)	8' HT.	PICEA GLAUCA	COLORADO BLUE SPRUCE	B & B	10
⊗	P(S)	8' HT.	PINUS STROBUS	EASTERN WHITE PINE	B & B	10
⊗	Q	3" CAL.	QUERCUS ALBA	WHITE OAK	B & B	4
⊗	T	8' HT.	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT WESTERN ARBOVITAE	B & B	19

**LANDSCAPE ORDINANCE**  
 LANDSCAPING ADJACENT TO ROAD:  
 1 TREE PER 2,800 SFT

**REQUIREMENTS**  
 68,904.21 SFT/2,800 = 24.6 TREES (25)  
 29 TREES

\*PER INFORMATION FROM SECTION 34-5.14 OF THE FARMINGTON HILLS ZONING ORDINANCE

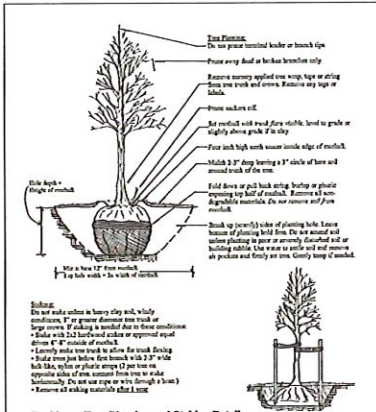
**LANDSCAPE DIMENSIONS:**  
 MINIMUM SHADE TREE CALIPER (CAL.) - 3"  
 MINIMUM EVERGREEN TREE HEIGHT - 8'  
 MINIMUM ORNAMENTAL TREE CALIPER (CAL.) - 2"  
 MINIMUM SHRUB HEIGHT - 2'



**LEGEND**  
 ⊗ TREE TO BE REMOVED  
 ○ 4' (FOOT) HIGH WOOD SNOW FENCING

**TREE SURVEY INFORMATION:**

TAG #	DIA INCHES	COMMON NAME	BOTANICAL NAME	TAG #	DIA INCHES	COMMON NAME	BOTANICAL NAME
6343	13	Blue Spruce	Picea pungens	5308	24	Scotch Pine	Pinus sylvestris
6346	21	Blue Spruce	Picea pungens	5309	27	Scotch Pine	Pinus sylvestris
6347	24	Eastern White Pine	Pinus strobus	5310	26	Scotch Pine	Pinus sylvestris
5470	8	Ornamental Pear	Pyrus calleryana	5311	27	Scotch Pine	Pinus sylvestris
5472	8	Ornamental Pear	Pyrus calleryana	5312	27	Scotch Pine	Pinus sylvestris
5474	7	Ornamental Pear	Pyrus calleryana	5315	23	Scotch Pine	Pinus sylvestris
5476	6	Ornamental Pear	Pyrus calleryana	5318	20	Scotch Pine	Pinus sylvestris
5478	9	Ornamental Pear	Pyrus calleryana	5320	19	Scotch Pine	Pinus sylvestris
5479	6	Ornamental Pear	Pyrus calleryana	5321	25	Scotch Pine	Pinus sylvestris
5480	8	Ornamental Pear	Pyrus calleryana	5322	23	Scotch Pine	Pinus sylvestris
5482	22	Silver Maple	Acer saccharinum	5323	25	Scotch Pine	Pinus sylvestris
5483	17	Silver Maple	Acer saccharinum	5324	21	Scotch Pine	Pinus sylvestris
5485	15	Sugar Maple	Acer saccharum	5326	26	Scotch Pine	Pinus sylvestris
5487	13	Sugar Maple	Acer saccharum	5327	24	Scotch Pine	Pinus sylvestris
5489	8	Crabapple	Malus sp.	5328	25	Scotch Pine	Pinus sylvestris
5490	20	Sugar Maple	Acer saccharum	6408	22	Scotch Pine	Pinus sylvestris
5491	16	Silver Maple	Acer saccharinum	2712	19	Scotch Pine	Pinus sylvestris
5492	25	Silver Maple	Acer saccharinum	2711	21	Scotch Pine	Pinus sylvestris
5493	24	Silver Maple	Acer saccharinum	2713	20	Scotch Pine	Pinus sylvestris
5494	25	Silver Maple	Acer saccharinum	2714	21	Scotch Pine	Pinus sylvestris
5495	9	Ornamental Pear	Pyrus calleryana	2715	23	Scotch Pine	Pinus sylvestris
5496	26	Scotch Pine	Pinus sylvestris	6402	23	Colorado Blue Spruce	Picea pungens
5497	17	Scotch Pine	Pinus sylvestris	6403	24	Colorado Blue Spruce	Picea pungens
5498	8	Crabapple	Malus sp.	6400	16	Red Maple	Acer rubrum
5499	19	Scotch Pine	Pinus sylvestris	5686	14	Red Maple	Acer rubrum
5500	23	Scotch Pine	Pinus sylvestris	6409	28	Eastern White Pine	Pinus strobus
5501	21	Scotch Pine	Pinus sylvestris	5530	16	Crabapple	Malus sp.
5502	24	Scotch Pine	Pinus sylvestris	5528	14	Crabapple	Malus sp.
5503	20	Scotch Pine	Pinus sylvestris	6189	15	Crabapple	Malus sp.
5504	21	Scotch Pine	Pinus sylvestris				
5505	21	Scotch Pine	Pinus sylvestris				
5506	19	Scotch Pine	Pinus sylvestris				
5507	17	Scotch Pine	Pinus sylvestris				
5508	17	Scotch Pine	Pinus sylvestris				
5509	17	Scotch Pine	Pinus sylvestris				
5510	17	Scotch Pine	Pinus sylvestris				
5511	17	Scotch Pine	Pinus sylvestris				
5512	17	Scotch Pine	Pinus sylvestris				
5513	17	Scotch Pine	Pinus sylvestris				
5514	17	Scotch Pine	Pinus sylvestris				
5515	17	Scotch Pine	Pinus sylvestris				
5516	17	Scotch Pine	Pinus sylvestris				
5517	17	Scotch Pine	Pinus sylvestris				
5518	17	Scotch Pine	Pinus sylvestris				
5519	17	Scotch Pine	Pinus sylvestris				
5520	17	Scotch Pine	Pinus sylvestris				
5521	17	Scotch Pine	Pinus sylvestris				
5522	17	Scotch Pine	Pinus sylvestris				
5523	17	Scotch Pine	Pinus sylvestris				
5524	17	Scotch Pine	Pinus sylvestris				
5525	17	Scotch Pine	Pinus sylvestris				



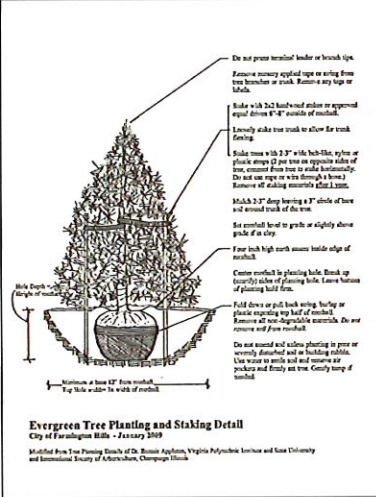
**Deciduous Tree Planting and Staking Detail**  
 City of Farmington Hills - January 2019



**LOCATION MAP**  
 N.T.S.

**LANDSCAPE NOTES**

- ALL REQUIRED LANDSCAPE MATERIAL INDICATED ON APPROVED PLANS WILL BE REQUIRED THROUGH THE LIFE OF THE PROJECT AND MUST BE REPLACED IF REMOVED OR DEAD.
- A TREE PERMIT MUST BE OBTAINED FROM THE PLANNING OFFICE PRIOR TO ALL TREE REMOVAL ACTIVITY INVOLVING TREES SIX INCHES (6") OR MORE DBH IN ACCORDANCE WITH THE CITY OF FARMINGTON HILLS ZONING CHAPTER 34-5.18.
- TREES MUST BE PLANTED NO CLOSER THAN SIX FEET (6') TO PUBLIC UTILITIES.
- 4 FOOT (4') HIGH WOOD SNOW FENCING OR OTHER RIGID MATERIAL IS TO BE ERRECTED AROUND THE DRIP LINE OF ALL TREES TO BE SAVED IN ACCORDANCE WITH THE CITY OF FARMINGTON HILLS ZONING ORDINANCE CHAPTER 34-5.18.
- REQUIRED LANDSCAPE MATERIAL SHALL SATISFY AMERICAN SOCIETY OF NURSERYMAN STANDARDS AND BE:
  - NURSERY GROWTH
  - STATE DEPARTMENT OF AGRICULTURE INSPECTED
  - NO. 1 GRADE WITH STRAIGHT UNSCARRED TRUNK AND WELL DEVELOPED UNIFORM CROWN (PARK GRADE TREES WILL NOT BE ACCEPTED).
  - PLANTED PER CITY OF FARMINGTON HILLS DETAILS AND SPECIFICATIONS AND IN ACCORDANCE WITH CITY OF FARMINGTON HILLS CHAPTER 34-5.14
  - GUARANTEED FOR ONE YEAR.
  - REPLACEMENT TREES SHALL HAVE SHADE POTENTIAL AND OTHER CHARACTERISTICS COMPARABLE TO THE TREES PROPOSED FOR REMOVAL.



**Evergreen Tree Planting and Staking Detail**  
 City of Farmington Hills - January 2019

PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
7-16-22	ISSUED FOR BIDS
	ISSUED FOR CONSTRUCTION

JULY 2022  
 PLAN DATE: PTO  
 PROJECT MGR: REH  
 REVIEWER: 1"=40'  
 SCALE:

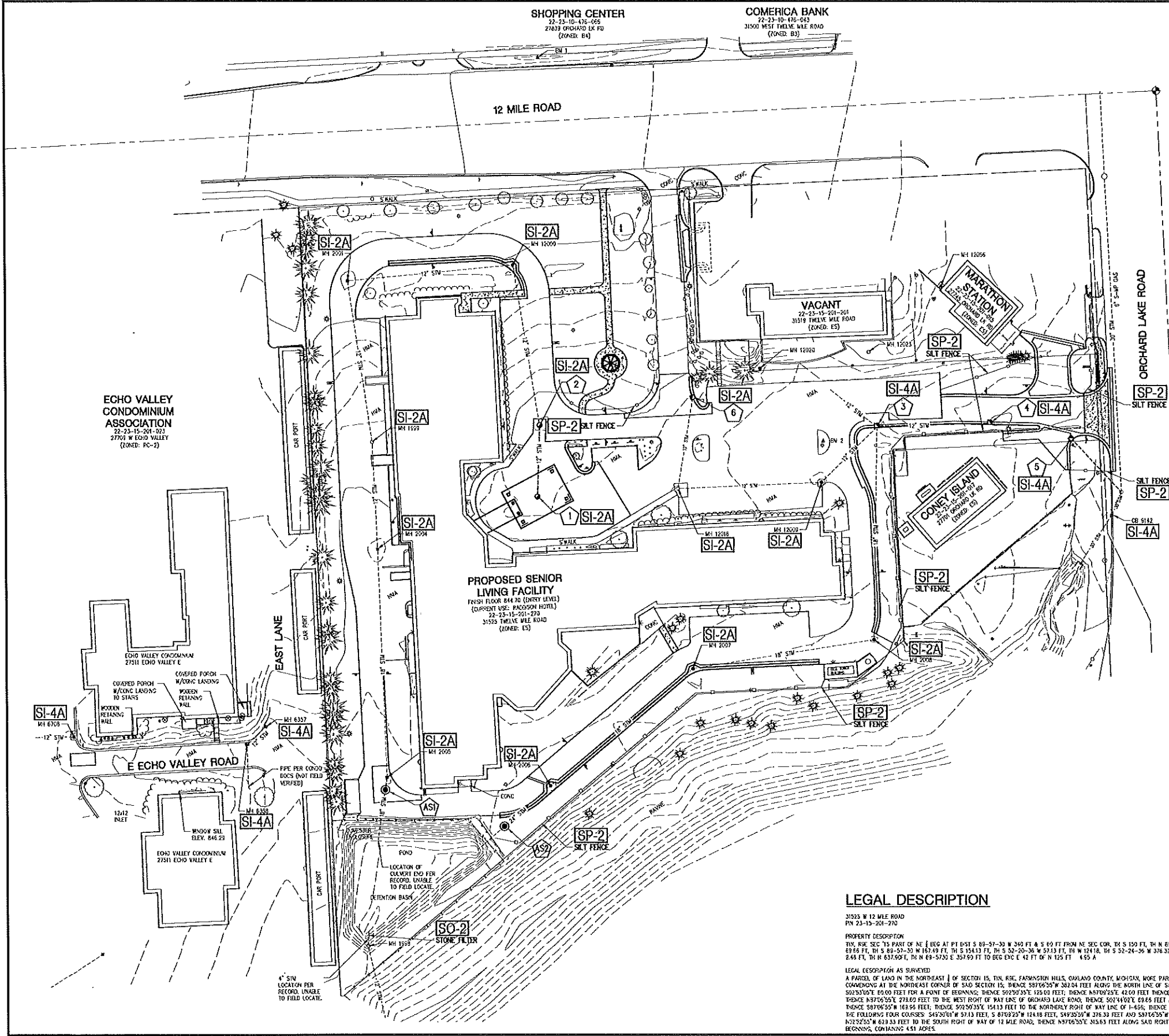
**ROWE PROFESSIONAL SERVICES COMPANY**  
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PREPARED FOR:  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
 THE CITY OF FARMINGTON HILLS, MICHIGAN  
 LANDSCAPE PLANTING PLAN SHEET

27280 Haggerty Road, Suite C-2  
 Farmington Hills, MI 48331

REV: C5.0  
 SHT# C5.0  
 JOB No: 20F0071





OAKLAND COUNTY WATER RESOURCES COMMISSION  
SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

- SI-2A LOW POINT INLET FILTER
- SI-4A CURB AND GUTTER INLET FILTER ALTERNATE "A"
- SP-2 SILT FENCE
- SO-2 TEMPORARY DETENTION BASIN OUTLET STONE FILTER

PERMANENT SEEDING GUIDE

PREPARED AND/OR MAINT	APR	MAY	JUN	JUL	AUG	SEP	OCT	ZONE 1
WITHOUT FERTILIZER OR MULCH								

TEMPORARY SEEDING GUIDE

TYPE OF SEED	ZONE 1							
	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV
SPRING GRASS (DAKOTA) OR DOMESTIC KYRGRASS								
SLUDGRASS								
RYE OR PERENNIAL RYE								
WHEAT								

NOTE: TO BE FILLED OUT BY CONTRACTOR

CONSTRUCTION SEQUENCE	SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMP. CONTROL MEASURES												
STORM FACILITIES												
TEMP. CONSTRUCTION ROADS												
PERM. CONTROL MEASURES												
FINISH GRADING												

CONSTRUCTION SEQUENCE

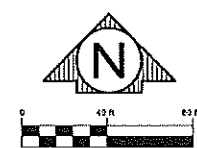
1. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES, SELECTIVE GRADING, OVERSEEDS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
2. EXCAVATION AND STOCKPILING OF SOIL.
3. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES, SELECTIVE GRADING, OVERSEEDS AS REQUIRED IN FIELD, PROTECTION OF STORM SEWER FACILITIES.
4. PERFORM MAINTENANCE OF AFFECTED DROUGH CONTROL MEASURES.
5. PERMANENT MEASURES: FINAL GRADING, SEEDING AND MULCHING.

LEGAL DESCRIPTION

31525 W 12 MILE ROAD  
PN 23-13-201-210

PROPERTY DESCRIPTION  
TH. SEC 15 PART OF NE 1/4 SEC AT PT 651 S 89-57-33 W 340 FT & S 89 FT FROM NE SEC COR. TH S 150 FT, TH N 89-57-30 E 569 FT, TH S 89 88 FT, TH S 89-57-30 W 167.49 FT, TH S 154.13 FT, TH S 52-20-36 W 57.13 FT, TH W 124.16, TH S 52-24-36 W 376.33 FT, TH S 89-57-30 W 2.48 FT, TH N 837.50 FT, TH N 89-57-30 E 357.89 FT TO BEG EPC E 42 FT OF N 125 FT 4.55 A

LEGAL DESCRIPTION AS SURVEYED  
A PARCEL OF LAND IN THE NORTHEAST 1/4 OF SECTION 15, T14N, R13E, FARMINGTON HILLS, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 15, THENCE S89°56'55"W 382.84 FEET ALONG THE NORTH LINE OF SAID SECTION, THENCE S02°35'05"E 80.00 FEET FOR A POINT OF BEGINNING, THENCE S92°52'35"E 125.00 FEET, THENCE N87°02'24"E 42.00 FEET THENCE S82°59'35"E 25.00 FEET, THENCE N87°02'24"E 278.82 FEET TO THE WEST RIGHT OF WAY LINE OF ORCHARD LAKE ROAD, THENCE S02°44'02"E 89.65 FEET ALONG SAID RIGHT OF WAY, THENCE S87°06'55"W 183.96 FEET, THENCE S02°50'35"E 154.13 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF I-656, THENCE ALONG SAID RIGHT OF WAY THE FOLLOWING FOUR COURSES: S45°30'01"W 57.13 FEET, S 87°02'25"W 124.16 FEET, S49°25'50"W 376.33 FEET AND S87°16'35"W 2.48 FEET, THENCE N27°52'55"W 613.33 FEET TO THE SOUTH RIGHT OF WAY OF 12 MILE ROAD, THENCE N87°06'55"E 315.83 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING, CONTAINING 4.51 ACRES.



PLAN DATE: JULY 2022  
PROJECT MGR: PTO  
REVIEWER: REH  
SCALE: 1"=40'

ROWE PROFESSIONAL SERVICES COMPANY  
O: (248) 675-1096  
F: (800) 974-1704  
www.rowepss.com



PREPARED FOR  
**MANOR SENIOR LIVING LLC**  
**COMFORT CARE SENIOR LIVING P.U.D.**  
THE CITY OF FARMINGTON HILLS, MICHIGAN  
PROPOSED CONDITIONS SESC PLAN SHEET



PLAN SUBMITTALS AND CHANGES	
CONFORMANCE PLANS	
DATE	DESCRIPTION
N/A	ISSUED FOR BIDS
7-16-22	ISSUED FOR CONSTRUCTION

REV:  
SHT# **C6.0**  
JOB No: 20F0071

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION SPECIAL MEETING  
MASTER PLAN STUDY  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
MARCH 21, 2024 6:00 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Special Meeting was called to order by Chair Trafelet at 6:05pm.

**ROLL CALL**

Commissioners present:           Aspinall, Brickner, Countegan (6:42pm), Grant, Mantey, Trafelet, Stimson, Ware

Commissioners Absent:           Varga

Others Present:                    Director of Planning and Community Development Kettler-Schmult, City Attorney Schultz, Planning Consultants Tangari and Upfal

Mayor Rich, City Council Members Bruce and Knol

**APPROVAL OF THE AGENDA**

**MOTION by Stimson, support by Aspinall, to approve the agenda as published.**

**Motion passed unanimously by voice vote.**

**MASTER PLAN STUDY**

**A. Review Draft Master Plan**

Planning Consultant Tangari led the Commission through an overview of the 03/14/24 draft 2024 Master Plan, “The Next 50”, Document and Appendix. The Master Plan text reflected Planning Commission discussions as well as public input. The Master Plan opens with a brief history of Farmington Hills, which celebrated its 50<sup>th</sup> anniversary as a City in 2023, and envisions the next 50 years – “The Next 50.”

There will be at least one more meeting regarding the draft Master Plan before the document is presented at a public hearing. Commissioners were asked to gather their thoughts about the document and the appendix, and come to the next meeting prepared to offer comments and feedback.

Comments made during the section by section overview included:

- Several clerical errors were pointed out and formatting changes suggested (such as expanding the chart on p. 29 so that the entire response text to the left of the bar graph can be read, and enlarging type related to certain graphs). On p. 153, Innovation Energy and Environmental Sustainability Committee (IEESC) is currently on sunset. Multicultural/Multiracial Community (MCMR) is currently not a City Board or Commission.
- P. 32, under Sustainability and Resiliency – the comment was made that a vast majority of businesses do not recycle because the separate cardboard bin takes up a separate parking space. Farmington Hills

has high parking requirements, so that for many businesses, each space counts. This is an example of the interrelatedness of issues.

- P. 49 addressed parking requirements. Could the Master Plan include a statement that the City does not want to replace parking requirements with drive-through restaurants?
- Regarding Planned Unit Developments (p. 50), could qualification criteria more precisely address public benefits? (The term “public benefit” does not appear in the zoning ordinance.)
- The Commission should continue to think about special planning areas, and how planned flexibility including vertical development and mixed uses can create lively spaces. How does this fit into the economic development/sustainability picture?
- Could staff provide the balance from tax increment revenue capture that is in the Grand River Corridor Improvement fund?
- The portion of Grand River Corridor that is not part of the TIF (tax increment financing) area could be its own study area.
- Include a map showing just the special residential planning areas. Perhaps group those areas in terms of common goals and recommendations.
- Regarding the discussion of flex residential/office spaces on p. 76, this is another area where less parking might be needed.
- Regarding the Boys & Girls Republic and Inkster/9 Mile special planning area (p. 80), consider this hard to develop area that is also a “nature gem” as a potential city park.
- Regarding Orchard Lake Road north of 11 Mile Road (p. 86) being considered for flex residential/office space, was this designation appropriate? The west side of Orchard Lake Road is all single family residential, and on the east side there is a new condo development. Any office parking would likely have to be to the rear, where there is more residential development. This is not a transition area, and office use might not be appropriate.
- Utilize pop up, temporary and mobile uses (p. 87) in non-residential special planning areas, in order to generate energy and activity in those spaces without having to put shovels in the ground.
- Accessory dwelling units (ADUs) are addressed in the Housing Plan.
- Regarding Section 07 – Transportation Plan, the text could acknowledge the need for better and more frequent bus service. There is not a single bus route that runs through the City more than once an hour.
- Section on complete streets (pp. 97-99) offers benefits related to providing transportation alternatives. The non-motorized plan (p. 100) points out pathways that currently exist. However, if the City approves non-motorized pathway improvements, will they be maintained and be ADA compliant in the winter? The feasibility of winter maintenance is also discussed on p. 108.
- P. 107 provides a map showing the location of bicycle crashes 2018-2022. Locations of repeated crashes should be evaluated to see if safety could be increased through maintenance and/or pathway re-location.
- Grassy medians could include bike paths down their center, including the Grand River median and perhaps the Northwestern medians. Bicycle paths in the medians are safer than those on the roadsides, and they cross fewer roads/access drives.
- Cars drive in and park in the bike lanes on 13 Mile in front of North Farmington High School; the bike lanes have increased congestion and made travel less safe for bicyclists.
- When the Master Plan addresses “Safe Roads to Schools,” a map of school locations should be provided. The City should take the lead in providing a safe route for students to walk and bike to school.
- Creating new sidewalks in established subdivisions can be problematic, as streets were developed with ditching, and it is very expensive to construct sidewalks where that is the case.



- Non-motorized pathways should be prioritized in the Capital Improvements Plan. The new Targeted Improvements Map can help inform CIP discussions.
- Regarding Section 08 – Housing. The narrative could include a reference to the lack of incentives (such as tax deductions) for new home buyers, so that renting is seen as the better alternative. Attainable housing is discussed (pp. 115-177) in this section, as are accessory dwelling units (p. 119).
- Regarding Section 09 - Arts and Placemaking, information should be given relative to local high school and college arts events, including music events. P. 149 gives examples of percent for art ordinances.
- Photographic examples should give the location of the buildings and why the photographs are included. Some local examples should be included.
- Section on health and wellness should reference the YMCA.
- Future discussion should address assumptions about future square footage needed for retail and office space.
- Any data provided should be referenced as to year and source.

#### **PUBLIC COMMENT**

None.

#### **COMMISSIONER COMMENTS**

Commissioner Ware suggested that the next Master Plan review meeting allow plenty of time for discussion.

#### **ADJOURNMENT**

**Motion by Ware, support by Stimson, to adjourn the Special Meeting at 7:25pm.**

**Motion carried unanimously by voice vote.**

Respectfully Submitted,  
Kristen Aspinall  
Planning Commission Secretary

/cem

**MINUTES  
CITY OF FARMINGTON HILLS  
PLANNING COMMISSION MEETING  
31555 W ELEVEN MILE ROAD  
FARMINGTON HILLS, MICHIGAN  
MARCH 21, 2024, 7:30 P.M.**

**CALL MEETING TO ORDER**

The Planning Commission Regular Meeting was called to order by Chair Trafelet at 7:30 p.m.

**ROLL CALL**

Commissioners present:           Aspinall, Brickner, Countegan, Grant, Mantey, Trafelet, Stimson, Ware

Commissioners Absent:           Varga

Others Present:                   Staff Planner Perdonik, City Attorney Schultz, Planning Consultants  
Tangari and Upfal

**APPROVAL OF THE AGENDA**

**MOTION by Stimson, support by Grant, to approve the agenda as submitted.**

**Motion passed unanimously by voice vote.**

**PUBLIC HEARING**

**A. REZONING REQUEST ZR 1-1-2024**

LOCATION:                           31130 Orchard Lake Road  
PARCEL I.D.:                       22-23-02-103-025  
PROPOSAL:                         Rezone eastern portion of one (1) parcel from P-1, Vehicular  
  Parking District to B-3, General Business District  
ACTION REQUESTED:               Recommendation to City Council  
APPLICANT:                        Mannik & Smith Group, LLC

**Applicant presentation**

Jefferey Schroeder, Plunkett Cooney, was present on behalf of this application to rezone a portion of a parcel from P-1 Vehicular Parking to B-3, General Business zoning. Jacob Rilett, Mannik & Smith Group, LLC., was also present.

The applicants provided the following information:

- The parcel was currently split-zoned. The applicant was requesting that the back portion of the lot be rezoned from P-1 to B-3, to be consistent with the zoning in the entire parcel. An express auto wash is being proposed for this location and the rezoning is necessary in order to meet the zoning requirements.
- The applicants had reviewed all of the staff comments and they were in agreement with those comments.

In response to questions from the Commission, the applicants gave the following further information:

- The use would be an adaptive re-use of the current building. A minor bump out (less than 500sf) would be added on the northeast corner of the building. The building has a slight notch cut out of it and the bump out will turn the building into a rectangle. The bump out is on the portion of the property that is already zoned B-3.
- Entrance and exit to the car wash will be on the eastern portion of the building, the furthest from the street. The driveway to Orchard Lake Road will be eliminated.
- Vacuums will be located both inside and outside the building.

#### Planner's Review

Referencing the January 30, 2024 Giffels Webster review memorandum, Planning Consultant Upfal offered the following comments:

- The subject property is 1.045 acres and currently split-zoned B-3 General Business District and P-1 Vehicular Parking District. It is located on the east side of Orchard Lake Road, at the corner of Mulfordton St. and Orchard Lake Rd.
- This land is designated Non-Center Type Business on the Future Land Use Map. The 2009 Master Plan compares uses permitted in Non-Center Type Business to those permitted in the B-3 Zoning District.
- The parcel is part of the Orchard Lake Road Mixed Use Redevelopment Area. As such, the Master Plan recommends that in addition to the goals and policies for mixed-use development, redevelopment plans in this area should also:
  - a. Take into account the approved PUD plan for this area
  - b. Encourage the redevelopment of the Farmington Heights Subdivision as mixed-use development similar to a Central Business District
  - c. Provide significant transition/ buffer to existing condominiums to the south and the group care facility if they remain
  - d. Encourage non-motorized access alternatives with connections to the east
  - e. Promote mixed use development, including increased height limit for the entire area under a unified plan provided that: (1) Changes would be permitted only if most properties are involved and that no isolated one-family residential uses remain. Include the existing multi-family developments if possible. (2) Intensity of uses allowed by increasing heights is in proportion to the amount of land included in the development (3) bike paths and/or sidewalks are installed to provide non-motorized access throughout the area (4) pedestrian-friendly environments are created including landscaping, walks, trees, shrubs, and street furniture
- To the rear of the site, there is a mix of office and residential. However, those residential lots only include one single-family home and the remainder is a vacant parking lot.
- Although the special planning area may not be consistent with an auto-oriented use, the future land-use designation of non-center type business is. The applicant has proposed re-zoning the entire property so that it's all B-3 rather than being a split-zone property. Because of the frontage on Orchard Lake Road, the effect of this re-zoning will not change the use that is allowed. The commercial zoning of the site is generally compatible with all surrounding uses. There would be no additional impact on road service on Orchard Lake Road or traffic.
- It does appear that the site could be developed within the standards of the B-3 district. However, there is a prohibition relative to car washes being adjacent to residentially zoned properties and a requirement that all access be a minimum of 200 feet from an intersection. So there are some challenges with a car wash, but there are no challenges with B-3 uses on the site. There is no risk of split zoning on this site.
- The intent of the P-1 district is to only accommodate vehicular parking uses and this type of use would not be permitted on the P-1 lot.
- The Planning Commission qualified this rezoning at the February 2024 meeting.



In response to questions, staff explained that:

- The only use allowed in the P-1 district is parking, including electric vehicle parking stations.
- Historically the P-1 district was used to buffer residential districts. The home behind this parcel is now an office use.
- The B-3 District would have a 20' rear yard setback and 10' side yard setback. There are buffering requirements relative to adjacent residential uses, including a wall/berm requirement that applies to both the P-1 and B-3 district. Landscaping requirements would also apply to both zoning districts.

#### Public Hearing

Chair Trafelet opened the public hearing. As no public indicated they wished to speak, Chair Trafelet closed the public hearing and brought the matter back to the Commission.

#### Commission discussion and/or motion

**MOTION by Brickner, support by Aspinall, to RECOMMEND TO CITY COUNCIL that Rezoning Request ZR 1-1-2024, dated November 17, 2023, submitted by Mannik & Smith Group, LLC, to rezone property located at Parcel Identification Number: 22-23-02-103-025, Oakland County, Michigan, from P-1 Vehicular Parking District to B-3, General Business District, BE APPROVED.**

**Motion passed unanimously by voice vote.**

### **REGULAR MEETING**

#### **A. ZONING TEXT AMENDMENT 1, 2024**

CHAPTER OF CODE:	34, Zoning Ordinance
PROPOSED AMENDMENT:	Amend Zoning Ordinance to include new subsection addressing electronic messaging center area, and to revise regulations regarding additional freestanding sign area
ACTION REQUESTED:	Set for public hearing
SECTIONS:	34-5.5.3.A.ix, 34-5.5.3.A.iv, and 34-5.5.3.A.xi

Referencing the March 14, 2024 Giffels Webster memorandum, Planning Consultant Tangari explained that a recent review of bonus signs and sign areas for freestanding signs permitted under the Zoning Ordinance in the Expressway Service (ES) and Light Industrial (LI-1) districts, as provided in Section 34-5.5.3.A.iv of the Zoning Ordinance, indicates that there is no limit on the portion of a sign that may be devoted to an electronic display. Which is to say that these bonus signs (up to 100 or 150 square feet in the ES district and up to 300 square feet in the freeway sign area of the LI-1 district per Section 34-5.5.3.A.xi) could potentially be entirely electronic. This may be an unintended consequence of the bonus provisions and should be reviewed. This memo additionally looks at whether the bonus sign areas should be reduced.

In order to prevent the visual and light pollution caused by the spread of large electronic sign areas, Giffels Webster suggests limiting the portion of sign area that may be electronic display to 20-30%, amending Section 34-5.5.3.A.ix by adding the following new item h:

*h. The electronic display area of a sign shall not exceed 30 percent of the total sign area or 30 square feet, whichever is larger.*

Potentially a very small sign could be all electronic. Larger signs will be limited as to the total amount of the area that can be electronic. This would avoid the unintended consequence of having a very large sign in the City, all electronic with 100% electronic imagery, which would be visually impactful for the driver and anyone who lived in the area. Allowing very large signs to be all electronic appears to have been an oversight when the ordinance was drafted.

Commission discussion included:

- Some businesses are set far back from main roads, and could benefit from having larger signs. There was a balance between community aesthetic and businesses' ability to advertise.

Staff explained that there would be no change to the primary business identification sign regulations in most districts. The proposed change applies to the ES (Expressway Service) District and the LI-1 (Light Industrial) District, and would affect billboard-type signs. Signs could be as large as 150sf or 300sf. It was important to remember that sign content cannot be regulated, and these very large electronic signs can blast out any message.

- It is important that people are able to read the signs. At the public hearing, could staff bring examples of what will be allowed and what will be prohibited?
- Will existing signs be made nonconforming? If so, how many signs would be impacted in that way?
- Was there a true need for this ordinance change? What was the impetus behind this zoning text amendment?
- On the other hand, large tall signs as discussed tonight should not even be an option in Farmington Hills. People living in and driving through Farmington Hills should not be impacted by large LED signs. The issue was one of an overall aesthetic for the City.

After further discussion, Chair Trafelet asked staff to bring illustrations of signs that would be prohibited, and examples of what would be allowed, and in what district, for the public hearing. A map showing potential locations would also be helpful. Without concrete examples, what was being suggested seemed vague and even premature.

In response, City Planner Perdonik said it was important to have an ordinance the City could live with, prior to getting applications that might take advantage of the unintended consequences of the sign ordinance as it is now written.

Commissioner Ware supported getting more information and discussing this zoning text amendment further before setting it for public hearing. She preferred that the Commission be well informed and understand the issues involved before acting on any change, including this proposed zoning text amendment.

Staff committed to providing further information to the Commission well before the next meeting.

**MOTION by Stimson, support by Mantey, that that Zoning Text Amendment 1-2024, which proposes to amend the Farmington Hills Code of Ordinance, Chapter 34, Zoning, Article 5.0, "Site Standards," Section 34-5.5, "Signs," to include a new subsection 34-5.5.3.A.ix.h addressing the area of electronic messaging centers; and Sections 34-5.5.3.A.iv and 34-5.5.3.A.xi to revise regulations regarding additional freestanding sign area, be set for public hearing for the Planning Commission's next available regular meeting agenda.**

**Motion passed 7-1 by voice vote (Ware opposed).**

**APPROVAL OF MINUTES**

**February 15, 2024, Special Meeting, and February 15, 2024  
Regular Meeting**

**MOTION by Aspinall, support by Grant, to approve the February 15, 2024 Special Meeting minutes, and February 15, 2024 Regular Meeting minutes as submitted.**

**Motion carried unanimously by voice vote.**

**PUBLIC COMMENT**

None.

**COMMISSIONER/STAFF COMMENTS**

- Gas station at 9 Mile and Middlebelt had very bright lights. City Planner Perdonik said there was active enforcement at that location.
- The Commission discussed issues relative to the SiFi Networks fiber project going on in the City. Work is supposed to be confined to the rights-of-way, but some residents were experiencing front yard damage due to this project. Was there a way to better communicate to residents when this work was going to be happening in their neighborhood? The Engineering Department is fielding calls about the project.

[See <https://fhgov.com/government-business/news-information/latest-news/farmington-hills-mayors-join-sifi-networks>]

**ADJOURNMENT**

**Motion by Ware, support by Brickner, to adjourn the meeting.**

**Motion carried unanimously by voice vote.**

The meeting was adjourned at 8:31pm.

Respectfully Submitted,  
Kristen Aspinall  
Planning Commission Secretary

/cem